



Architectural Commission Report

Meeting Date: Wednesday, January 21, 2015

Subject: **EMPORIO ARMANI (PL1500096)**
338 North Rodeo Drive

Request for approval of a façade remodel, a business identification sign, and a construction barricade graphic. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project agent: Phil Tollios – Burnham Nationwide

Recommendation: Conduct public hearing to discuss the project details and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a façade remodel, business identification sign, and a construction barricade graphic for Emporio Armani located at 338 North Rodeo Drive. The project includes the following components:

Façade Remodel

- Natural marble slab façade;
- Multi-story black metal (semi-glossy) storefront system with clear glazing;
- LED light coves at top and bottom of storefront system to provide a wash of illumination;
- Black aluminum door handles, and;
- Bronzed stainless steel metal rods on interior of storefront system.

Business Identification Sign

- One (1) 12.3 SF façade-mounted (horizontal mullion), edge-lit sign located directly above entry door in a white opaque plexiglass material (sign copy: "GEORGIO ARMANI" + logo)

Note: The logo utilizes a white opaque plexiglass material and a black semi-glossy aluminum in alternating horizontal lines.

Pursuant to Beverly Hills Municipal Code (BHMC) §10-4-604, the maximum allowable sign area for business identification signage for a ground floor business with street frontage is two square feet (2') in area for each one foot (1') of ground floor street frontage, in no event to exceed 100 square feet. Based on a storefront length of 24'-10", the maximum sign area for this tenant is approximately 50 SF.

Construction Barricade

The applicant is also requesting a construction barricade graphic with signage. Pursuant to BHMC §10-4-612, construction barricades may include 12 SF of signage that includes the name of the business, a company logo, and the opening date of the business on that portion of the construction barricade parallel to the street. Each barricade return (that portion located perpendicular to the street) may include 2 SF of such signage. As proposed, the barricade complies with the standards.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191
cgordon@beverlyhills.org



Architectural Commission Report

455 North Rexford Drive, Room 280-A

AC Meeting – January 21, 2015

Each barricade return also includes 6 SF of sign area allocated to adjacent tenants. The sign area for adjacent tenants complies with the Community Development Department's policy of requiring such signage to ensure that adjacent tenants maintain visibility during construction.

URBAN DESIGN ANALYSIS

The proposed project provides a clean, simple, and upscale aesthetic in its configuration and use of materials. The interior rods, while located fully on the interior of the storefront, bring an interesting visual to the exterior façade. Both the exterior and interior elements, as well as the construction barricade with its artful graphic, will serve as a positive enhancement to the streetscape of North Rodeo Drive

However, it is recommended that the parapet be increased by three inches (3") to a total of forty-five inches (45"), the greatest extent permissible pursuant to the BHMC, to create greater vertical modulation for the streetscape.

Project-specific conditions have not been included as part of this analysis; however, the Commission may wish to consider it during the course of their review.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City's Master Architect list and the site and improvements are not listed on the City's historic resource inventory.

PUBLIC OUTREACH AND NOTIFICATION

Public outreach and notification was not required for this project.



Architectural Commission Report

455 North Rexford Drive, Room 280-A
AC Meeting – January 21, 2015

Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application

- Staff Review
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

B Identify the scope of work (check all that apply):

- New construction
 - Façade Remodel ONLY
 - Business Identification Sign(s)
 - Number of signs proposed:
 - Building Identification Sign(s)
 - Number of signs proposed:
 - Sign Accommodation (explain reason for the accommodation request below):
 - Number of signs proposed:
 - Other: _____
- Remodel: Int. & Ext, no floor area added
 Remodel: Int. & Ext, floor area added
 Awning(s): New Recovery
 Open Air Dining: #Tables # Chairs

C Describe the scope of work proposed including materials and finishes:

The exterior façade consists of a marble, aluminum curtain wall system with extra clear glass. The semi-glossy, black metal finish is applied to an aluminum frame, to reveal trim, the building number and back plate of the sign. The bronzed stainless steel fins, behind the curtain wall, create a layering skin through the curtain wall system.

D Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/>)

- | | | | | |
|---|---------------------------------|---------------------------------|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4X | <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4-P | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP | <input type="checkbox"/> C-3 | <input type="checkbox"/> C-3A | <input type="checkbox"/> C-3B |
| <input checked="" type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2 | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5 |
- Other: _____

E Lot is currently developed with (check all that apply):

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below): _____

F Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?

Yes No If yes, please list Architect's name: JOSEPH DASILVA

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Indicate in the chart below all applicable signage details:

	<u>Type of Sign</u>	<u>Quantity</u>	<u>Dimensions</u>	<u>Square Ft</u>	<u>Maximum Area Permitted by Code</u>
1	Building Identification	1	11'-10"x 1'-0 1/2"	12.3 SF	49.7 SF
2	Building number	1	1'-2"x 6"	1.2 SF	5 SF
3					
4					
5					

B List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):

FAÇADE (List all material for all portions visible from the street)

Material: NATURAL MARBLE SLAB
Texture /Finish: POLISHED / SMOOTH
Color / Transparency: GREY / NONE

WINDOWS/DOORS (Include frame, trim, glass, metal, etc.)

Material: FRAME: ALUMINUM, TRIM: ALUMINUM, GLASS: EXTRACLEAR TEMPERED GLASS
Texture /Finish: ALUM: SEMI-GLOSSY 70%, GLASS: CLEAR
Color / Transparency: ALUM: BLACK, GLASS: 100% TRANSPARENCY

ROOF

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

COLUMNS

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

BALCONIES & RAILINGS

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

OUTDOOR DINING ELEMENTS (List all material for all outdoor dining elements.)

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

AWNINGS, CANOPIES

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

DOWNSPOUTS / GUTTERS

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

BUSINESS ID SIGN(S)

Material: ALUMINUM, WHITE OPALINE POLYCARBONATE
Texture /Finish: ALUM: SEMI-GLOSSY 70%, GLASS: CLEAR, OPALINE POLYCARBONATE: SMOOTH
Color / Transparency: ALUM: BLACK, OPALINE POLYCARBONATE: WHITE

BUILDING ID SIGN(S)

Material: ALUMINUM
Texture /Finish: ALUM: SEMI-GLOSSY 70%
Color / Transparency: ALUM: BLACK,

EXTERIOR LIGHTING

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

PAVED SURFACES

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

FREESTANDING WALLS AND FENCES

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

OTHER DESIGN ELEMENTS

Material: NOT APPLICABLE
Texture /Finish:
Color / Transparency:

C Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:

NOT APPLICABLE

SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)

A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

- 1. Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The exterior facade design utilizes natural marble with a contrast black aluminum curtain wall system. The additional interior bronzed fins create a sophisticated layer skin behind the curtain wall. The bronzed fins are illuminated with LED strip lighting from the interior, which provide a warm glow appearance to the facade.

- 2. Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

The structural metal stud framing is designed to resist seismic forces and the batt insulation provides thermal and noise protection. The specified aluminum curtain wall system is also compliant with the California Energy Performance Code and Seismic Requirements.

- 3. Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The exterior facade will be designed with materials and finishes (marble, aluminum, glass, etc.) that will sustain the stress of weather and time.

- 4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

Emporio Armani's proposed scale and design is fitting contextually with what is existing on Rodeo drive. The finishes/materials are also consistent with the surrounding luxury retail in that all the chosen materials and finishes are of a higher quality and represent Giorgio Armani's global brand and reputation for excellence in design.

- 5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

The design fully complies with the California Building Code, and Title 24.



Architectural Commission Report

455 North Rexford Drive, Room 280-A
AC Meeting – January 21, 2015

Attachment B
Project Design Plans

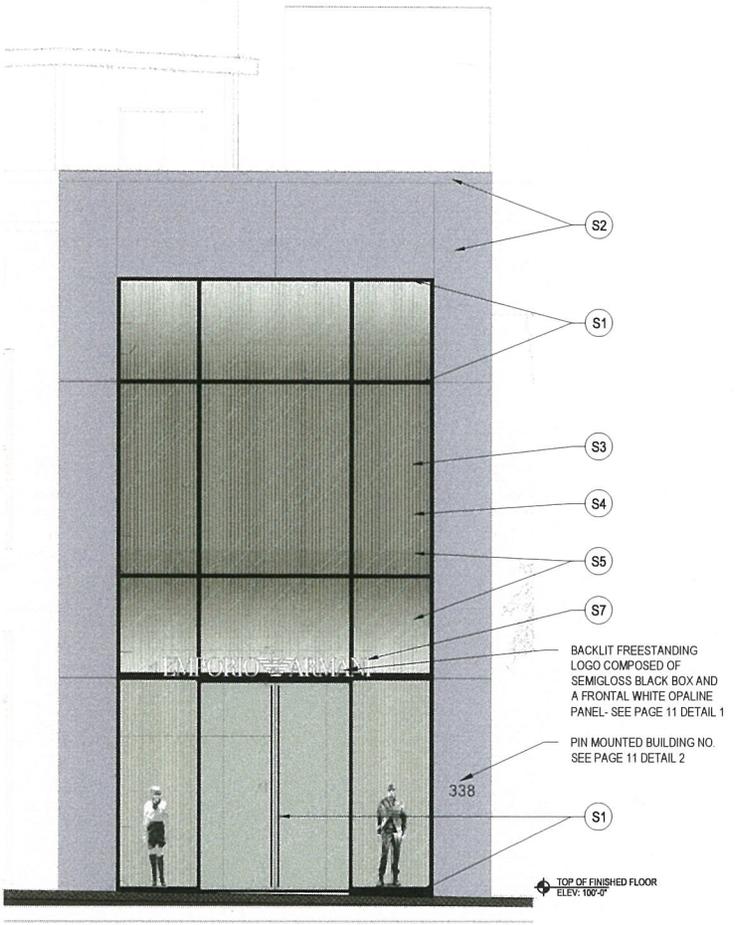
KEYNOTES LEGEND:

S1	SEMI GLOSSY BLACK METAL (SEMI-GLOSSY BLACK COLOR 70% GLOSSINESS)
S2	NATURAL MARBLE SLAB
S3	BRONZED STAINLESS STEEL
S4	EXTRACLEAR STRATIFIED TEMPERED GLASS
S5	MARMORINO FINISH
S6	METAL F REVEAL MOLDING FINISH TO MATCH S1
S7	WHITE OPALINE POLYCARBONATE

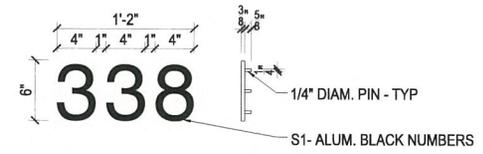
LANDLORD PROVIDED BASE BUILDING FINISHES

L1	TEXTON- TUSCANY EXTERIOR PLASTER. CODE: VPC-5305F-022814 OR SIMILAR COLOR AND TEXTURE APPROVED BY ARCHITECT
R1	FRYREGLET. PLASTER MOLDING CHANNEL REVEAL POWDER PAINT. SILVER SATIN
R2	FRYREGLET. PLASTER MOLDING F REVEAL MOLDING POWDER PAINT. SILVER SATIN

REFER TO MATERIAL BOARDS FOR MATERIAL SAMPLES

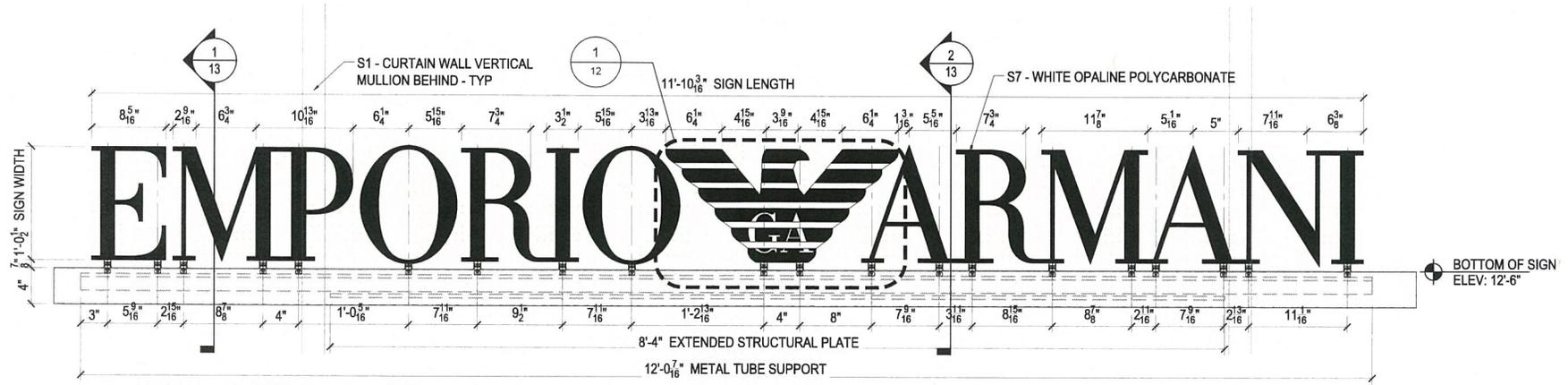


1 COLOR ELEVATION
SCALE: 1/8"=1'-0"



BUILDING IDENTIFICATION NUMBERS: 0.6 SF X 2= 1.2 SF

2 BUILDING IDENTIFICATION DETAIL
 SCALE: 1"=1'-0"



BUSINESS IDENTIFICATION SIGN: 12.3 SF

TOTAL ALLOWABLE SIGN AREA: STREET FRONTAGE (LF) X 2 (SF/LF)
 24'-10" X 2 SF/LF = 49.7 SF
 PROVIDED SIGN AREA: 11'-10³/₁₆" X 1'-0¹/₂" = 12.3 SF

1 FRONT SIGNAGE DETAIL
 SCALE: 1"=1'-0"



Material Legend:

KEYNOTES LEGEND:

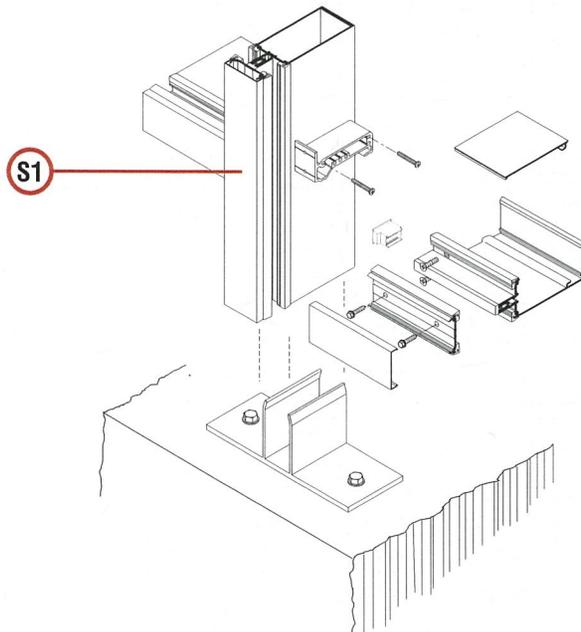
- S1 SEMI GLOSSY BLACK METAL (SEMI-GLOSSY BLACK COLOR 70% GLOSSINESS)
- S2 NATURAL MARBLE SLAB
- S3 BRONZED STAINLESS STEEL
- S4 EXTRACLEAR STRATIFIED TEMPERED GLASS
- S5 MARMORINO FINISH
- S6 METAL F REVEAL MOLDING FINISH TO MATCH S1
- S7 WHITE OPALINE POLYCARBONATE

LANDLORD PROVIDED BASE BUILDING FINISHES

- L1 TEXTON- TUSCANY EXTERIOR PLASTER. CODE: VPC-5305F-022814 OR SIMILAR COLOR AND TEXTURE APPROVED BY ARCHITECT
- R1 FRYREGLET. PLASTER MOLDING CHANNEL REVEAL POWDER PAINT. SILVER SATIN
- R2 FRYREGLET. PLASTER MOLDING F REVEAL MOLDING POWDER PAINT. SILVER SATIN

REFER TO MATERIAL BOARDS FOR MATERIAL SAMPLES

Curtain Wall Framing:



EMPORIO ARMANI

Emporio Armani Store | 338 N Rodeo Drive, Beverly Hills, California · Antunovich Associates ©

Materials And Samples

January 5, 2015



S7 Front Signage:

WHITE OPALINE POLYCARBONATE - ARTHEMA EAU PLEXIGLASS OPALINO



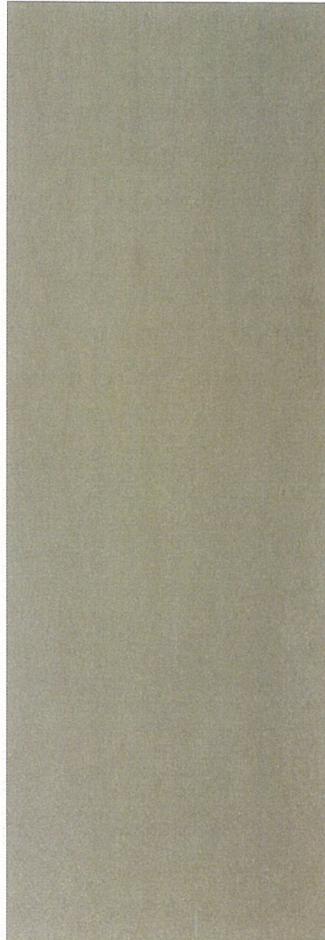
S1 Curtain Wall Framing:

SEMI GLOSSY BLACK METAL (SEMI-GLOSSY BLACK COLOR 70% GLOSSINESS) ALUMINUM



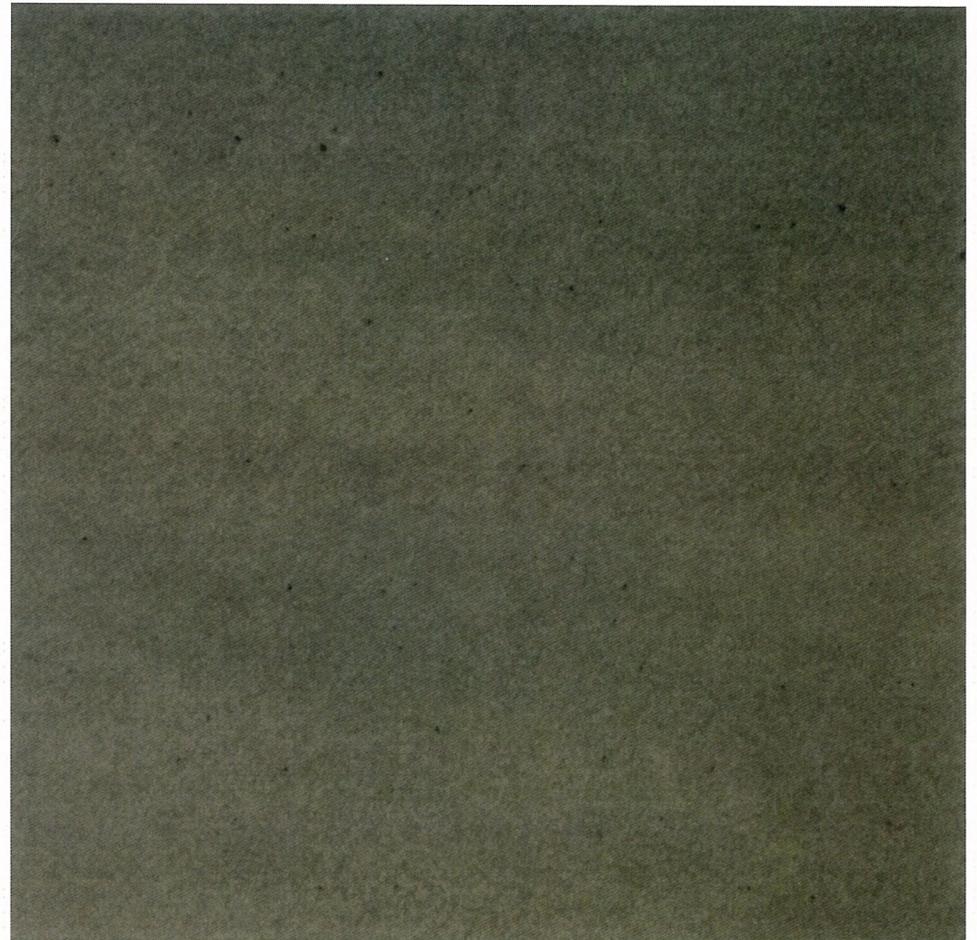
S3 Architectural Fins/ Metal Rods:

BRONZED STAINLESS STEEL - ELETTRICOLOR DURACOLOR 1



S5 Interior Paint Finish:

MARMORINO FINISH



S2 Exterior Facade:

NATURAL GREY MARBLE SLAB FACADE

Temporary Barricade Signage

TOTAL ALLOWABLE SIGNAGE AREA:

FRONT: 12 SF
 SIDE: 2 SF
 IMMEDIATELY ADJACENT TENANT SIGNAGE: 6 SF

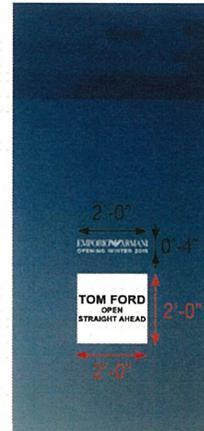
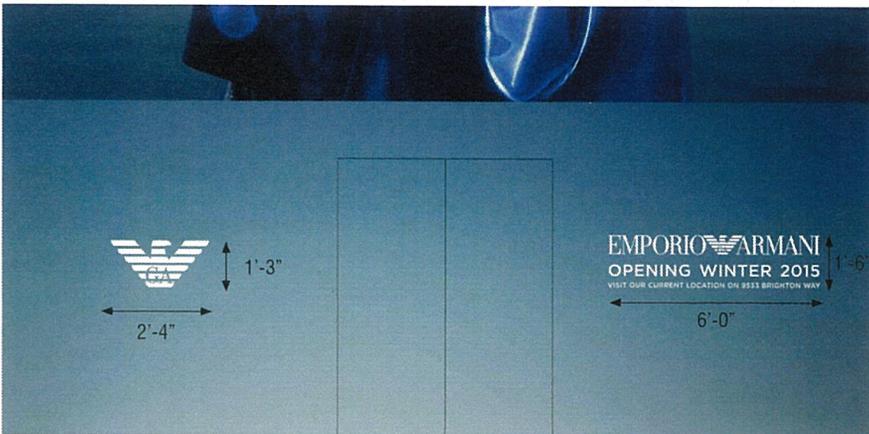
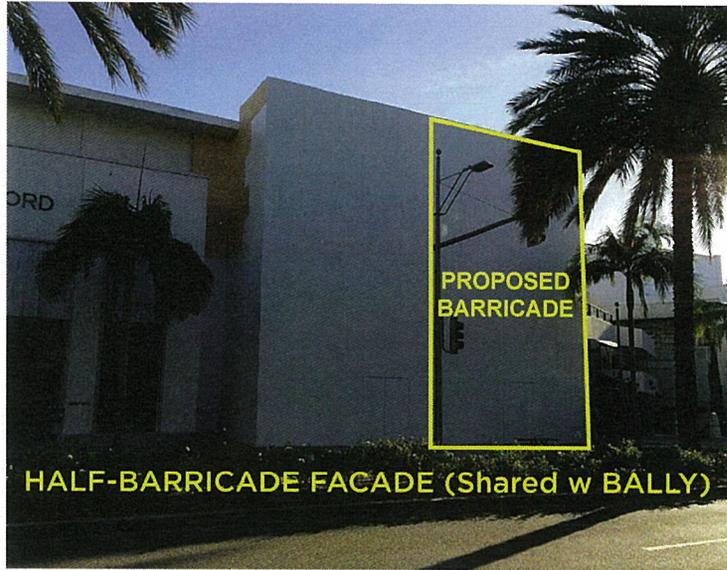
PROVIDED SIGNAGE AREA:

FRONT: 6'-0" X 1'-6" = 9 SF
 2'-4" X 1'-3" = 2.9 SF

FRONT BARRICADE TOTAL SIGNAGE AREA: 11.9 SF

SIDE: 2'-0" X 3.6" = 0.6 SF

IMMEDIATELY ADJACENT TENANT SIGNAGE: 4 SF





EMPORIO  ARMANI

Emporio Armani Store | 338 N Rodeo Drive, Beverly Hills, California · Antunovich Associates ©

Building Rendering

January 5, 2015



Architectural Commission Report

455 North Rexford Drive, Room 280-A

AC Meeting – January 21, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. AC-XX-15

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT FOR A FAÇADE REMODEL, A BUSINESS IDENTIFICATION SIGN, AND A CONSTRUCTION BARRICADE GRAPHIC FOR THE PROPERTY LOCATED AT 338 NORTH RODEO DRIVE (PL1500096 – EMPORIO ARMANI).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Phil Tollios, Burnham Nationwide, agent, on behalf of the property owner, ECA Capital, and the tenant, Emporio Armani, (Collectively the “Applicant”), has applied for architectural approval of a façade remodel, a business identification sign, and a construction barricade graphic for the property located at 338 North Rodeo Drive.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s

local CEQA Guidelines. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City’s Master Architect list and the site and improvements are not listed on the City’s historic resource inventory.

Section 5. The Architectural Commission conducted a duly noticed public hearing on **January 21, 2015** at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city’s urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a “character contributing building”: in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

No project-specific conditions are proposed.

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city’s municipal code and applicable conditions imposed by any discretionary review approval.

4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **January 21, 2015**

William Crouch, Commission Secretary
Community Development Department

Barry Bernstein, Chair
Architectural Commission