



Architectural Commission Report

Meeting Date: Wednesday, January 21, 2015

Subject: **FARRO (PL1500113)**
9845 South Santa Monica Boulevard

Request for approval of a façade remodel, a business identification sign, and a construction barricade. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project agent: Milan Lojdl

Recommendation: Conduct public hearing to discuss the project details and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a façade remodel, business identification sign, and a construction barricade for Farro located at 9845 South Santa Monica Boulevard. The project includes the following components:

Façade Remodel

- Smooth white stucco façade with angled cut-out directly above entry area;
- Façade illumination above entry into façade cut-out;
- Polished aluminum storefront system with clear glazing, and;
- Polished aluminum door handle and kick plate.

Business Identification Sign

- One (1) 6.3 SF façade-mounted, non-illuminated sign located on façade beam directly above entry door in a polished aluminum finish (sign copy: "FARRO")

Pursuant to Beverly Hills Municipal Code (BHMC) §10-4-604, the maximum allowable sign area for business identification signage for a ground floor business with street frontage is two square feet (2') in area for each one foot (1') of ground floor street frontage, in no event to exceed 100 square feet. Based on a storefront length of 33'-6", the maximum sign area for this tenant is approximately 67 SF.

Construction Barricade

The applicant is also requesting a construction barricade with signage; no graphics are proposed. Pursuant to BHMC §10-4-612, construction barricades may include 12 SF of signage that includes the name of the business, a company logo, and the opening date of the business on that portion of the construction barricade parallel to the street. Each barricade return (that portion located perpendicular to the street) may include 2 SF of such signage. As proposed, the barricade complies with the standards.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191
cgordon@beverlyhills.org



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Each barricade return also includes 6 SF of sign area allocated to adjacent tenants. The sign area for adjacent tenants complies with the Community Development Department's policy of requiring such signage to ensure that adjacent tenants maintain visibility during construction.

URBAN DESIGN ANALYSIS

The proposed project is tasteful in its design and conveys a clean and simple aesthetic to the streetscape. The façade lighting, utilized to highlight the façade cut-out, will draw attention to a unique component of the design. Additionally, the project includes increasing the parapet height by six inches (6") to a total of forty-five inches (45"), which is the maximum allowable, to create greater vertical modulation along South Santa Monica Boulevard.

However, the storefront system should be recessed to create a visually pleasing shadow cast to the exterior and to serve as a greater enhancement to the streetscape of South Santa Monica Boulevard. This effect can be achieved by making the storefront system flush on the interior as opposed to the exterior, as it is currently proposed.

Project-specific conditions have not been included as part of this analysis; however, the Commission may wish to consider it during the course of their review.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City's Master Architect list and the site and improvements are not listed on the City's historic resource inventory.

PUBLIC OUTREACH AND NOTIFICATION

Public outreach and notification was not required for this project.



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Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application

- Staff Review
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

B Identify the scope of work (check all that apply):

- New construction
- Façade Remodel ONLY
- Business Identification Sign(s)
 - Number of signs proposed:
- Building Identification Sign(s)
 - Number of signs proposed:
- Sign Accommodation (explain reason for the accommodation request below):
 - Number of signs proposed:
- Other: _____

Remodel: Int. & Ext, no floor area added

Remodel: Int. & Ext, floor area added

Awning(s): New Recovery

Open Air Dining: #Tables # Chairs

C Describe the scope of work proposed including materials and finishes:

- 1) Replacing existing storefront with new frameless glass storefront and frameless glass door with anodized aluminium kick plate, door handle, door hinges and lock.
- 2) New anodized aluminium sign above entrance, sign is illuminated by led rope lights.

D Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/>)

- | | | | | |
|---------------------------------------|---------------------------------|---|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4X | <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4-P | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP | <input checked="" type="checkbox"/> C-3 | <input type="checkbox"/> C-3A | <input type="checkbox"/> C-3B |
| <input type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2 | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5 |
| <input type="checkbox"/> Other: _____ | | | | |

E Lot is currently developed with (check all that apply):

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below): _____

F Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?

Yes No If yes, please list Architect's name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Indicate in the chart below all applicable signage details:

	<u>Type of Sign</u>	<u>Quantity</u>	<u>Dimensions</u>	<u>Square Ft</u>	<u>Maximum Area Permitted by Code</u>
1	Business ID sign	1	6'-3" x 1'-0"	6.3	67
2					
3					
4					
5					

B List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco
 Texture /Finish: Smooth
 Color / Transparency: White

WINDOWS/DOORS (Include frame, trim, glass, metal, etc.)

Material: Glass with Aluminium Frame
 Texture /Finish: Clear
 Color / Transparency: Clear Glass (No Color) with Anonodized Aluminium Frame

ROOF

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

COLUMNS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

BALCONIES & RAILINGS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

OUTDOOR DINING ELEMENTS (List all material for all outdoor dining elements.)

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

AWNINGS, CANOPIES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BUSINESS ID SIGN(S)

Material: Aluminium
Texture /Finish: Anodized
Color / Transparency: Anodized

BUILDING ID SIGN(S)

Material: Aluminium
Texture /Finish: Anodized
Color / Transparency: Anodized

EXTERIOR LIGHTING

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

PAVED SURFACES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

FREESTANDING WALLS AND FENCES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

OTHER DESIGN ELEMENTS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

C Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:

N/A

SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)

A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

- 1. Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The proposed glass storefront and signage is designed in a minimalistic manner incorporating the look and feel within the salon conveying elegance, simplicity, and serenity in accordance with the image of Beverly Hills.

- 2. Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

The frameless, insulated, clear storefront glass window and door are built to protect against internal and external noise, vibrations, as well as other undesirable environmental conditions.

- 3. Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The modern and elegant frameless glass and anodized aluminium connection as well as anodized aluminium signage consist of quality materials that have longevity and enhance the local environment.

- 4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

The proposed structure is in harmony with other proposed developments and existing buildings in the Beverly Hills area and in fact enhances the particular section of the area that it is being designed for.

- 5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

The proposed storefront and signage are designed in conformity with the standards of the municipal code and other applicable laws.

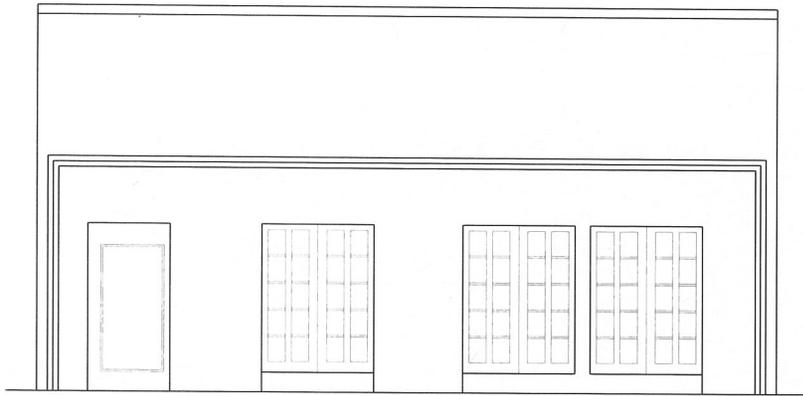


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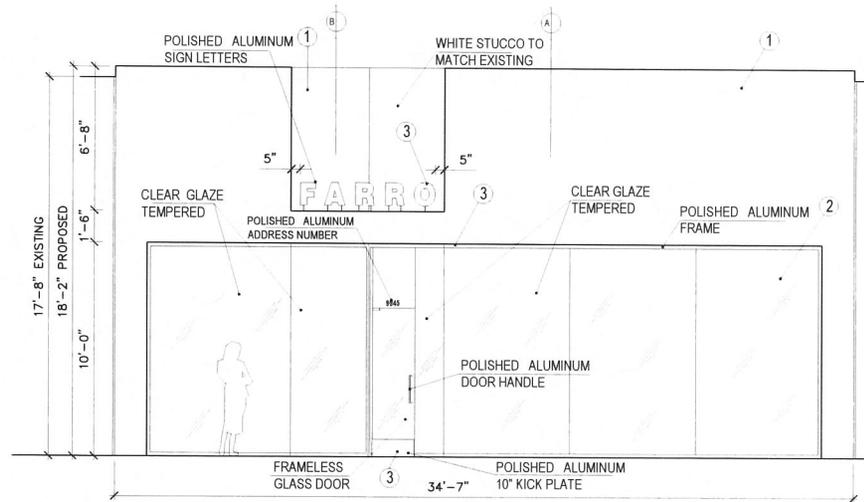
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Attachment B
Project Design Plans



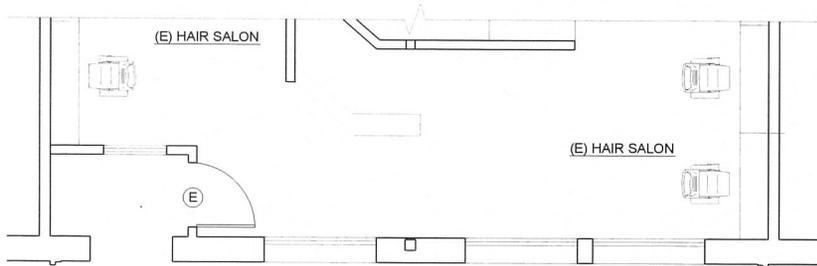
EXISTING STOREFRONT ELEVATION

SCALE: 3/16" = 1'-0"



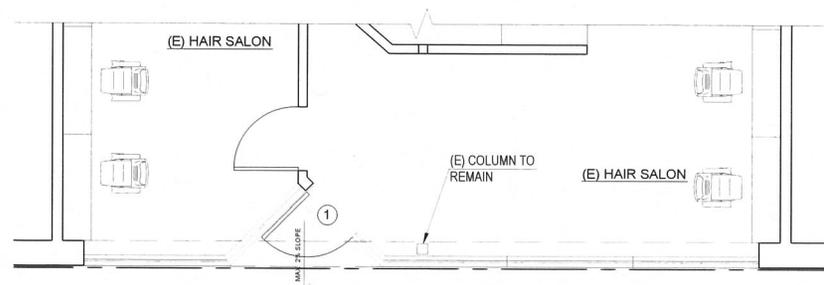
PROPOSED STOREFRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING STOREFRONT PLAN

SCALE: 3/16" = 1'-0"



PROPOSED STOREFRONT PLAN

SCALE: 3/16" = 1'-0"

FACADE REMODELING OF AN EXISTING HAIR SALOON
9845 S. SANTA MONICA BEVERLY HILLS, CA

SCALE: AS SHOWN

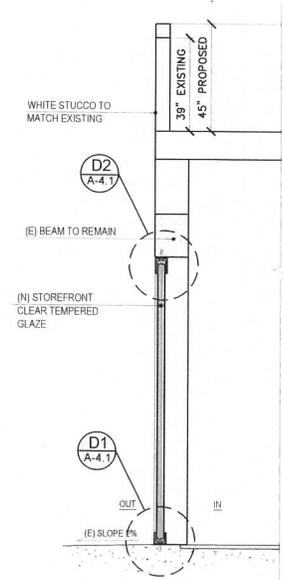
DATE: 01/05/2015

SHEET: A-3

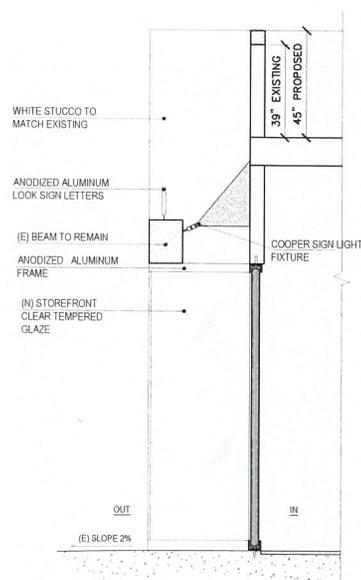
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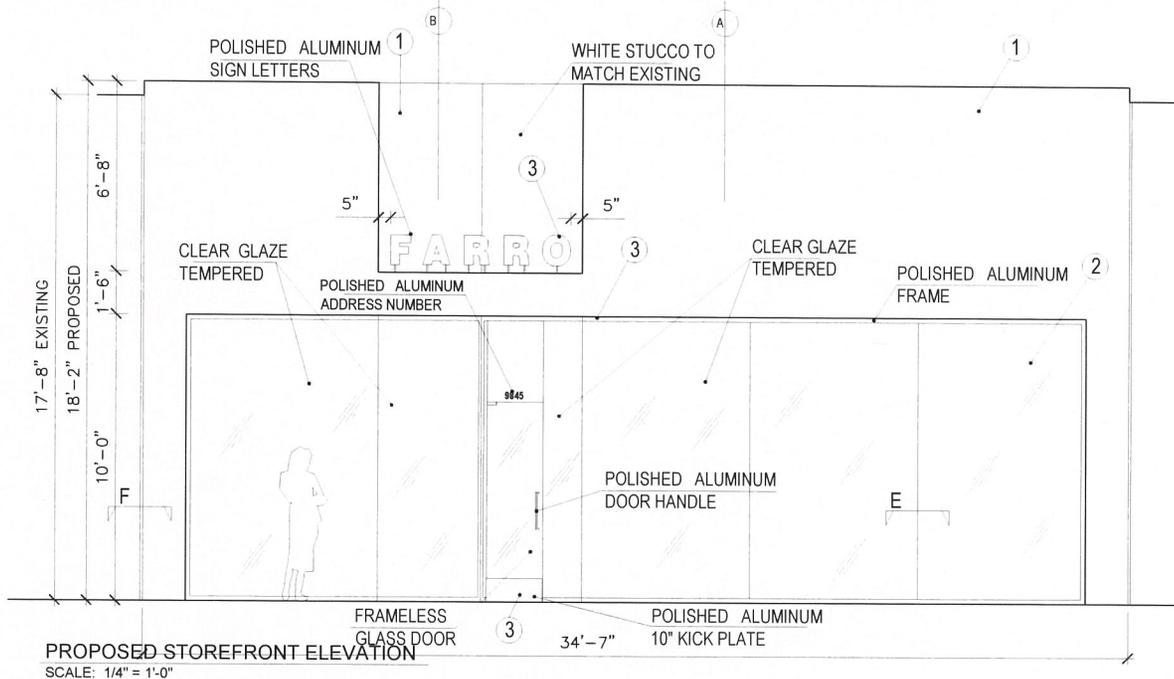
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10524 W. Pico Blvd., Suite 210
Los Angeles, California 90064
Milan@sbcglobal.net
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310 - 663 - 9701



SECTION A-A
SCALE: 1/4" = 1'-0"



SECTION B-B
SCALE: 1/4" = 1'-0"

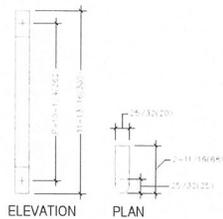


PROPOSED STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

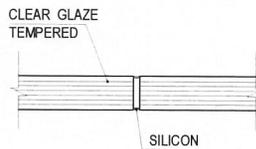
POLISHED ALUMINUM DOOR HANDLE

G2110-01-023-L300
Type: Short
Over all length: L11-13/16 (300)
Center to center: 10-1/4 (260)

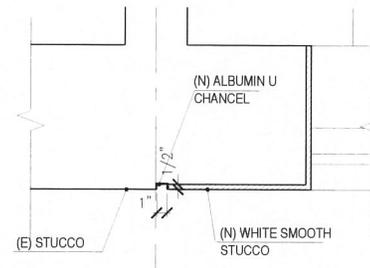
Company : Elmes Door Hardware
Address : 19142 S. Van Ness Ave. Torrance
CA. 90501
phone (877) 356-3737
fax (310) 618-8874
<http://www.elmesworld.com>



DOOR HANDEL DETAIL
SCALE: N.T.S.



SECTION E
SCALE: N.T.S.



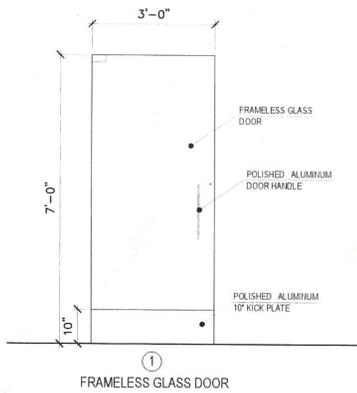
SECTION F
SCALE: N.T.S.

FACADE REMODELING OF AN EXISTING HAIR SALOON
9845 S. SANTA MONICA BEVERLY HILLS, CA

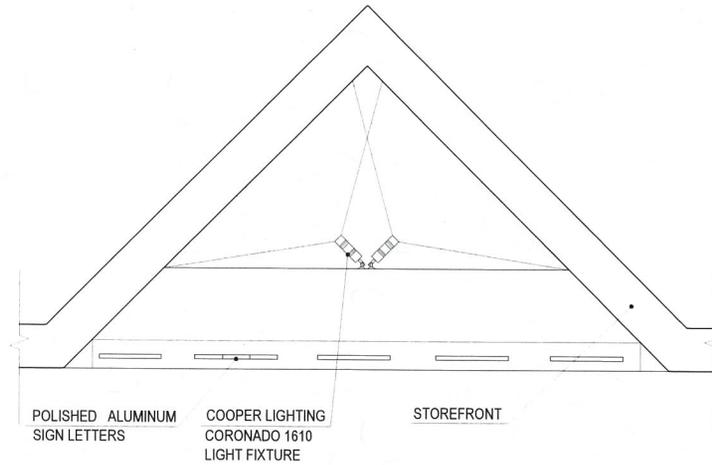
SCALE: AS SHOWN | DATE: 01/05/2015 | SHEET: A-4

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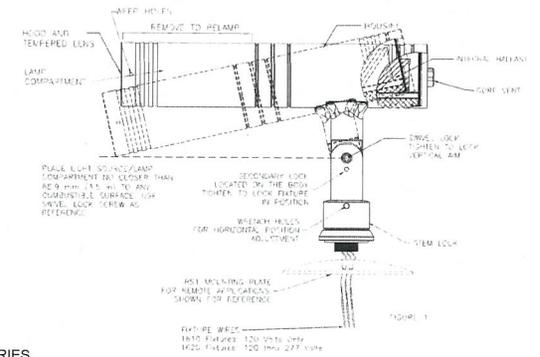
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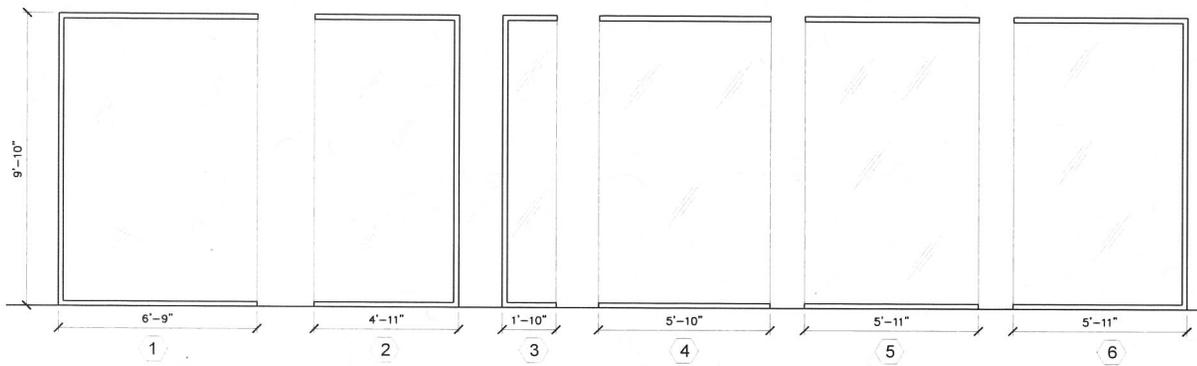
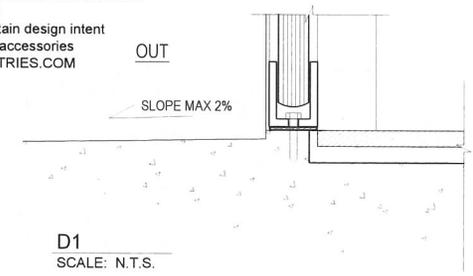
DOOR SCHEDULE
SCALE: N.T.S.



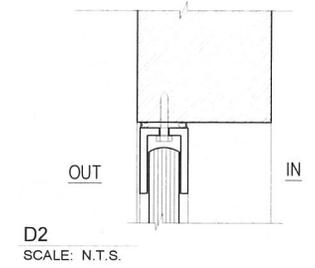
SIGN LIGHTING DETAIL
SCALE: 3/4"= 1'-0"



COOPER INDUSTRIES
CORONADO 1610 EXTERIOR SIGN LIGHTING FIXTURE
20W and 39W metal halide MR16
180° x 360° aiming
Precision-machined aluminum or stainless steel
Integral electronic ballast
Dual-lock aiming to maintain design intent
Holds up to three optical accessories
WWW.COOPERINDUSTRIES.COM



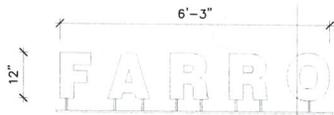
WINDOWS SCHEDULE
SCALE: N.T.S.



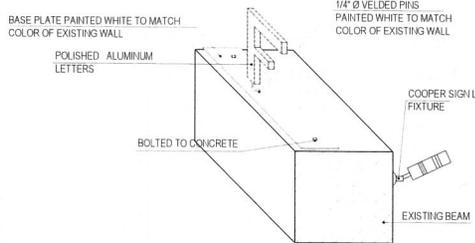
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FACADE REMODELING OF AN EXISTING HAIR SALOON
9845 S. SANTA MONICA BEVERLY HILLS, CA

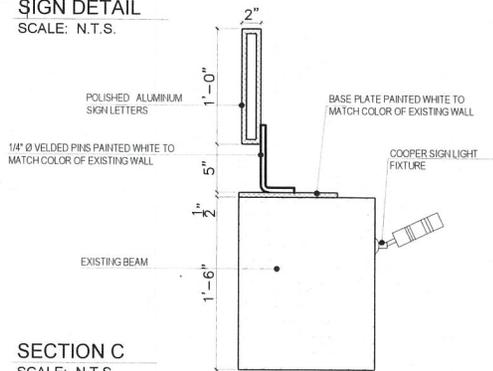
SCALE: AS SHOWN | DATE: 01/05/2015 | SHEET: A-4.1



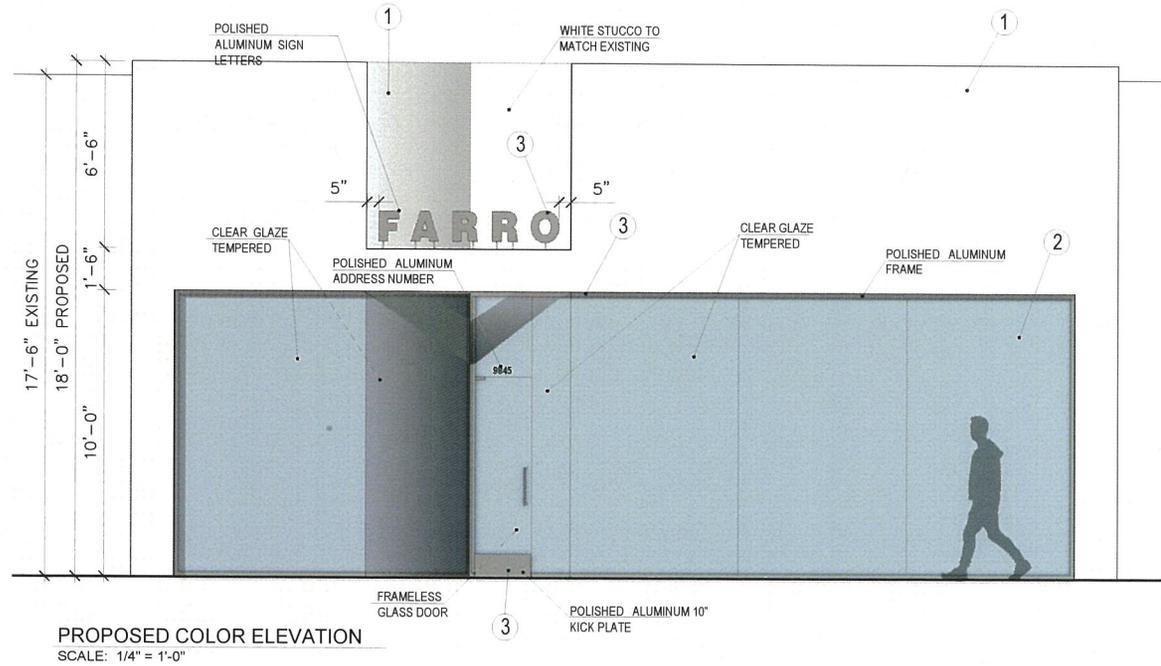
33'-6" WIDTH OF STOREFRONT x2=67 S.F.
SIGN COULD BE 67 S.F.
PROPOSED SIGN AREA IS 6.3 S.F.
SCALE: 1/2" = 1'-0"



SIGN DETAIL
SCALE: N.T.S.



SECTION C
SCALE: N.T.S.



PROPOSED COLOR ELEVATION
SCALE: 1/4" = 1'-0"

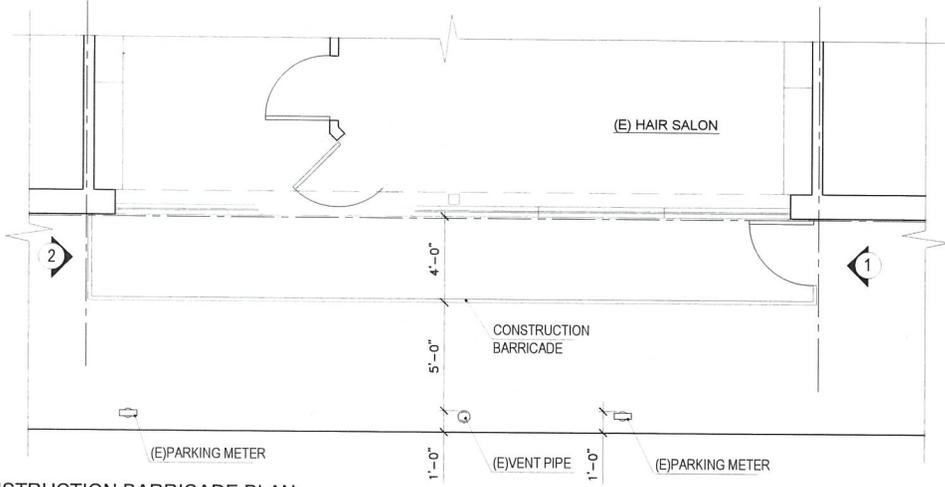
1. A linear light fixture shall be installed at the top base of the existing architectural element, where it meets the building face, to provide rear illumination on the building for the business identification signage. The illumination shall extend to the height of the letters projecting above the existing architectural element and shall not extend beyond the maximum width of the sign. All such illumination shall be installed on a dimmer.
2. The base plate and mounting pins for the building identification signage shall be powder-coated to match the color of the existing wall.

FACADE REMODELING OF AN EXISTING HAIR SALOON
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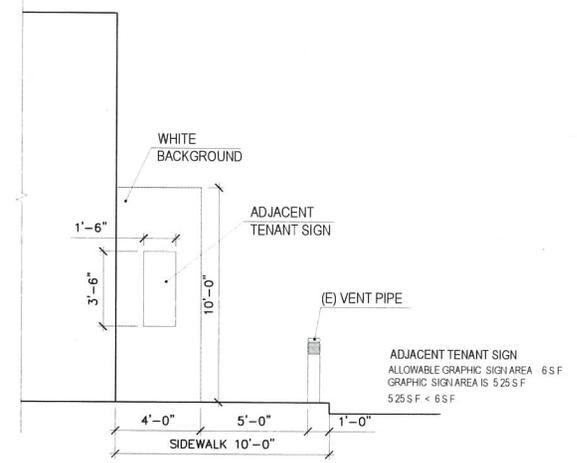
SCALE: AS SHOWN | DATE: 01/05/2015 | SHEET: A-5

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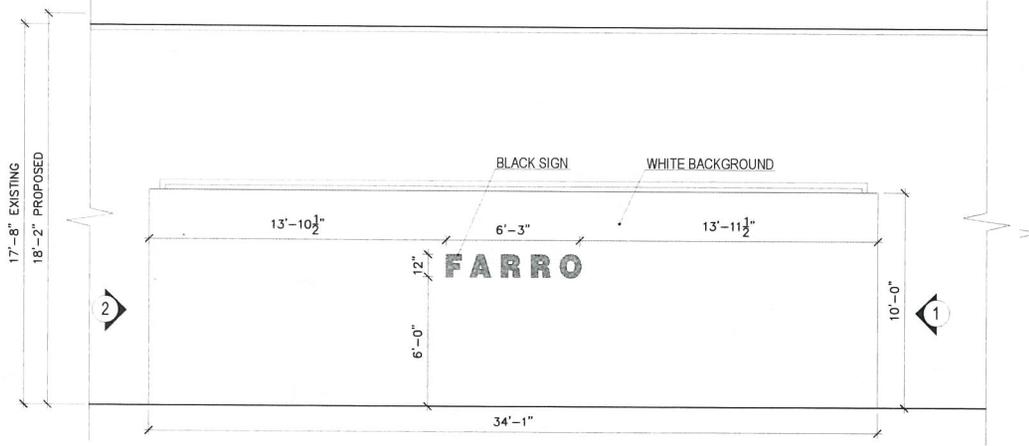
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CONSTRUCTION BARRICADE PLAN
SCALE: 3/16"= 1'-0"

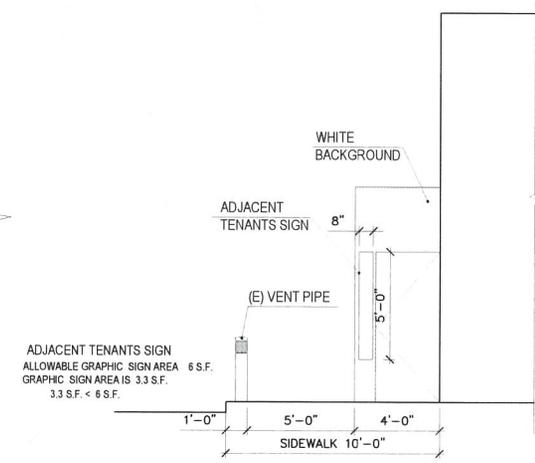
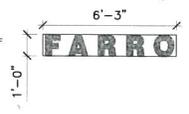


BARRICADE ELEVATION 2
SCALE: 3/16"= 1'-0"



CONSTRUCTION BARRICADE ELEVATION
SCALE: 3/16"= 1'-0"

ALLOWABLE GRAPHIC SIGN AREA 12 SF
GRAPHIC SIGN AREA IS 6.3 SF
6.3 SF < 12 SF



BARRICADE ELEVATION 1
SCALE: 3/16"= 1'-0"

FACADE REMODELING OF AN EXISTING HAIR SALOON
9845 S. SANTA MONICA BEVERLY HILLS, CA

SCALE: AS SHOWN

DATE: 01/05/2015

SHEET: A-6

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3 1 0 - 6 6 3 - 9 7 0 1

EXISTING STOREFRONT



EXISTING PANORAMA VIEW
SCALE: N.T.S.

PROPOSED STOREFRONT



PROPOSED PANORAMA VIEW
SCALE: N.T.S.

FACADE REMODELING OF AN EXISTING HAIR SALOON
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SCALE: AS SHOWN

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SHEET: A-7

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Architectural Commission Report

455 North Rexford Drive, Room 280-A

AC Meeting – January 21, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. AC-XX-15

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT FOR A FAÇADE REMODEL, A BUSINESS IDENTIFICATION SIGN, AND A CONSTRUCTION BARRICADE FOR THE PROPERTY LOCATED AT 9845 SOUTH SANTA MONICA BOULEVARD (PL1500113 – FARRO).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Milan Lojdl, agent, on behalf of the property owner, Jeff Wilson, and the tenant, Farro, (Collectively the “Applicant”), has applied for architectural approval of a façade remodel, a business identification sign, and a construction barricade for the property located at 9845 South Santa Monica Boulevard.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from the California Environmental Quality Act

(CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City’s Master Architect list and the site and improvements are not listed on the City’s historic resource inventory.

Section 5. The Architectural Commission conducted a duly noticed public hearing on **January 21, 2015** at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city’s urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, complaint with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a “character contributing building”: in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

No project-specific conditions are proposed.

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city’s municipal code and applicable conditions imposed by any discretionary review approval.

4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **January 21, 2015**

William Crouch, Commission Secretary
Community Development Department

Barry Bernstein, Chair
Architectural Commission