

- R-1 One-Family Residential Zone
- R-1.X One-Family Residential Zone
- R-1.5X One-Family Residential Zone
- R-1.5X2 One-Family Residential Zone
- R-1.6X One-Family Residential Zone
- R-1.7X One-Family Residential Zone
- R-1.8X One-Family Residential Zone
- Beverly Hills Boundary

Central Area Single-Family Land Use Designations and Neighborhoods (Revised 10/22/2013)

John Kaliski Architects

DRAFT Central Area Single Family Residential Mass and Bulk Study

DYETT & BHATIA
Urban and Regional Planners

GUIDING GOALS

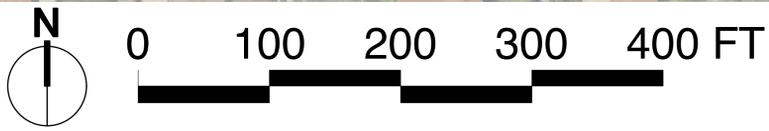
Two key goals shape the Reducing Single-family Mass and Bulk Recommendations:

- 1** Reduce the perceived and actual mass and bulk of single-family homes as experienced from the street, to ensure adequate separation between residential structures, and conserve the traditional garden quality of Central Area residential neighborhoods.
- 2** Ensure the provisions of adequate residential parking and reduce the impact of this parking on residential streetscapes to ensure the endurance of the character of Central Area residential neighborhoods.

GUIDING PRINCIPLES

Five design principles guide the Reducing Single-family Mass and Bulk Recommendations:

- 1** Reinforce the existing character-defining garden-quality identity of Central Area residential streets and neighborhoods.
- 2** Ensure new residential construction is compatible with and enhances existing Central Area neighborhood character and quality.
- 3** Preserve the opportunity to realize present residential floor area allowances in the Central Area.
- 4** Develop recommendations that could be required standards or could incentivize single-family residential bulk and mass reductions and additional on-site residential parking that is not visible from the street.
- 5** Consider means to relate the construction of basement area to reductions of residential bulk and mass in Central Area neighborhoods.



This block of single-family homes south of Santa Monica Boulevard exemplifies the design parameters that the City seeks to conserve and is used as a basis for developing and testing residential development standards that reduce perceived bulk and mass.

A-1 Aerial Map - Existing Conditions
Typical Block South of Santa Monica Boulevard (Revised 10/22/2013) John Kaliski Architects



This figure-ground representation of buildings in relationship to property lines was developed from Los Angeles County GIS Data Portal, and is used to further develop understandings of building design and amount of lot coverage in relationship to lot configurations. Note that County GIS data does not accurately represent side yard relationships.

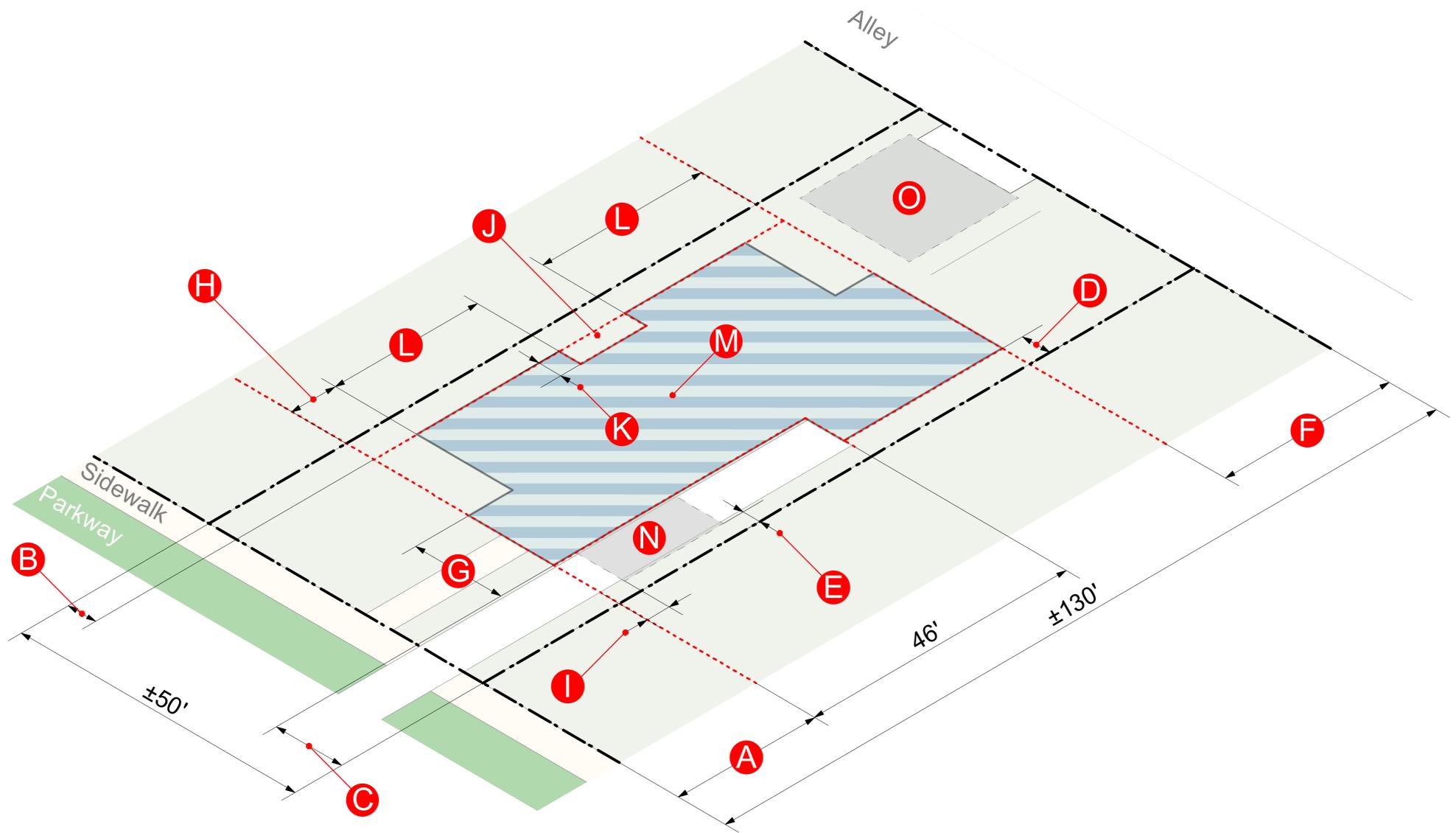
Typical Design Parameters for Lots South of Santa Monica Boulevard

Lot Width	±60'0"	Principal Residential Building Height	±26'6"
Lot Depth	±127'6"	Front Yard Set Back	±24'5"
Gross Lot Coverage (in Relation to Lot)	±41%	Percentage of Front Facade at Front Yard Setback	±52%
Net Lot Coverage (in Relation to Principal Building Area)	±89%	Offset from Front Building Plane	±16'8"
Floor Area Ratio	±0.53	Second Floor Area to First Floor Area %	±65%
		Second Floor Area to Principal Building Area	±58%

A-2 Figure-Ground Study - Existing Conditions

Typical Block South of Santa Monica Boulevard (Revised 10/22/2013)

John Kaliski Architects



Setback (Minimum Distance from Property Line)	
A	Front yard Consider transition requirement when front building planes do not align.
B	Side yard on narrow side Min. 5'
C	Side yard within 46' behind front yard setback on non-narrow side Min. 9'
D	Side yard setback for the remainder of the site area Min. 5'
E	Width of landscape buffer between side lot line and the length of adjacent porte-cocheres Min. 3'
F	Rear yard ±45'

Building Modulation	
G	Front building plane at front setback line (as percentage of maximum potential facade) Max. 50%
H	Offset at front building plane Min. 8'
I	Offset between porte-cochere and adjacent front building plane Min. 4'
J	Additional open-to-the-sky open space area at side yards and street side yards less than 9' in width. Min. 24 SF
K	Width of open-to-the-sky side yard open space Min. 4'
L	Distance from additional open-to-the-sky side yard open space to adjacent front/rear building planes Min. 8'

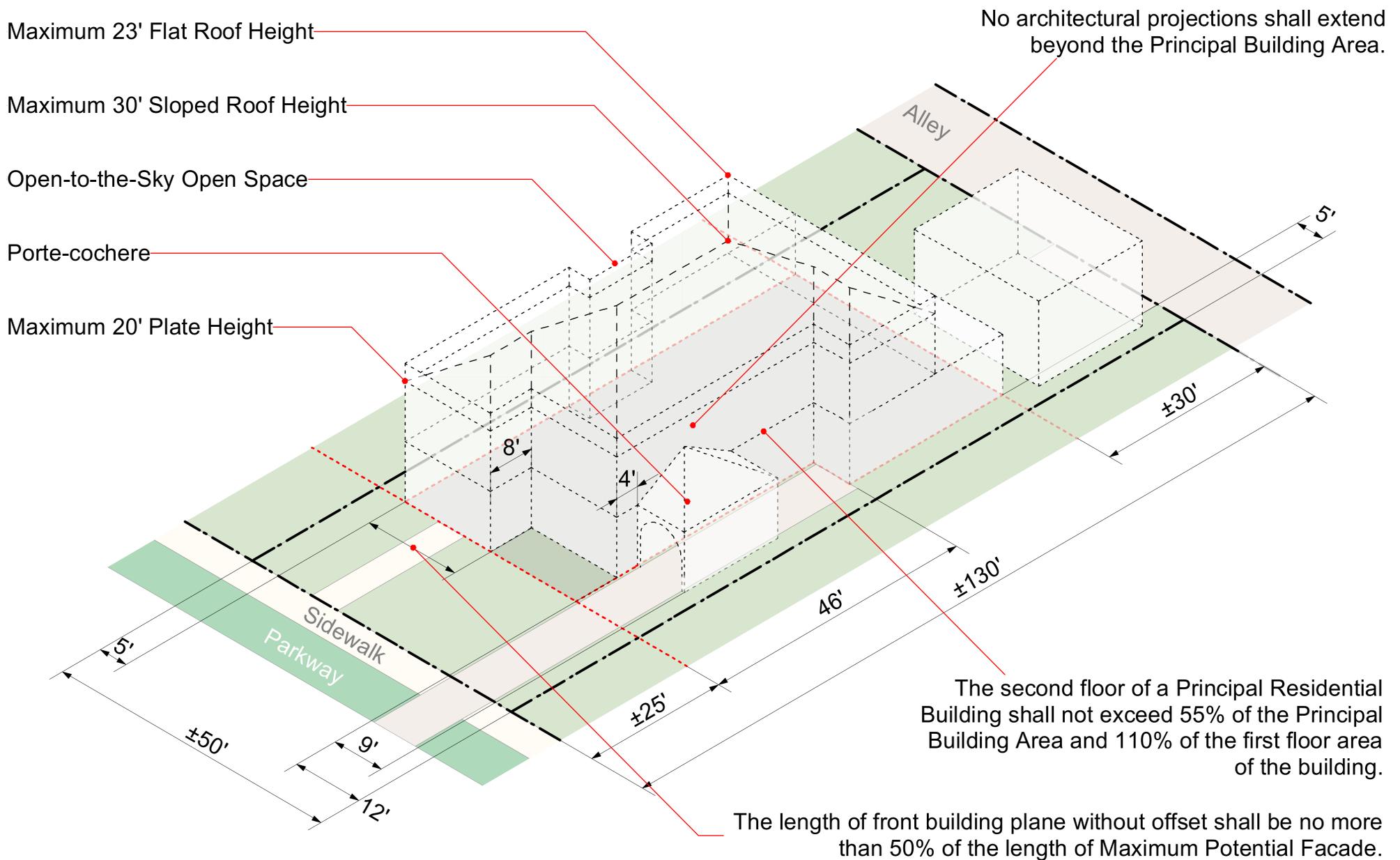
Permissible Projections and Encroachments	
M	No projections except porte-cocheres and/or accessory buildings shall extend beyond the Principal Building Area.
N	Porte-cochere
O	Single-story, detached garage / accessory building

(Existing Standard)

(Proposed Standard)

A-4 Recommended Standards - Plan View
Lot South of Santa Monica Boulevard (Revised 10/22/2013)

John Kaliski Architects



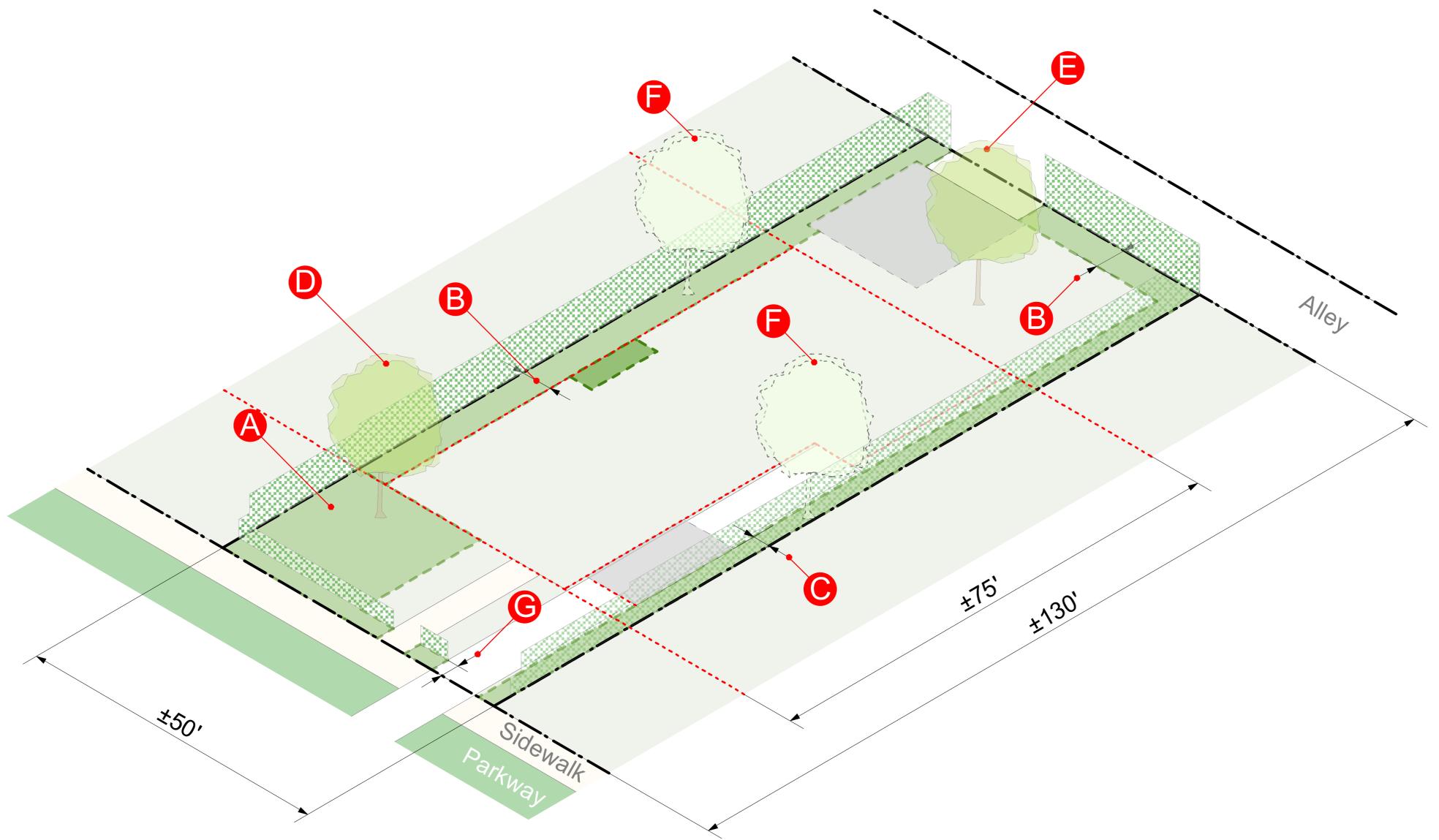
Building Form	
Total Floor Area	Max. Floor Area= 1,500 SF + 40% of Lot Area = ±4,100 SF
Second Floor Area	The second floor of a Principal Residential Building shall not exceed 70% of the Principal Building Area and 110% of the first floor area of the building .
Principal Residential Building Height	Max. 20' plate height; max. 23' height for the flat-roofed portion of a building; max. 27' height for any portion with a sloped roof without a linear horizontal ridgeline; max. 30' height for any portion with a sloped roof with a linear horizontal ridgeline where two roof planes intersect.
Set Back (Minimum Distance from Property Line)	
Front Yard	±25' typical front yard setback; a minimum 50% of the length of the front building plane shall be offset a minimum of 8' from the front portion of the front building plane; porte-cocheres shall be offset a minimum of 4' from adjacent front building plane.
Side Yard	Min. 5' on one side; min. 9' for the first 46' behind front yard setback with 5' for remainder of side yard.
Rear Yard	Min. rear yard setback equals 30% of lot depth minus 9' = ±30'.
Miscellaneous	
Walls, Fences and Hedges	Max. 3' height within the first 20% of the front yard measured from front line; max. 6' height within other portion in the front yard; max. 7' height within a side yard but not in a front yard; max. 8' height within 5' of and parallel to a rear lot line.

(Existing Standard)

(Proposed Standard)

**A-5 Recommended Zoning Envelope
Lot South of Santa Monica Boulevard (Revised 10/22/2013)**

John Kaliski Architects



Landscaped Area

A	Max. 400 SF of paved area at front yard.	
B	Width of landscape buffer adjacent to any side and rear yard lot line not utilized for an allowed accessory structure or driveway.	Min. 5'
C	Width of landscape buffer adjacent to porte-cocheres	Min. 3'

Trees

D	At front yard, minimum 1 tree for lots 60' or less in width; minimum 2 trees for lots greater than 60' in width.
E	At rear yard, minimum 1 tree for lots 60' or less in width; minimum 2 trees for lots greater than 60' in width.
F	Minimum 1 tree for each 80' of side yard and/or street side yard; minimum 30" from property line or may be placed anywhere on property.

Greening of Walls, Fences and Hedges

G	Offset of walls from adjacent street-facing lot line	Min. 2'
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(Existing Standard)

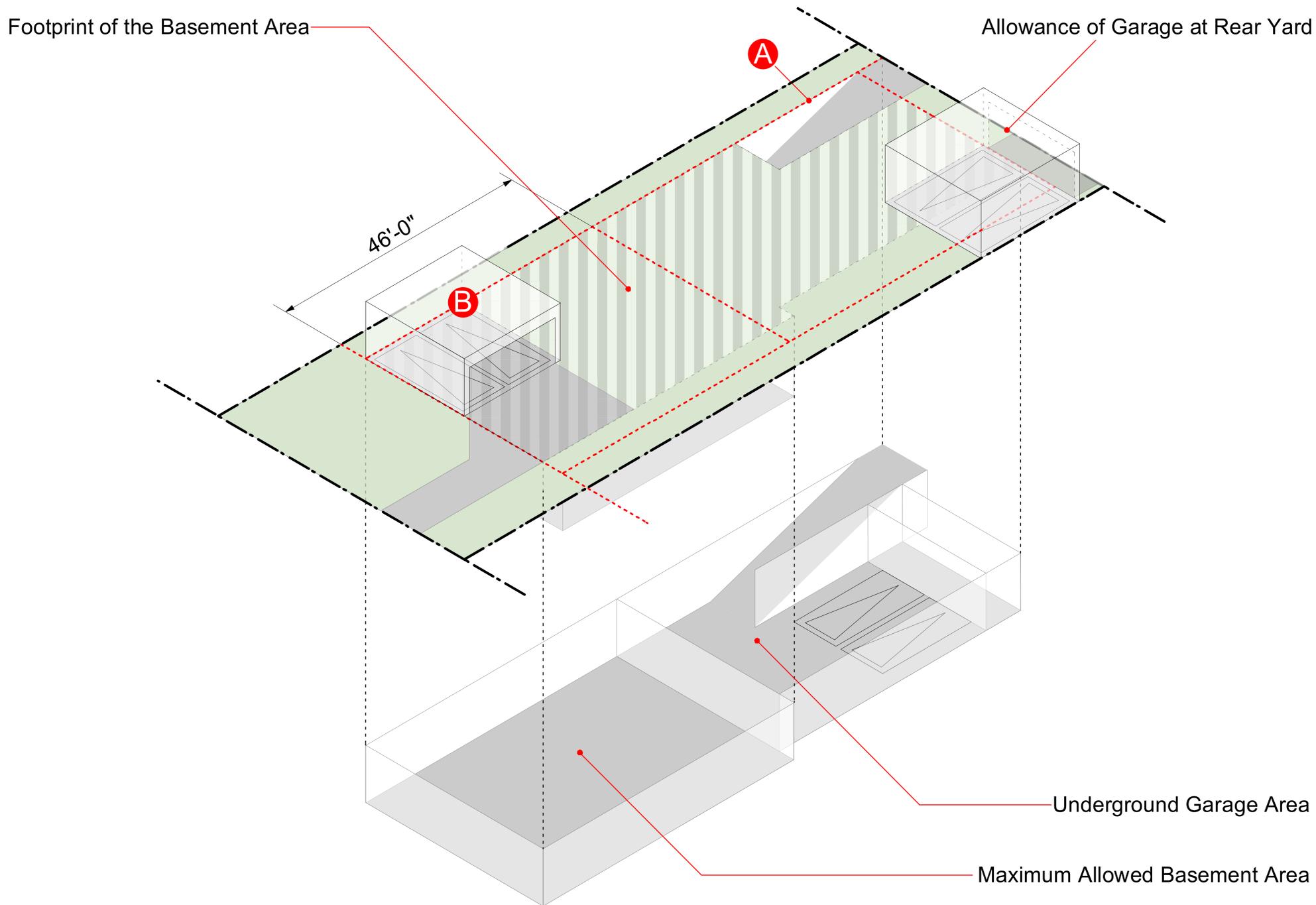
(Proposed Standard)

A-6 Recommended Landscape Standards Lot South of Santa Monica Boulevard (Revised 10/22/2013)

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DRAFT Central Area Single Family Residential Mass and Bulk Study

DYETT & BHATIA
Urban and Regional Planners



Garage Entries

- A** No ramps shall extend into front yards; In corner lots, ramps shall be offset a minimum of 5'0" behind any adjacent street-facing lot line.
- B** If the vehicular entrance to a garage is located less than 46' behind the front setback line, then the garage entrance shall be perpendicular to the front lot line.

Parking Requirements

Number of Bedrooms	Required Parking Spaces	Rear Yard Above-Grade Garage Area Exempt
4 or less	Min. 2	400 SF
5	Min. 3	
6	Min. 4	
7-8	Min. 5	
9 or more	Min. 6	

Basement

Any area in a basement that is utilized for parking spaces, access drives, or ramps to those spaces, mechanical equipment or rooms or shafts and stairwells to floors above, shall be exempt from the determination of residential basement floor area.

In addition to exempt basement area as defined above, and an allowance of an additional 150 square feet of basement area that may be utilized for any habited use, when a project meets modulation standards, it shall be exempt from the determination of residential floor area.

If the modulation standards are not met, for each square foot of non-exempt basement floor area, 50% of such non-exempt area shall count towards the calculation of the maximum allowed residential floor area.

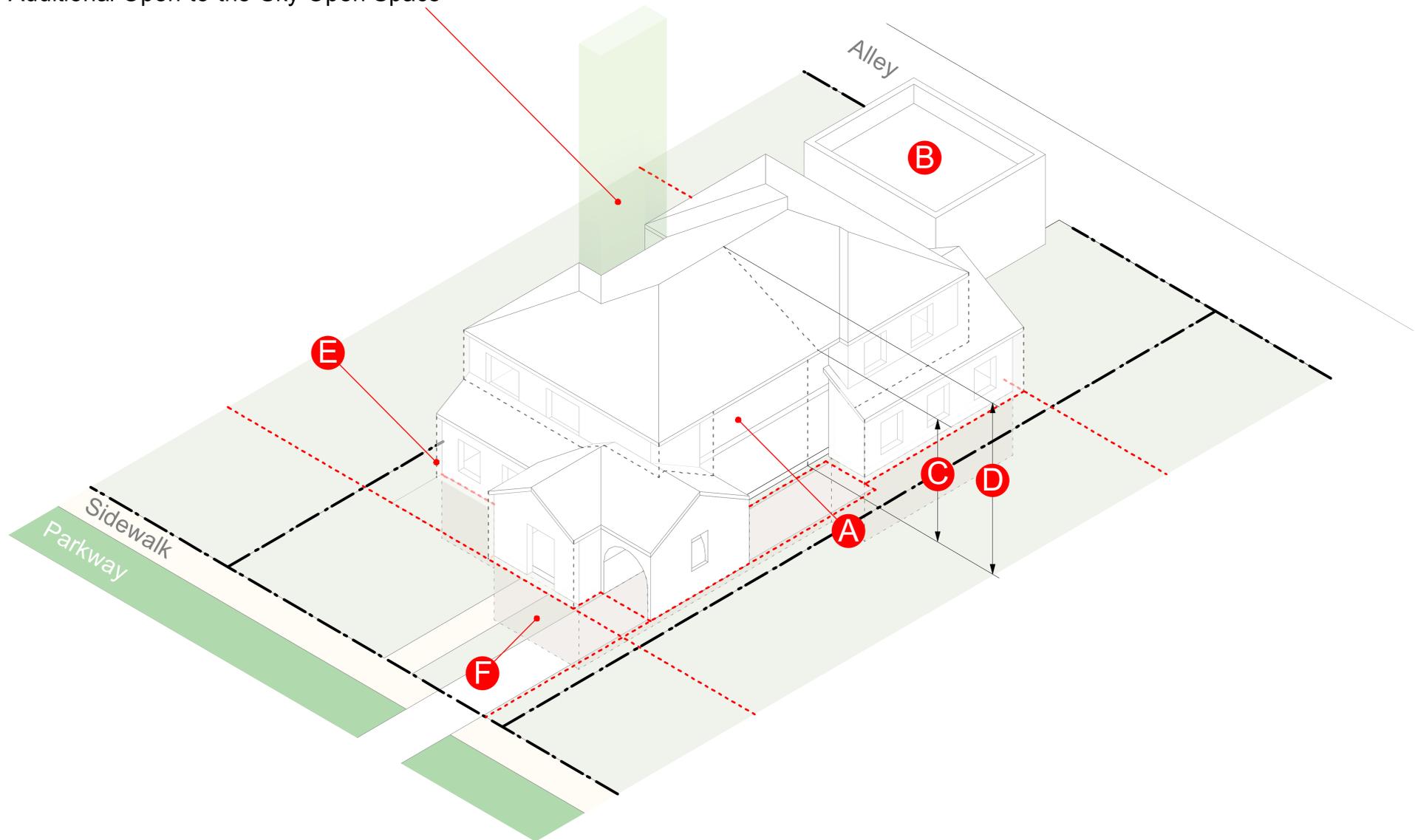
(Existing Standard)

(Proposed Standard)

A-7 Recommended Parking and Basement Standards Lot South of Santa Monica Boulevard (Revised 10/22/2013)

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Additional Open-to-the-Sky Open Space



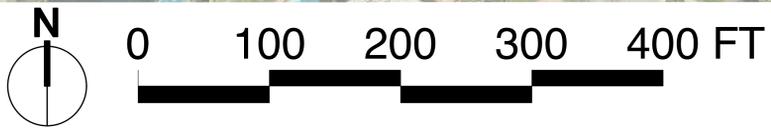
Maximum Built-Out		
	Total floor area	±4,100 SF
A	Second floor area to Principal Building Area %	Max. 70%
B	Above-grade garage area allowance	400 SF

Building Height		
C	Main building plate height	Max. 20'
D	Main building structure height	Max. 30'
	<i>Only applicable to a building with sloped roof planes and ridge lines.</i>	

Projections		
E	No projections except porte-cocheres and/or accessory buildings shall extend beyond the Principal Building Area.	
F	Basements shall not extend into front yards and/or side yards.	

(Existing Standard)

(Proposed Standard)



This block of single-family homes north of Santa Monica Boulevard exemplifies the design parameters that the City seeks to conserve and is used as a basis for developing and testing residential development standards that reduce perceived bulk and mass.



This figure-ground representation of buildings in relationship to property lines was developed from Los Angeles County GIS Data Portal, and is used to further develop understandings of building design and amount of lot coverage in relationship to lot configurations. Note that County GIS data does not accurately represent side yard relationships.

Typical Design Parameters for Lots North of Santa Monica Boulevard

Lot Width	±83'4"	Principal Residential Building Height	±27'8"
Lot Depth	±177'9"	Front Yard Set Back	±39'9"
Gross Lot Coverage (in Relation to Lot)	±33%	Percentage of Front Facade at Front Yard Setback	±73%
Net Lot Coverage (in Relation to Principal Building Area)	±69%	Offset from Front Building Plane	±7'6"
Floor Area Ratio	±0.40	Second Floor Area to First Floor Area %	±50%
		Second Floor Area to Principal Building Area %	±35%

B-2 Figure-Ground Study - Existing Conditions

Typical Block North of Santa Monica Boulevard (Revised 10/22/2013)

John Kaliski Architects

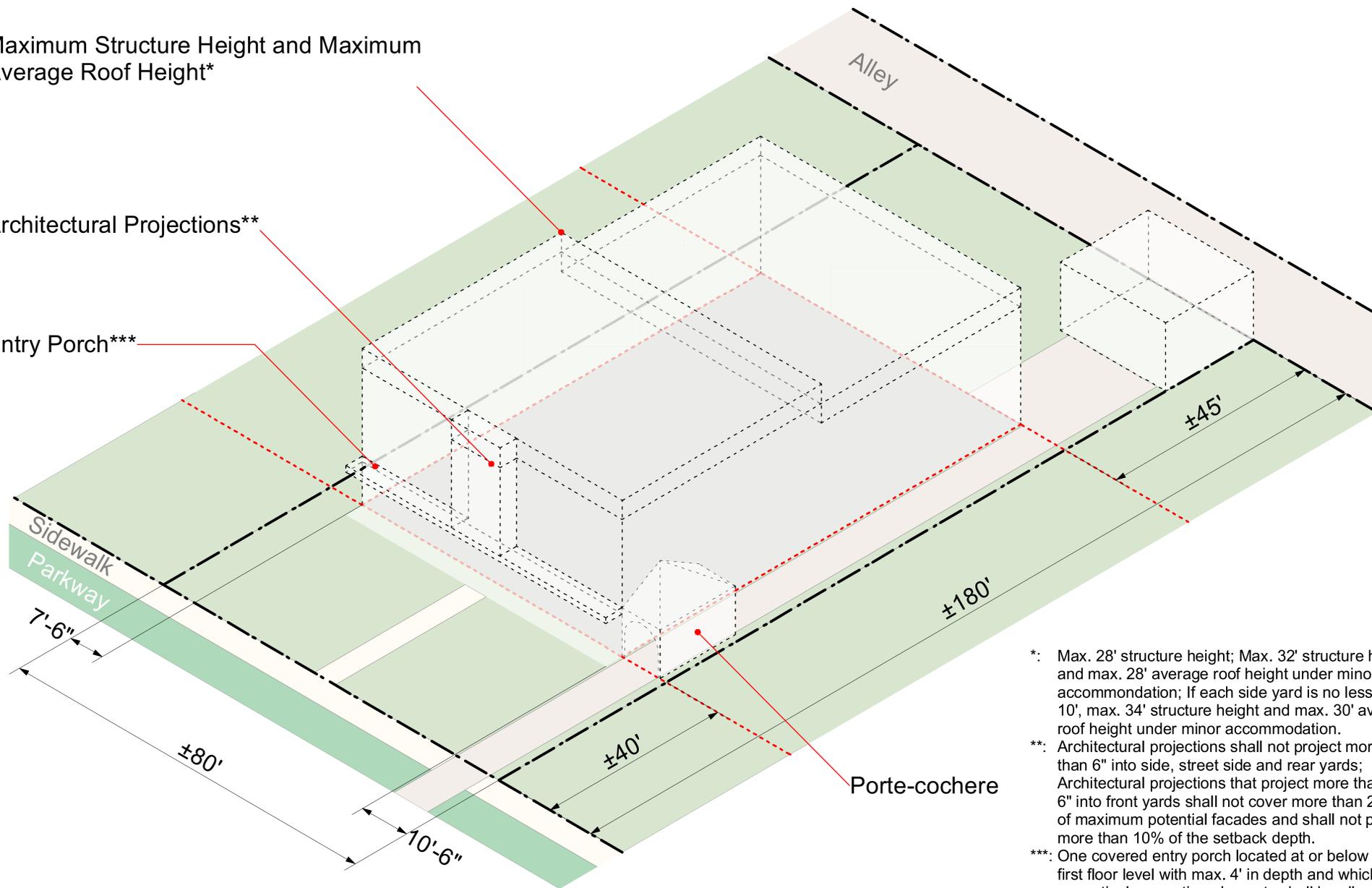
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Urban and Regional Planners

Maximum Structure Height and Maximum Average Roof Height*

Architectural Projections**

Entry Porch***

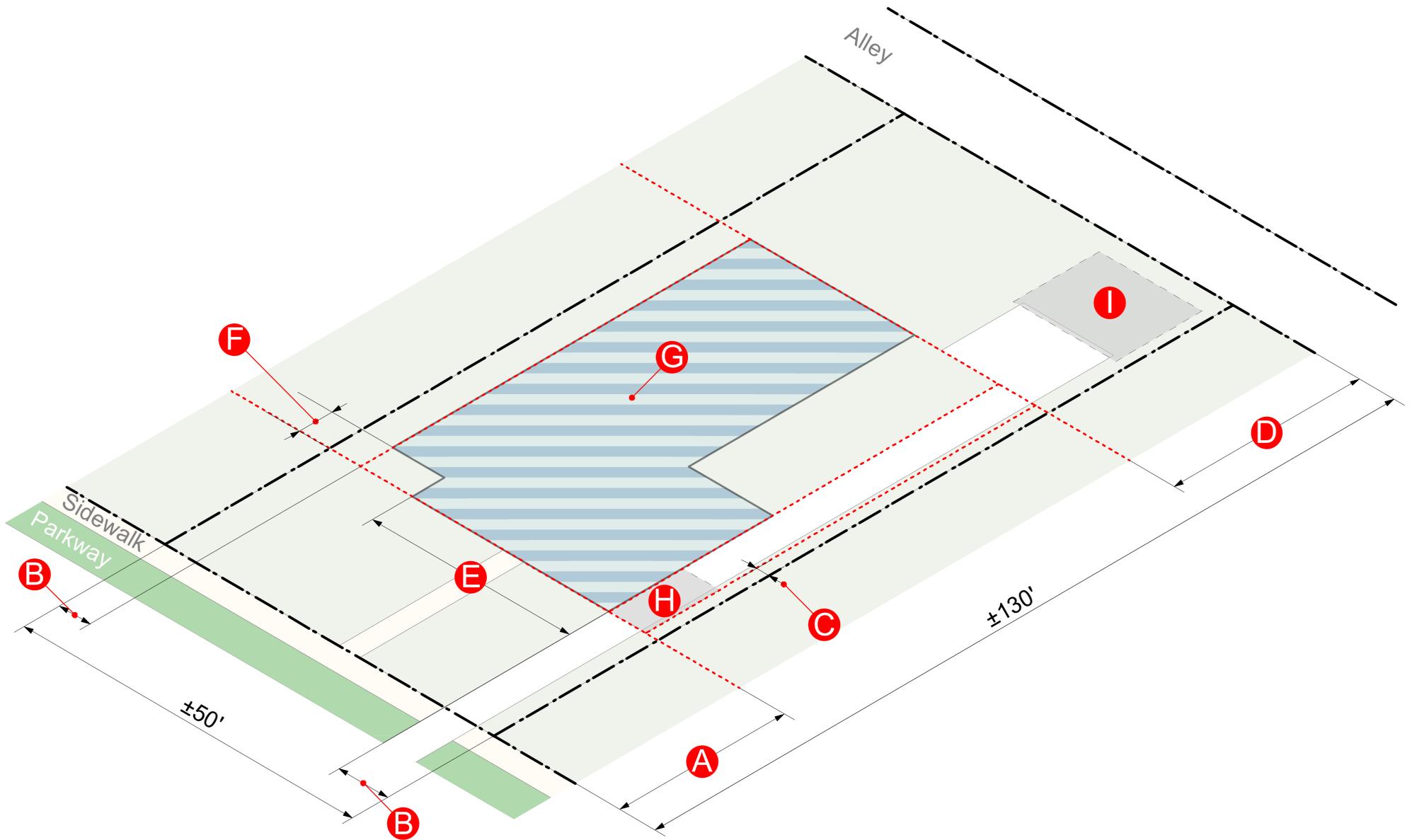


- *: Max. 28' structure height; Max. 32' structure height and max. 28' average roof height under minor accommodation; If each side yard is no less than 10', max. 34' structure height and max. 30' average roof height under minor accommodation.
- ** : Architectural projections shall not project more than 6" into side, street side and rear yards; Architectural projections that project more than 6" into front yards shall not cover more than 20% of maximum potential facades and shall not project more than 10% of the setback depth.
- ***: One covered entry porch located at or below the first floor level with max. 4' in depth and which has no vertical supporting elements shall be allowed at front yard.

Lot Size (Typical Lot)	
Width	±80'
Depth	±180'
Building Form	
Floor Area	Max. Floor Area= 1,500 SF + 40% of Lot Area = ±7,260 SF
Principal Residential Building Height	Max. 28' structure height (max. 32' structure height and max. 28' avr. roof height under minor accommodation). Exception: Max. 32' structure height (max. 34' structure height and max. 30' avr. roof height under minor accommodation) if each side yard is no less than 10'.
Set Back (Minimum Distance from Property Line)	
Front Yard	±40'
Side Yard	Min. 7'6" side yard setback on each side; the sum of side yard setback shall be at least 15' + 30% of lot width in excess of 70'. Exceptions apply.
Rear Yard	Min. rear yard setback equals 30% of lot depth minus 9' = ±45'
Miscellaneous	
Walls, Fences and Hedges	Max. 3' height within the first 20% of the front yard measured from front line; max. 6' height within other portion in the front yard; max. 7' height within a side yard but not in a front yard; max. 8' height within 5' of and parallel to a rear lot line.

B-3 Existing Zoning Envelope
Lot North of Santa Monica Boulevard (Revised 10/22/2013)

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Setback (Minimum Distance from Property Line)	
A	Front yard
	Consider transition requirement when front building planes do not align.
	Sum of side yard setbacks
	Min. 18'
B	Side yard setback on narrow side
	Min. 7'6"
C	Width of landscape buffer between side lot line and the length of adjacent porte-cocheres
	Min. 4'
D	Rear yard
	±45'

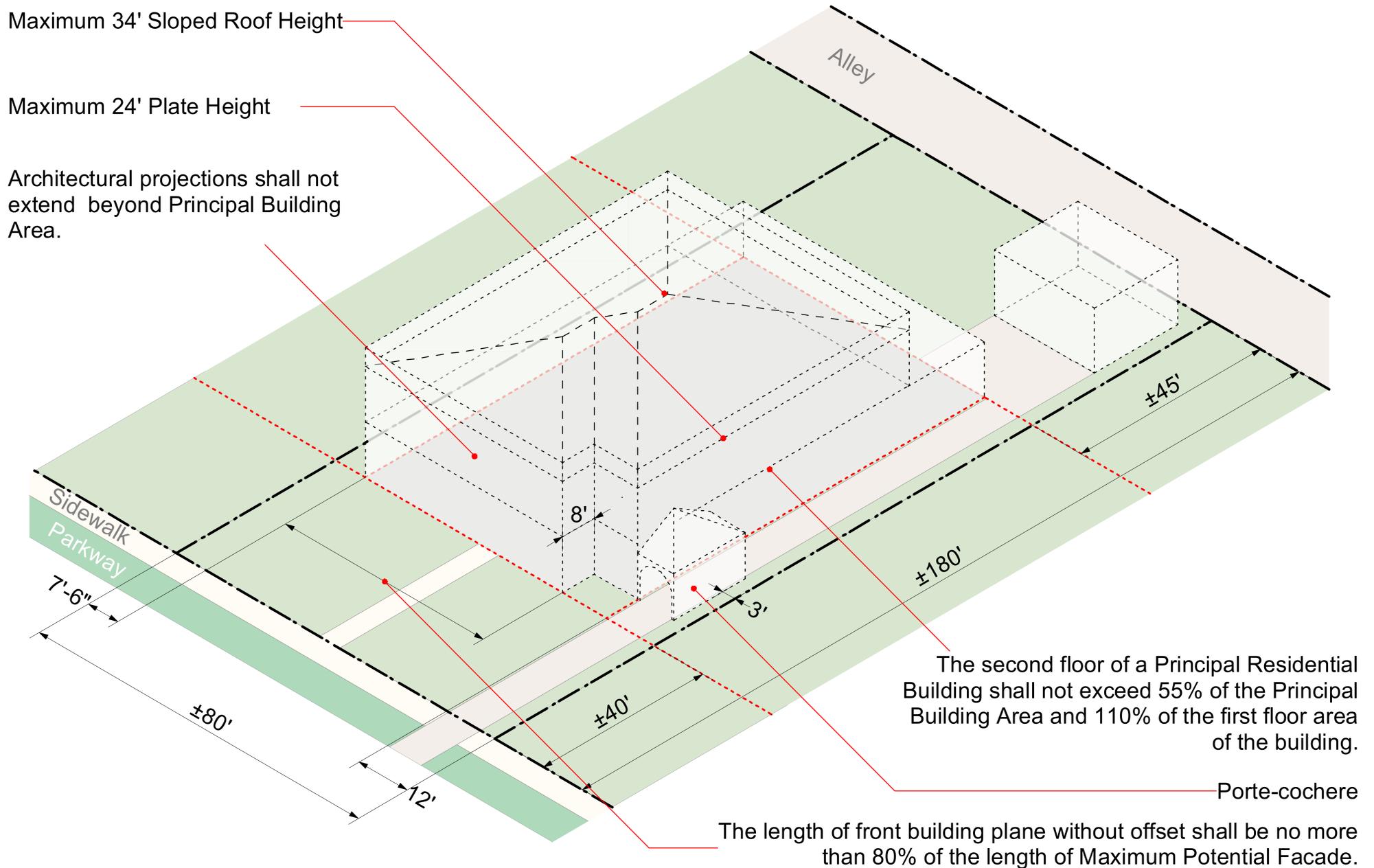
New Building Modulation	
E	Front building plane at front setback line (as percentage of maximum potential facade)
	Max. 80%
F	Offset at front building plane
	Min. 8'

Permissible Projections and Encroachments	
G	No projections except porte-cocheres and/or accessory buildings shall extend beyond the Principal Building Area.
H	Porte-cochere
I	Single-story, detached garage / accessory Building

(Existing Standard) (Proposed Standard)

B-4 Recommended Standards - Plan View
Lot North of Santa Monica Boulevard (Revised 10/22/2013)

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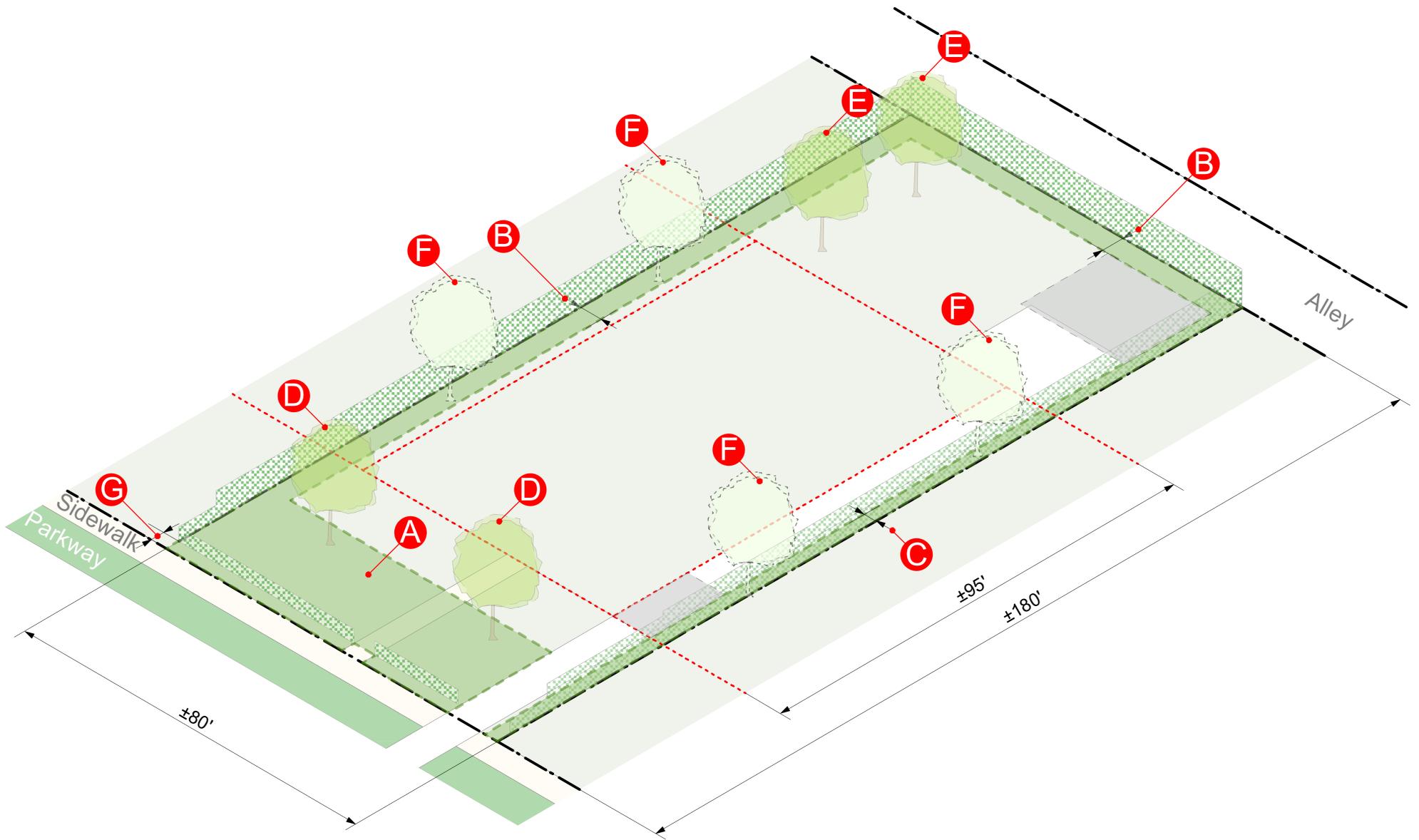
Building Form	
Total Floor Area	Max. Floor Area= 1,500 SF + 40% of Lot Area = ±7,260 SF
Second Floor Area	The second floor of a Principal Residential Building shall not exceed 55% of the Principal Building Area and 110% of the first floor area of the building .
Principal Residential Building Height	Max. 24' plate height; Max. 28' height for the flat-roofed portion of a building; Max. 31' height for any portion with a sloped roof without a linear horizontal ridgeline; Max. 34' height for any portion with a sloped roof with a linear horizontal ridgeline where two roof planes intersect.
Set Back (Minimum Distance from Property Line)	
Front Yard	±40'0" typical front yard setback; A minimum 20% of the length of the front building plane shall be offset a minimum of 8' from the front portion of the front building plane.
Side Yard	Min. 7'6" side yard setback on each side; The sum of side yard setback shall be at least 15' + 30% of lot width in excess of 70'; An additional 3' between the length of driveway or porte-cochere and the adjacent side lot line. Exceptions apply.
Rear Yard	Min. rear yard setback equals 30% of lot depth minus 9' = ±45'
Miscellaneous	
Walls, Fences and Hedges	Max. 3' height within the first 20% of the front yard measured from front line; max. 6' height within other portion in the front yard; max. 7' height within a side yard but not in a front yard; max. 8' height within 5' of and parallel to a rear lot line.

(Existing Standard)

(Proposed Standard)

B-5 Recommended Zoning Envelope
Lot North of Santa Monica Boulevard (Revised 10/22/2013)

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Landscape Area

A	Max. 400 SF of paved area at front yard.	
B	Width of landscape buffer adjacent to any side and rear yard lot line not utilized for an allowed accessory structure or driveway.	Min. 5'
C	Width of landscape buffer adjacent to porte-cocheres	Min. 4'

Trees

D	At front yard, minimum 1 tree for lots 60' or less in width; Minimum 2 trees for lots greater than 60' in width.
E	At rear yard, minimum 1 tree for lots 60' or less in width; Minimum 2 trees for lots greater than 60' in width.
F	Minimum 1 tree for each 80' of side yard and/or street side yard; Minimum 30" from property line or may be placed anywhere on property.

Greening of Walls, Fences and Hedges

G	Offset of walls from adjacent front lot line	Min. 3'
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(Existing Standard)

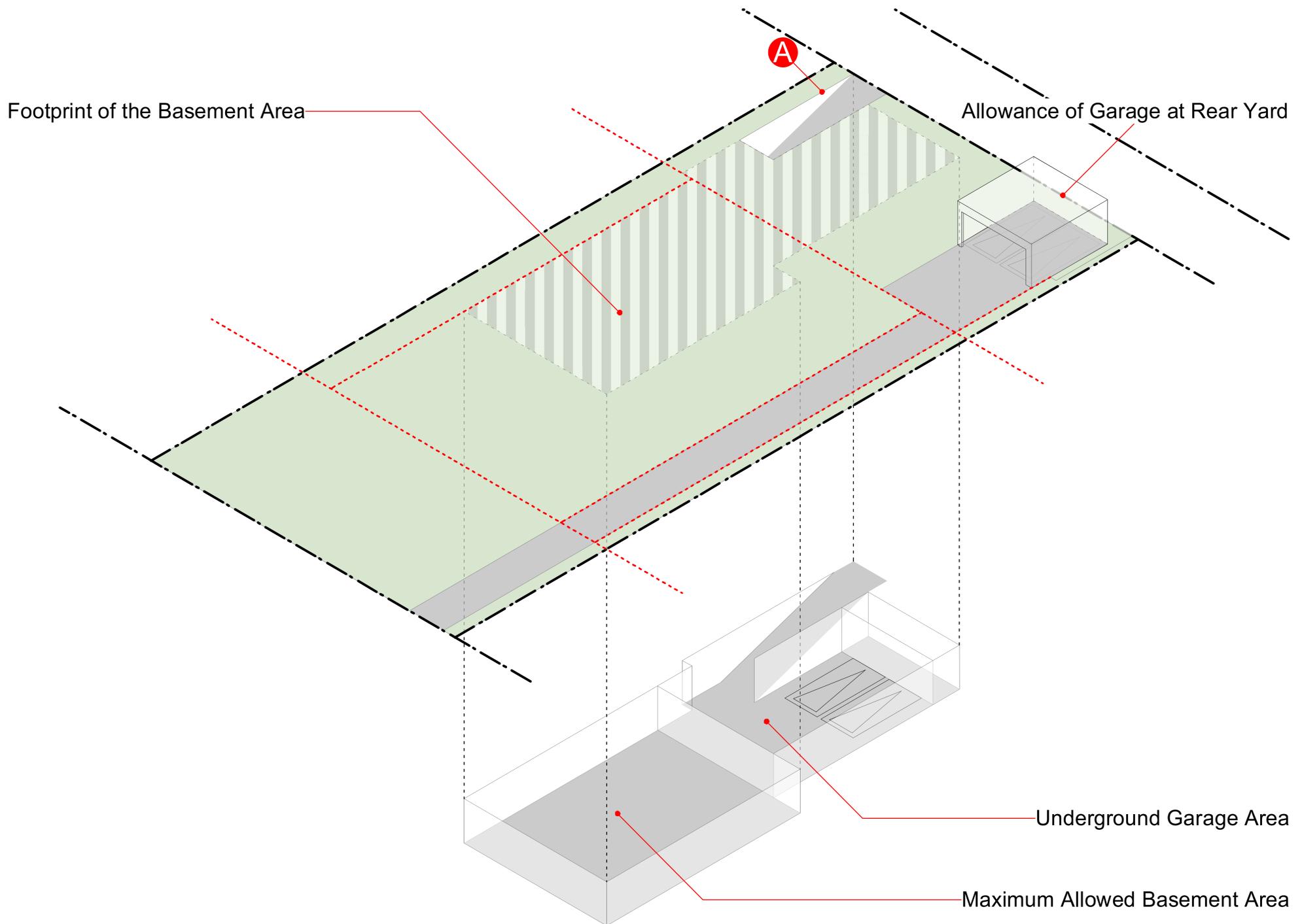
(Proposed Standard)

B-6 Recommended Landscape Standards Lot North of Santa Monica Boulevard (Revised 10/22/2013)

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Garage Entries

- A** No ramps shall extend into front yards; In corner lots, ramps shall be offset a minimum of 5'0" behind any adjacent street-facing lot line.

Parking Requirements

Number of Bedrooms	Required Parking Spaces	Rear Yard Above-Grade Garage Area Exempt
4 or less	Min. 2	400 SF
5	Min. 3	
6	Min. 4	
7-8	Min. 5	
9 or more	Min. 6	

Basement

Any area in a basement that is utilized for parking spaces, access drives, or ramps to those spaces, mechanical equipment or rooms or shafts and stairwells to floors above, shall be exempt from the determination of residential basement floor area.

In addition to exempt basement area as defined above, and an allowance of an additional 150 square feet of basement area that may be utilized for any habited use, when a project meets modulation standards, it shall be exempt from the determination of residential floor area.

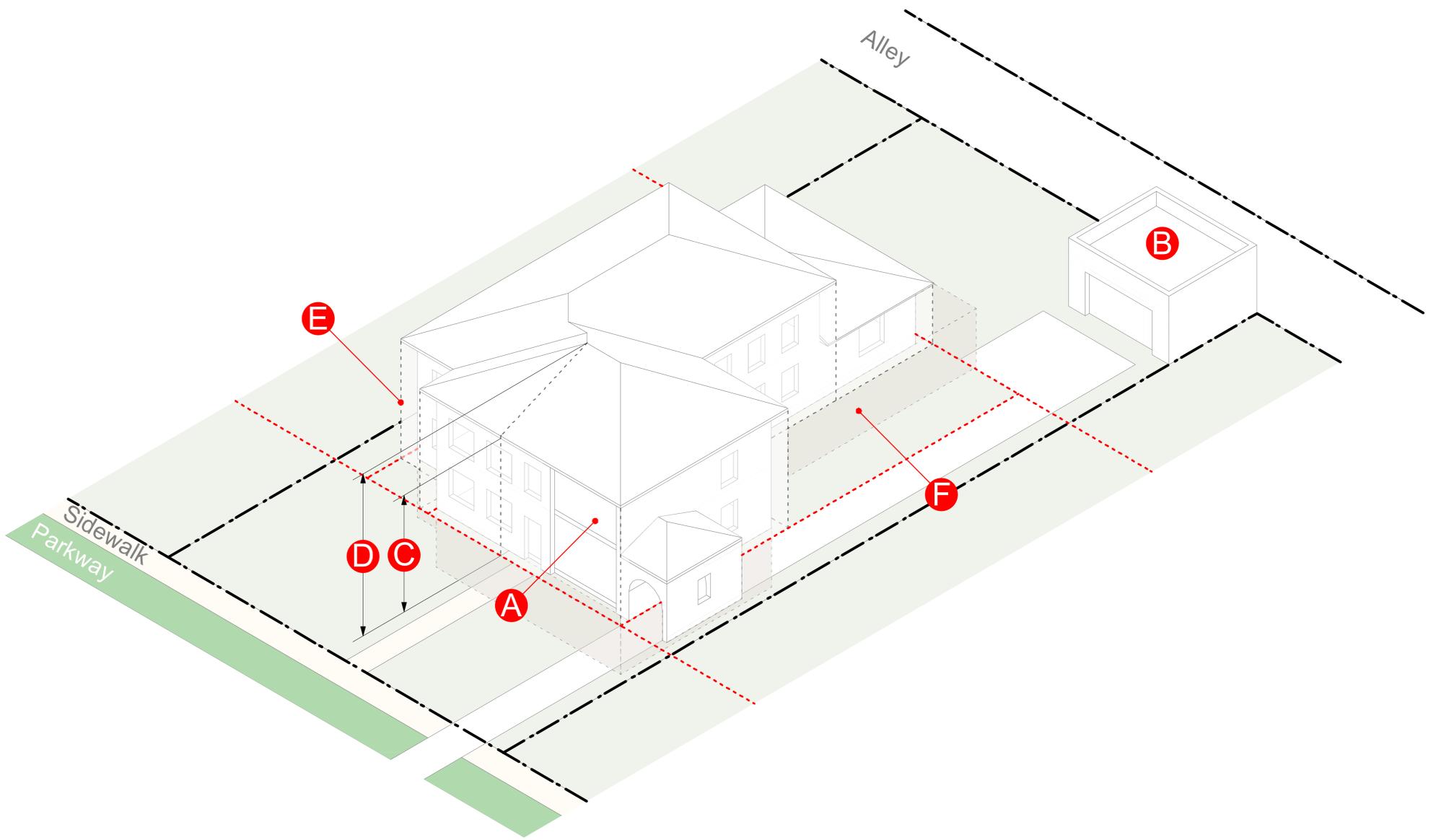
If the modulation standards are not met, for each square foot of non-exempt basement floor area, 50% of such non-exempt area shall count towards the calculation of the maximum allowed residential floor area.

(Existing Standard)

(Proposed Standard)

B-7 Recommended Parking and Basement Standards Lot North of Santa Monica Boulevard (Revised 10/22/2013)

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Maximum Built-Out	
Total floor area (max)	±7,260 SF
A Second floor area to Principal Building Area %	Max. 55%
B Above-grade garage area allowance	400 SF

Building Height	
C Main building plate height	Max. 24'
D Main building structure height	Max. 34'
<i>Only applicable to a building with sloped roof planes and ridge lines.</i>	

Projections	
E	No projections except porte-cocheres and/or accessory buildings shall extend beyond the Principal Building Area.
F	Basements shall not extend into front yards and/or side yards.

(Existing Standard)

(Proposed Standard)