



## Architectural Commission Report

---

- Meeting Date:** Wednesday, January 15, 2014  
*(Continued from the Architectural Commission meeting on Wednesday, November 20, 2013)*
- Subject:** **151 EL CAMINO DRIVE**  
Request for approval of a façade remodel, landscaping, a sign accommodation for a ground sign, and a sign accommodation to allow business identification signage to project above the top surface of an architectural element. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.  
(PL1329795)
- Project agent:** Andrew Mangan
- Recommendation:** Conduct public hearing to discuss the project details and provide the applicant with an approval.
- 

### REPORT SUMMARY

The applicant is requesting review and approval of a façade remodel, a sign accommodation for a ground sign, and a sign accommodation to allow business identification signage to project above the top surface of an architectural element for an existing commercial building at 151 El Camino Drive. The project was previously reviewed by the Commission as a project preview on October 16, 2013 (Attachment A) and as a formal project on November 20, 2013 (Attachment B). At both meetings, the project was well-received with the comment related primarily to clarifying façade details, considering the incorporation of a green wall on the elevation adjacent to Charleville Boulevard, and providing a light study for the proposed reflective glazing.

As a result of those comments, the applicant has modified the design in the following manner:

- Replaced reflective glazing with clear glazing to eliminate reflectivity issues on surrounding residential neighborhoods;
- Exposed bracing system and metal cladding at floor lines;
- Incorporated a green wall on the elevation adjacent to Charleville Boulevard, and;
- Provided clarified details (attached to hard copy plans).

Note: All proposed signage is consistent with that proposed to the Architectural Commission at their meeting on November 20, 2013.

### URBAN DESIGN ANALYSIS

Based on the Urban Designer's review of the proposed project, the comments from the Commission have been thoughtfully incorporated and the new design creates a cleaner and more appropriate

#### Attachment(s):

- October 16, 2013 (Project Preview) Staff Report and Plans
- November 20, 2013 Staff Report and Plans
- Response to Comments (Applicant-prepared)
- Project Design Plans
- DRAFT Approval Resolution

#### Report Author and Contact Information:

Cindy Gordon, Associate Planner  
(310) 285-1191  
[cgordon@beverlyhills.org](mailto:cgordon@beverlyhills.org)



## **Architectural Commission Report**

455 North Rexford Drive, Room 280-A  
AC Meeting – January 15, 2014

interface with the building and surrounding neighborhoods. Additionally, the proposed green wall is a positive addition to the Charleville Boulevard elevation.

### **ZONING CODE COMPLIANCE**

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### **ENVIRONMENTAL ASSESSMENT**

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

### **PUBLIC OUTREACH AND NOTIFICATION**

Public notification was required for this project as it was continued from a prior meeting.



**Architectural Commission Report**

455 North Rexford Drive, Room 280-A  
AC Meeting – January 15, 2014

**Attachment A:**

October 16, 2013 (Project Preview)  
Staff Report and Plans



## City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210  
TEL. (310) 458-1141 FAX. (310) 858-5966

# Architectural Commission Report

---

**Meeting Date:** Wednesday, October 16, 2013

**Subject:** **151 El Camino Drive**  
Request for preliminary review of a façade remodel, business identification signage, and landscaping.  
(PL1326396)

**Project agent:** Andrew Mangan – Wolcott Interiors

**Recommendation:** Review the proposed project and provide the applicant with design feedback.

---

### REPORT SUMMARY

The applicant is requesting a preliminary review of a façade remodel, business identification signage, and landscaping, to an existing 4-story commercial building located at 151 El Camino Drive. The project is currently undergoing historic and zoning review and may be revised as a result of such reviews. As such, the applicant has requested to come before the Architectural Commission as a preview item.

Project design plans are included in Attachment A and it is recommended that the Commission review the design plans and provide applicant team with general design feedback.

### URBAN DESIGN ANALYSIS

Based on the Urban Designer's review of the proposed project, the façade remodel will provide a welcome upgrade to the property. The new glazing material will greatly increase the transparency of the building and enhance the streetscape. The proposed entryway redesign and landscaping will improve the pedestrian experience in the area, and signage appears to be appropriately designed, scaled, and sited for the building.

### ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Attachment(s):  
A. Project Design Plans

Report Author and Contact Information:  
Cindy Gordon, Associate Planner  
(310) 285-1191  
[cgordon@beverlyhills.org](mailto:cgordon@beverlyhills.org)



**Design Review Commission Report**

455 North Rexford Drive  
AC Meeting – October 16, 2013

**PUBLIC OUTREACH AND NOTIFICATION**

Public outreach and notification was not required for this project.





**Architectural Commission Report**

455 North Rexford Drive, Room 280-A

AC Meeting – January 15, 2014

**Attachment B:**

November 20, 2013

Staff Report and Plans



## Architectural Commission Report

---

**Meeting Date:** Wednesday, November 20, 2013

**Subject:** **151 El Camino Drive**  
Request for approval of a façade remodel, landscaping, a sign accommodation for a ground sign, and a sign accommodation to allow business identification signage to project above the top surface of an architectural element. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.  
(PL1329795)

**Project agent:** Andrew Mangan – Wolcott Interiors

**Recommendation:** Conduct public hearing to discuss the project details and provide the applicant with an approval.

---

### REPORT SUMMARY

The applicant is requesting review and approval of a façade remodel, landscaping, a sign accommodation for a ground sign, and a sign accommodation to allow business identification signage to project above the top surface of an architectural element for an existing office building at 151 El Camino Drive.

This project was previously reviewed by the Architectural Commission as a project preview at their meeting on Wednesday, October 16, 2013. At that meeting, the project was well-received by the Commission with the comments relating primarily to further clarifying façade details. As a result of the prior review, the overall concept of the project has not changed substantially and includes the following components:

- Remove existing brick cladding from façade
- Replace existing opaque storefront glazing with new translucent grey glazing system on existing facade
- New recessed entry lobby with poured concrete base, back-connected glazing stair tower, frameless translucent white glazing curtain wall, stained wood plank ceiling, and brushed aluminum clad columns and beams
- New visitor parking access from El Camino Drive with new driveway and façade opening

The applicant is also proposing the following signage for the property:

- One (1) main sign, 18 inches in letter height, to project above the top surface of a new entry canopy, with copy "Kennedy Wilson". The proposed sign consists of internally illuminated channel letters individually made of brushed stainless steel with white translucent faces pin-mounted on top of a new stainless steel entry canopy.

Attachment(s):

- A. Project Preview Staff Report and Plans
- B. Detailed Design Description and Materials (Applicant Prepared)
- C. Project Design Plans
- D. DRAFT Approval Resolution

Report Author and Contact Information:

Reina Kapadia, Limited Term Planner  
(310) 285-1129  
[rkapadia@beverlyhills.org](mailto:rkapadia@beverlyhills.org)



## Architectural Commission Report

455 North Rexford Drive, Room 280-A  
AC Meeting – November 20, 2013

Pursuant to Beverly Hills Municipal Code (BHMC) §10-4-306, the Architectural Commission may approve a sign accommodation to permit one non-illuminated sign, constructed of individual letters that do not exceed fourteen inches (14") on a marquee, awning, canopy or similar architectural element which projects more than 12" from the face of the building. Awning signage is not included in the total sign area calculations for business identification signs. As proposed, the sign does not comply with BHMC §10-4-306; the applicant will need to revise the sign to be non-illuminated, and the letter height must be reduced to no more than 14 inches.

- One (1) ground sign six feet (6') in height with the building address copy "151" adjacent to the main entryway. The proposed ground sign consists of 12" high stainless steel channel letters mounted on a frosted glass panel over a stone tile concrete base.

Pursuant to Beverly Hills Municipal Code §10-4-610 D, the Architectural Commission has the authority to grant a sign accommodation to allow a ground sign to be located on a street other than La Cienega Blvd., Robertson Blvd., Doheny Dr., Olympic Blvd., Wilshire Blvd., or Sunset Blvd.

- The applicant is also proposing one (1) parking sign located on the fascia above the new parking structure opening, which consist of nine inch (9") high pin-mounted brushed stainless steel channel letters.

Pursuant to Beverly Hills Municipal Code §10-4-652, one sign that does not exceed twenty (2) square feet in area may be erected adjacent to each garage entrance from a public street for the purpose of identifying the garage entrance. This sign is not subject to a sign accommodation.

### URBAN DESIGN ANALYSIS

Based on the Urban Designer's review of the project, the proposed façade modifications provide a clean facelift to the building, and the landscape treatment at the ground floor enhances the pedestrian experience. Therefore, staff recommends approval of the proposed project.

### ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.



## **Architectural Commission Report**

455 North Rexford Drive, Room 280-A  
AC Meeting – November 20, 2013

The project has also been reviewed and found not be a historic resource. The property was originally designed and subsequently remodeled by two distinct parties featured on the City's List of Master Architects (Douglas Honnold and Maxwell Starkman, respectively). Pursuant to BHMC §10-3-3218, any work involving a change in design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the City's List of Master Architects shall be subject to a thirty (30) day holding period prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). However, pursuant to BHMC §10-3-3218, the Director of Community Development may waive the 30 day holding period if the Director determines that the property is not eligible for listing on the local register. Based on the Historic Assessment Report submitted in conjunction with the proposed project, the Director determined that the property has lost integrity and so the subject property is not considered to be a historic resource in the City of Beverly Hills.

### **PUBLIC OUTREACH AND NOTIFICATION**

The sign accommodation request for this project requires mailed public notices within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, November 8, 2013. To date, staff has not received any comments in regards to the submitted project.

CONSULTANT

CERTIFICATION



PROJECT

**PHASE I  
 EXTERIOR RENOVATIONS**  
 AT  
 151 EL CAMINO DRIVE  
 BEVERLY HILLS, CA 90212



FLOOR/LEVEL: **SITE PLAN**

ISSUE OR REVISION NOTES

NO.	DATE	DESCRIPTION
01	2/13/18	AC - SUBMITTAL SET - PREVIEW
02	11/04/18	AC - SUBMITTAL SET

CLIENT APPROVAL BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

The design, drawings, specifications, schedules, program and construction documents are prepared by Kennedy Wilson Architecture, Inc. ("KW") and are the property of KW. They are to be used only for the project and site identified on these documents. Any other use, reproduction, distribution, or disclosure of these documents without the written consent of KW is strictly prohibited. KW shall not be responsible for any errors or omissions in these documents, drawings, specifications, schedules, program and construction documents, or for any consequences arising therefrom, including those caused by negligence, active or passive. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

PROJECT NO: **13-781-833**

DRAWN BY: SM CHECKED BY: AM

PROJECT MANAGER: BB

DRAWING SCALE: AS NOTED

SHEET SIZE: 30x42

DRAWING TITLE:

**PROPOSED  
 EXTERIOR  
 RENDERING**

SHEET NO:

**AB-21**



VIEW FROM EL CAMINO DRIVE



VIEW FROM CHARLEVILLE BOULEVARD



VIEW FROM EL CAMINO DRIVE



VIEW FROM EL CAMINO DRIVE



**Architectural Commission Report**

455 North Rexford Drive, Room 280-A  
AC Meeting – January 15, 2014

**Attachment C:**

Response to Comments (Applicant-prepared)

## 151 El Camino AC Submittal Set

December 30<sup>th</sup>, 2013

### Revisions Summary:

1. Reflectivity Study for Charleville Façade
  - N/A – façade no longer reflective due to recent design changes, i.e. new curtain wall design throughout (See item 5. New Curtain Wall design)
2. 'Green Wall' Feature on Charleville
  - Provide further detail on exhibit and landscape plan:
    - Exhibit: provide architectural detail of cable connections, show materials and gauge of cables, show dimensions and spacing that defines criss-cross pattern
    - Landscape Plan: key in vine plants, add to planting legend, provide blow-up plan of planter
    - Other: include spec/cutsheet for cable connectors and develop irrigation plan.
3. Lobby Art Feature
  - OK as is, not a requirement
4. Neighborhood Outreach
  - Attached report accepted
5. New Curtain Wall Design
  - Revised AC submittal to include new curtain wall design on an plans, elevations and sections
  - Revised title rendering and other renderings
  - Develop wall section and details for new curtain wall
  - Provide brochures/spec sheets for new curtain wall system, glazing, as well as wall details as applicable and bracing visible beyond
  - Develop material board for new curtain wall including sample of glazing, paint, and metal cladding materials
  - Provide general floor plans of interior layout (as it will be visible)
  - Metal cladding at floor lines



**Architectural Commission Report**

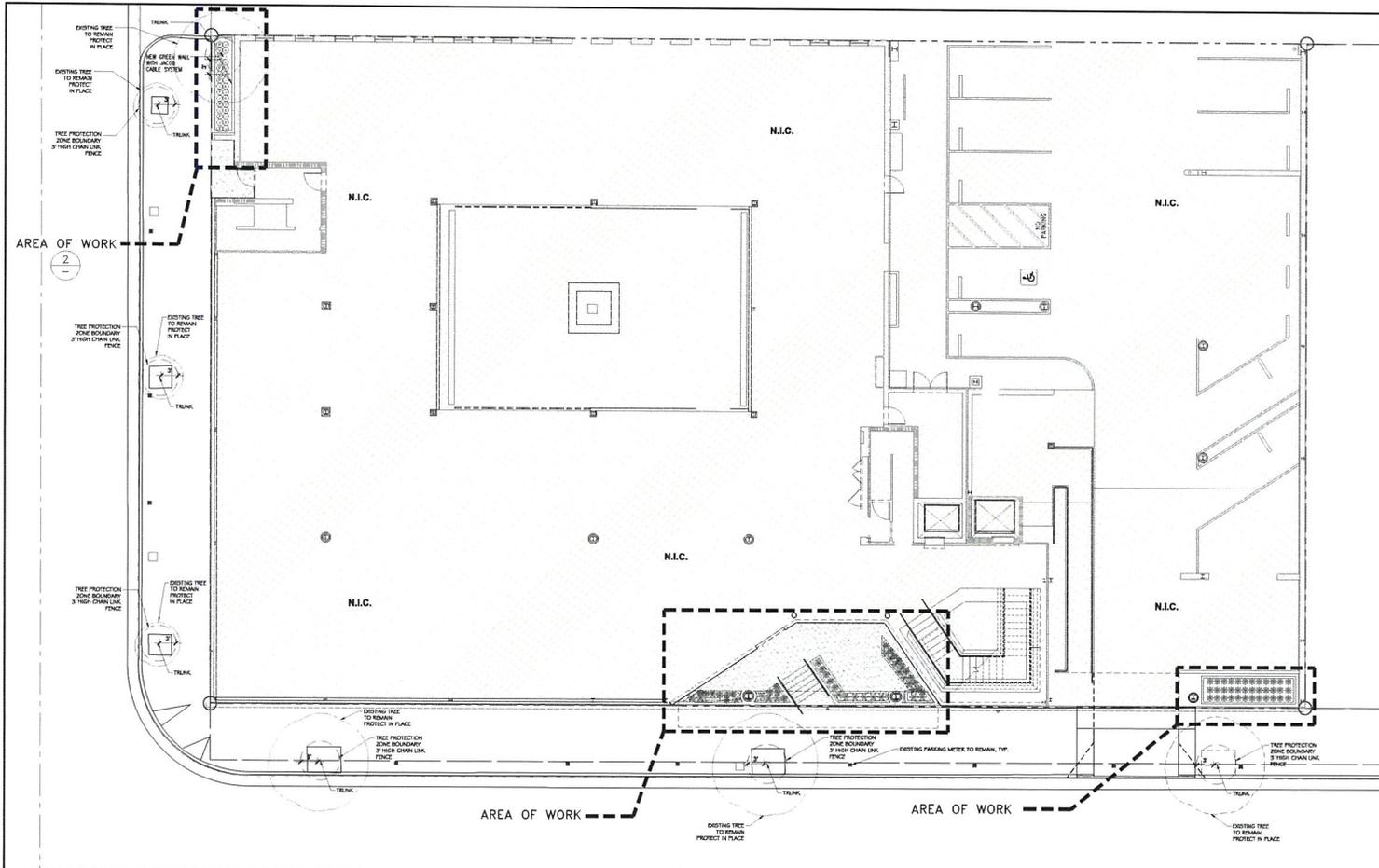
455 North Rexford Drive, Room 280-A

AC Meeting – January 15, 2014

**Attachment D:**  
Project Design Plans







### PLANTING LEGEND

TREES	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY
EXISTING STREET TREE	(Symbol)	VARIES	7	

GRASSES	SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY	MUCOLS
Stipa Lemmoniana	(Symbol)	Mexican Feather Grass	1 Gal AS RED.	L	
Pennisetum "Talon Canyon"	(Symbol)	Dwarf Red Fountain Grass	1 Gal AS RED.	L	
Baccharis Filifolia Cuscutagines	(Symbol)	Peco Surf	1 Gal AS RED.	L	
Argemone "Bush Panzer"	(Symbol)	Kangaroo Paw	5 Gal AS RED.	L	
Plumbago Grandiflora	(Symbol)	Blue Trumpetvine	AS RED.	L	

**WOLCOTT**  
 ARCHITECTURE | INTERIORS  
 3859 Cardiff Avenue, Culver City, California 90232  
 T 310 204 2291 F 310 838 8109  
 design@wolcottai.com www.wolcottai.com

CONTRACTOR  
 CERTIFICATION  
 PROJECT

**PHASE I  
 EXTERIOR RENOVATIONS**  
 AT  
 151 EL CAMINO DRIVE  
 BEVERLY HILLS, CA 90212

**KENNEDY WILSON**

### STONE FLOORING/PLANTERS

NEW STONE LANDING W/ RECESSED PLANTERS
POWER FLAMED FINISH ALTERNATIVE STONE

- ### NOTES
- ALL TREES WITHIN 5' OF HARDSCAPE SHALL BE IN A SHAWTOWN ROOTBARRIER.
  - CONTRACTOR TO INSTALL BENDER BOARD BETWEEN PLANTERS AND CRACKED ROCK AREAS.
  - ALL PLANTER AREAS TO RECEIVE A 2" LAYER OF MEDIUM WALK ON BARK (3/4" - 1/2").

### MAINTENANCE SCHEDULE

THE FOLLOWING MAINTENANCE SCHEDULE IS A CHECKLIST OF ANNUAL GARDENING ACTIVITIES FOR THE NEWLY DEVELOPED LANDSCAPE. BY ATTENDING TO THESE MATTERS AT THE PROPER TIME, A MAJOR PORTION OF THE MAINTENANCE WILL BE PREVENTATIVE RATHER THAN REMEDIAL.

**JANUARY & FEBRUARY**  
 - IF RAINFALL HAS BEEN DEFICIENT WATER TREES AND SHRUBS, ESPECIALLY ANY EVERGREENS.

**MARCH**  
 - SPRING CLEAN UP: REMOVE WEEDS AND DEBRIS FROM SHRUB AND GROUNDCOVER BEDS.  
 - FERTILIZE BEDS WITH 13-13-13 @ 3LBS PER 100 SF.  
 - ADD ADDITIONAL MULCH TO EXISTING BEDS TO HELP CONTROL WEEDS.  
 - PRUNE TREES AND SHRUBS BEFORE SPRING GROWTH BEGINS.  
 - TREAT BORER PRONE TREES WITH BAYER TREE & SHRUB INSECT CONTROL.

**APRIL**  
 - SPRING WATER DAMAGED PLANTS AS NECESSARY REPLACE PLANTS THAT DID NOT SURVIVE THE WINTER.  
 - PLANT SUMMER ANNUALS, AFTER 4/20. TREAT FLOWER BEDS WITH MIRCLO GROW BEDD PREVENTER TO CONTROL WEEDS.  
 - FERTILIZE WITH COMPOST, MULCH THE BEDS WITH PINE, CEDAR, OR CYPRESS MULCH TO HELP CONTROL MOISTURE.

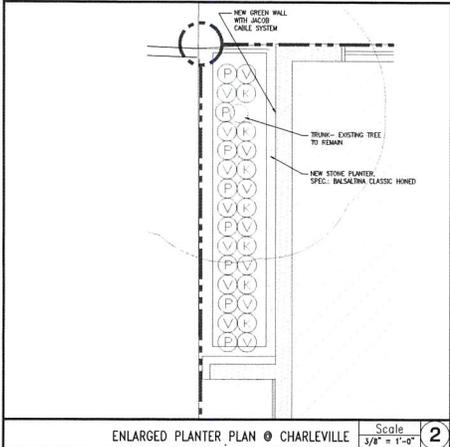
**MAY - JUNE**  
 - CONTINUE CHECKING FOR INSECTS, ESPECIALLY GRUBS, IN LAWNS AND TREES IF NECESSARY.  
 - IF THE WEATHER DOES NOT COOPERATE, WATER NEW TREES, SHRUBS, AND GROUNDCOVER THROUGHOUT ALL SUMMER.  
 - WATER SHOULD BE APPLIED FREQUENTLY WITH ENOUGH PER APPLICATION TO WET THE SOIL TO A DEPTH OF 6-8" (MORE FOR TREES).  
 - WEED BEDS AS NECESSARY.

**JULY & AUGUST**  
 - CONTINUE CHECKING FOR INSECT INFESTATIONS.

**SEPTEMBER & OCTOBER**  
 - FERTILIZE TREES AND SHRUBS WITH FERTI-LONE TREE AND SHRUB FERTILIZER ON JUNE'S TREE SPACES.

**NOVEMBER & DECEMBER**  
 - REPLACE TREES AND SHRUBS THAT DID NOT SURVIVE THE SUMMER.  
 - IF RAINFALL HAS BEEN DEFICIENT, WATER THOROUGHLY (6-8" DEEP).  
 - REMOVE ANY SUPPORT STAKES AROUND TREES THAT HAVE BEEN IN PLACE FOR ONE GROWING SEASON.

LANDSCAPE PLAN  
 SCALE: 1/32"=1'-0"



### NEW PLANTING IMAGES

MEXICAN FEATHER GRASS  
 PECCO SURF  
 KANGAROO PAW  
 DWARF RED FOUNTAIN GRASS  
 BLUE TRUMPETVINE

### TREE PROTECTION ZONE NOTES

- COORDINATE ALL OFF-SITE IMPROVEMENTS WITHIN THE TPZ WITH THE COMMUNITY FORESTERS OFFICE.
- NO CONSTRUCTION MATERIALS OR ACTIVITIES ALLOWED IN THIS AREA.
- PRUNING OF CITY TREES TO PROVIDE CLEARANCE FOR CONSTRUCTION ACTIVITIES SHALL ONLY BE DONE BY CITY OF BEVERLY HILLS COMMUNITY FOREST OPERATIONS.
- FENCE THE TPZ AS SHOWN WITH 6" CHAIN LINK FENCE TO PREVENT HURDLES TO THE TREE AND SOIL COMPACTION WITHIN THE PROST ZONE FENCE LOCATION ON PLANS.
- POST THE FENCE WITH SIGN STAKES "TREE PROTECTION ZONE - KEEP OUT".
- CONTACT COMMUNITY FORESTERS OFFICE 30 DAYS PRIOR TO PLANTING TO DETERMINE EXACT LOCATION OF TREE PRIOR TO PLANTING. NEW TREES SHALL BE APPROVED BY COMMUNITY FORESTER.

### TREE PROTECTION ZONE GUIDELINES

THE TREE PROTECTION PLAN MUST BE APPROVED BY THE RECREATION AND PARKS URBAN FOREST DIVISION. IF A TREE PROTECTION ZONE FENCE IS REQUIRED, IT MUST BE INSTALLED AND INSPECTED PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION OR CONSTRUCTION WORK. THESE INSPECTING CAN BE ARRANGED BY CALLING (310) 255-2537.

A TREE PROTECTION ZONE MAY REQUIRE THAT THE ENTIRE PARKWAY BE FENCED. FENCING MAY BE OF A CHAIN LINK OR FLEXIBLE COMPOUND, BUT MAY NOT EXCEED 4 FEET IN HEIGHT. FENCE INSTALLATION SHOULD BE SUCH THAT LINES OF SIGHT ARE MAINTAINED UP AS TO AVOID ANY VEHICLE OR PEDESTRIAN HAZARDS. A WARNING SIGN MUST BE DISPLAYED ON THE STREET SIDE OF THE FENCE. THE SIZE OF THE SIGN MUST BE NO LESS THAN 8.5" X 11" INCHES. THE SIGN MUST CLEARLY STATE "WARNING: TREE PROTECTION ZONE". THE SIGN SHALL CLEARLY USE THE NAME AND CURRENT CONTACT INFORMATION OF THE PROJECT OWNER OR AUTHORIZED REPRESENTATIVE.

MAINTAIN THE INTEGRITY OF THE TREE PROTECTION ZONE FENCING AND KEEP THE PARKWAY SITE CLEAN AND MAINTAINED AT ALL TIMES.

THE SITE WILL BE INSPECTED BY BUILDING AND SAFETY DEPARTMENT AND THE URBAN FOREST DIVISION OF THE RECREATION AND PARKS DEPARTMENT IF THE TREE PROTECTION PLAN IS NOT COMPLETED WITHIN 90 DAYS. ADDITIONAL MEASURES MAY BE REQUIRED.

IT IS RECOMMENDED THAT TREES BE DEEP WATERED ON A WEEKLY BASIS FOR THE DURATION OF THE PROJECT.

### GENERAL PLAN LEGEND

--- PROPOSED LANDSCAPE SCOPE OF WORK

N.I.C. INTERIOR/ENCLOSED AREAS & PARKING AREAS WITH NO LANDSCAPE SCOPE

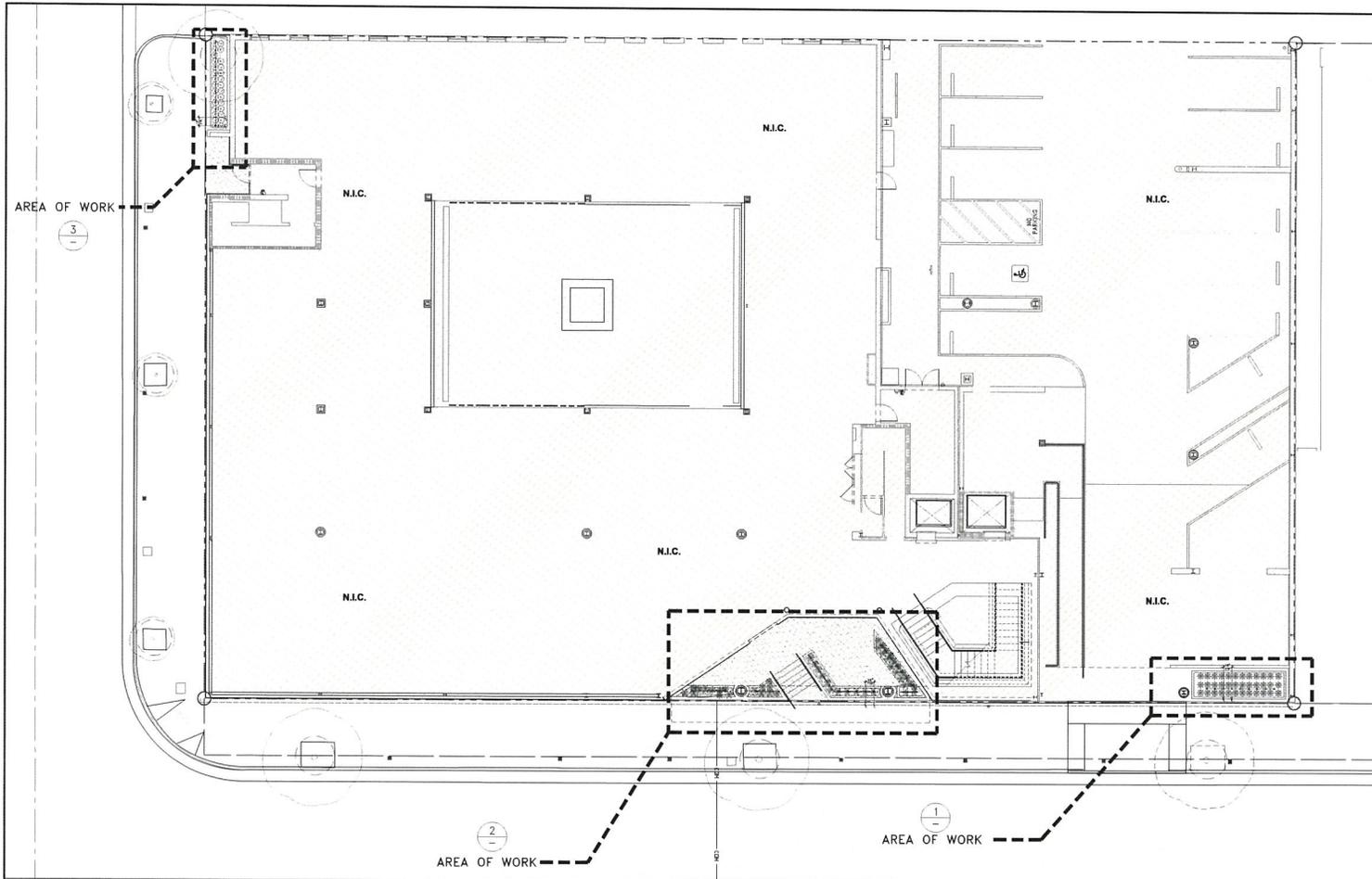
### FLOOR PLAN FIRST

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
09-27-13	AC	SUBMITTAL SET - PREVIEW
11-04-13	AC	SUBMITTAL SET
12-30-13	AC	SUBMITTAL SET

CLIENT APPROVAL BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

PROJECT NO: **13-781-833**  
 DRAWN BY: SM CHECKED BY: AM  
 PROJECT MANAGER: RE  
 DRAWING SCALE: AS NOTED  
 SHEET SIZE: 30" X 42"  
 DRAWING TITLE: **LANDSCAPE PLAN**  
 SHEET NO: **AB-07**



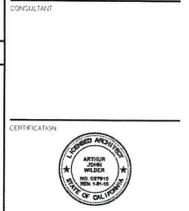
**PLANTING KEY NOTES**

- ① 3/4" SOL BAGED DRIP IRRIGATION EMITTER WITH 1/2" PIPE.

**GENERAL PLAN LEGEND**

- PROPOSED IRRIGATION SCOPE OF WORK
- N.I.C. INTERIOR/ENCLOSED AREAS & PARKING AREAS WITH NO LANDSCAPE SCOPE

**WOLCOTT**  
 ARCHITECTURE | INTERIORS  
 3859 Cardiff Avenue, Culver City, California 90232  
 T 310 204 2200 | F 310 838 6109  
 design@wolcott.com | www.wolcott.com



PROJECT  
**PHASE I  
 EXTERIOR RENOVATIONS**  
 AT  
 151 EL CAMINO DRIVE  
 BEVERLY HILLS, CA 90212

FLOOR/LEVEL: **FIRST**

**ISSUE OR REVISION NOTES**

NO.	DATE	DESCRIPTION
09.27.13	AC	SUBMITTAL SET - PREVIEW
11.04.13	AC	SUBMITTAL SET
12.30.13	AC	SUBMITTAL SET

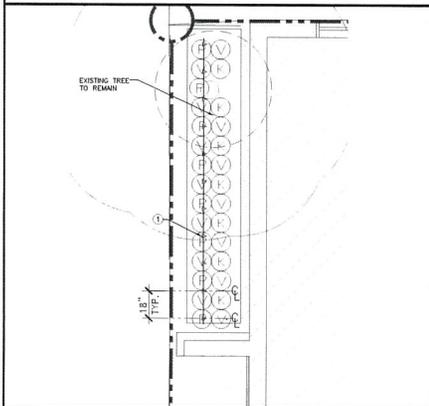
CLIENT APPROVAL BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

The owner warrants that the information, data, drawings and information furnished herein are true and correct to the best of their knowledge and belief. The owner warrants that the information, data, drawings and information furnished herein are not intended to be used for any purpose other than that for which they were prepared. The owner warrants that the information, data, drawings and information furnished herein are not intended to be used for any purpose other than that for which they were prepared. The owner warrants that the information, data, drawings and information furnished herein are not intended to be used for any purpose other than that for which they were prepared.

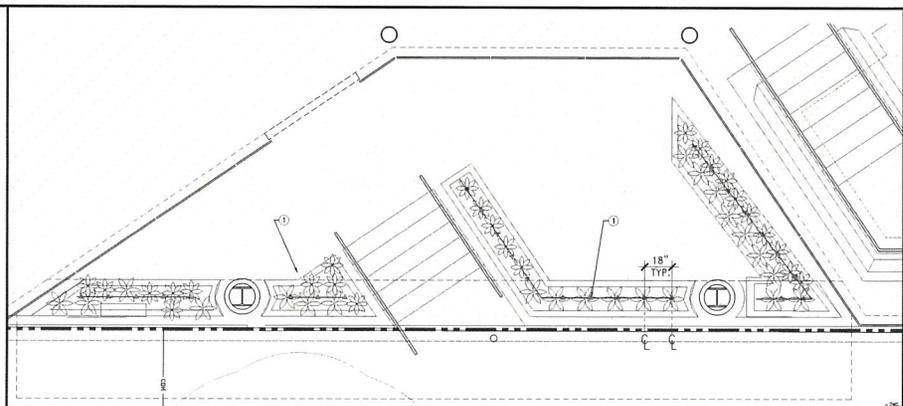
PROJECT NO: **13-781-833**  
 DRAWN BY: SM CHECKED BY: AM  
 PROJECT MANAGER: BE  
 DRAWING SCALE: AS NOTED  
 SHEET SIZE: 30" x 42"

DRAWING TITLE  
**IRRIGATION PLAN**

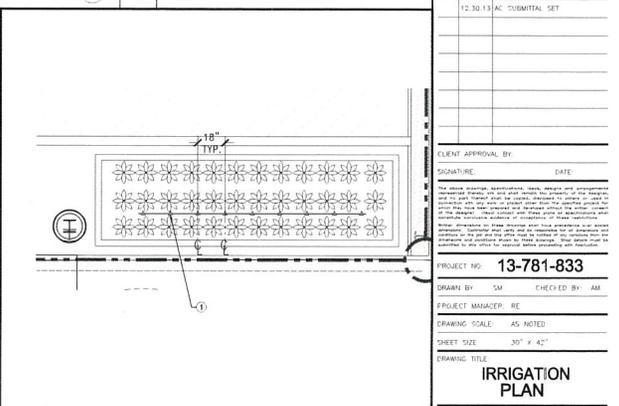
**IRRIGATION PLAN**  
 SCALE: 1/32"=1'-0"



ENLARGED PLANTER PLAN @ CHARLEVILLE Scale 3/8" = 1'-0" ③



ENLARGED PLANTER PLAN @ EL CAMINO DR. Scale 3/8" = 1'-0" ②



ENLARGED PLANTER PLAN @ EL CAMINO DR. Scale 3/8" = 1'-0" ①

FILE NAME:

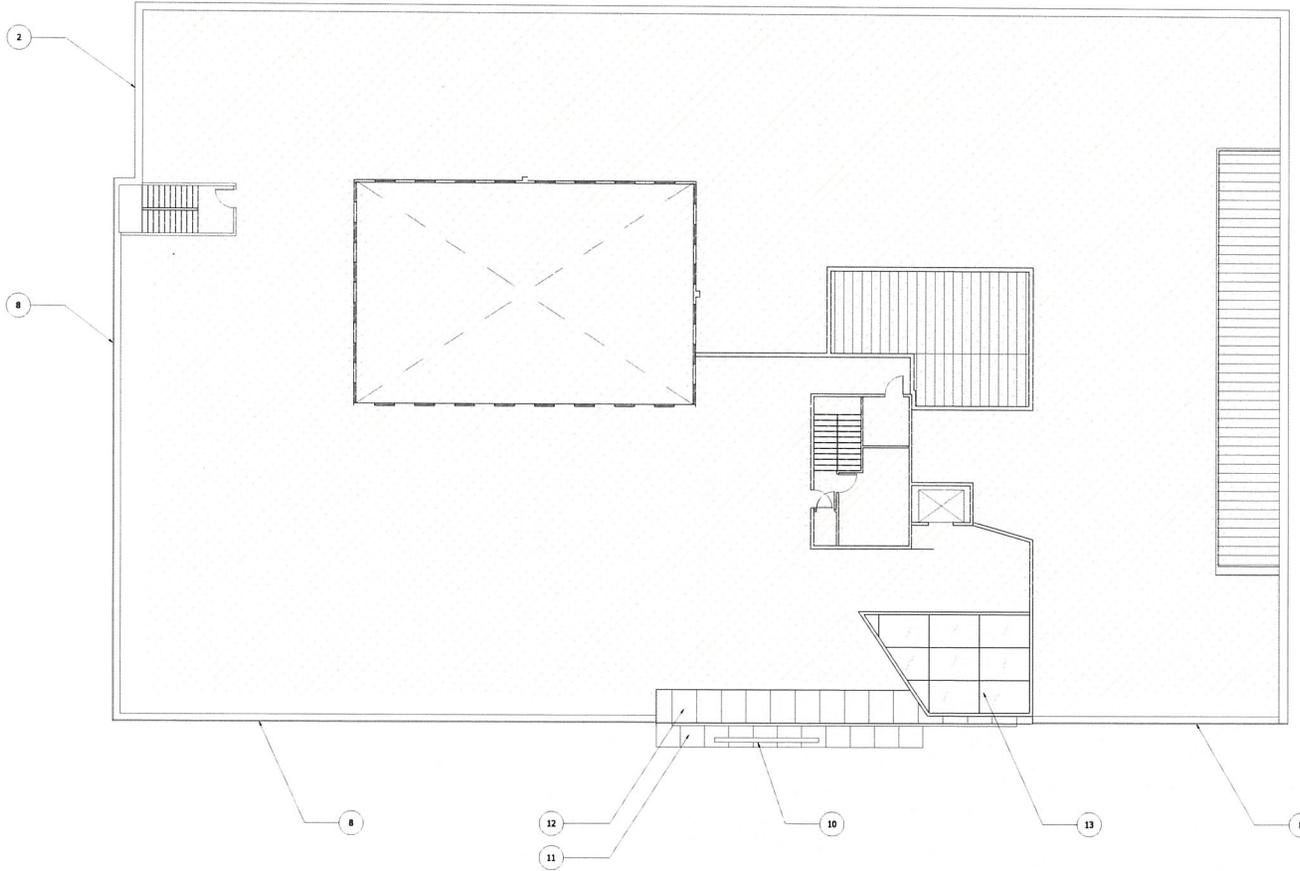
SHEET NO. **AB-07.1**

CONSTRUCTION PLAN KEY NOTES

- ① NEW PLASTER ON GRADE.
- ② NEW STONE VENEER ON EXISTING BUILDING WALL.
- ③ NEW STONE VENEER ON EXISTING LOW WALL.
- ④ NEW STAINLESS STEEL CLADDING AT EXISTING BEAMS AND COLUMNS.
- ⑤ NEW STONE VENEER OVER NEW CONCRETE SLAB ENTRY PLAZA.
- ⑥ NEW WOOD PLANK CEILING ABOVE ENTRY PLAZA.
- ⑦ NEW FRAMELESS BACK CONNECTED GLAZING WALL SYSTEM.
- ⑧ NEW CURTAIN WALL GLAZING SYSTEM.
- ⑨ NEW STAINLESS STEEL AND GLASS BUILDING ID SIGNAGE MOUNTMENT ON GRADE.
- ⑩ NEW STAINLESS STEEL SELF ILLUMINATED TENANT ID SIGNAGE AT ROOF STEEL ROOF CANOPY.
- ⑪ NEW STAINLESS STEEL PANEL, ROOF CANOPY.
- ⑫ NEW PAINTED ALUMINUM PANEL FRAME AT PERIMETER OF FRAMELESS GLAZING SYSTEM.

CONSTRUCTION PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- - - NEW STANDARD PARTITION TO MATCH EXISTING
- - - GLASS PARTITION
- N.I.C. NOT IN CONTRACT (N.I.C.)
- DOOR ASSEMBLY
- FOR ALL  
E EXISTING TO REMAIN



**WOLICOTT**  
 ARCHITECTURE | INTERIORS  
 3859 Cardiff Avenue, Culver City, California 90232  
 T 310.204.2200 | F 310.858.9109  
 design@wolicott.com | www.wolicott.com

CONSULTANT

CERTIFICATION



PROJECT

**PHASE I  
 EXTERIOR RENOVATIONS**  
 AT  
 151 EL CAMINO DRIVE  
 BEVERLY HILLS, CA 90212

**KENNEDY WILSON**

FLOOR/LEVEL: **ROOF**

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
09.27.13	AC	SUBMITTAL SET - PREVIEW
11.04.13	AC	SUBMITTAL SET
12.30.13	AC	SUBMITTAL SET

CLIENT APPROVAL BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

We warrant that the drawings, specifications, schedules, reports and other instruments of service prepared by us and our staff comply with applicable laws, regulations and standards of practice, and that we have exercised reasonable care and skill in their preparation. We warrant that the drawings, specifications, schedules, reports and other instruments of service are complete and accurate as of the date of their preparation. We warrant that we have not been negligent in our performance of our professional services. We warrant that we have not been negligent in our performance of our professional services. We warrant that we have not been negligent in our performance of our professional services. We warrant that we have not been negligent in our performance of our professional services.

PROJECT NO: **13-781-833**

DRAWN BY: SM CHECKED BY: AM

PROJECT MANAGER: RE

DRAWING SCALE: AS NOTED

SHEET SIZE: 30" x 42"

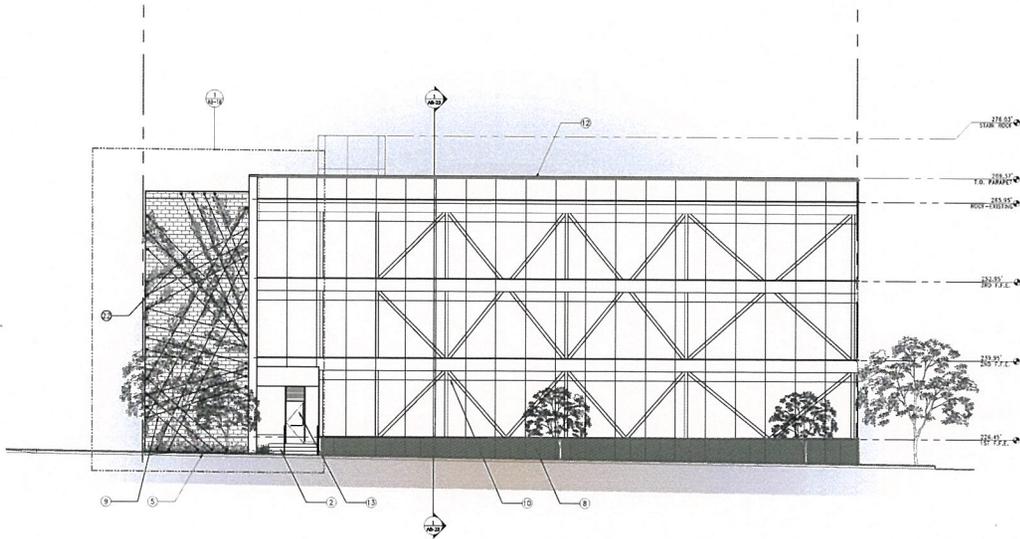
DRAWING TITLE:

**CONSTRUCTION PLAN**

SHEET NO:

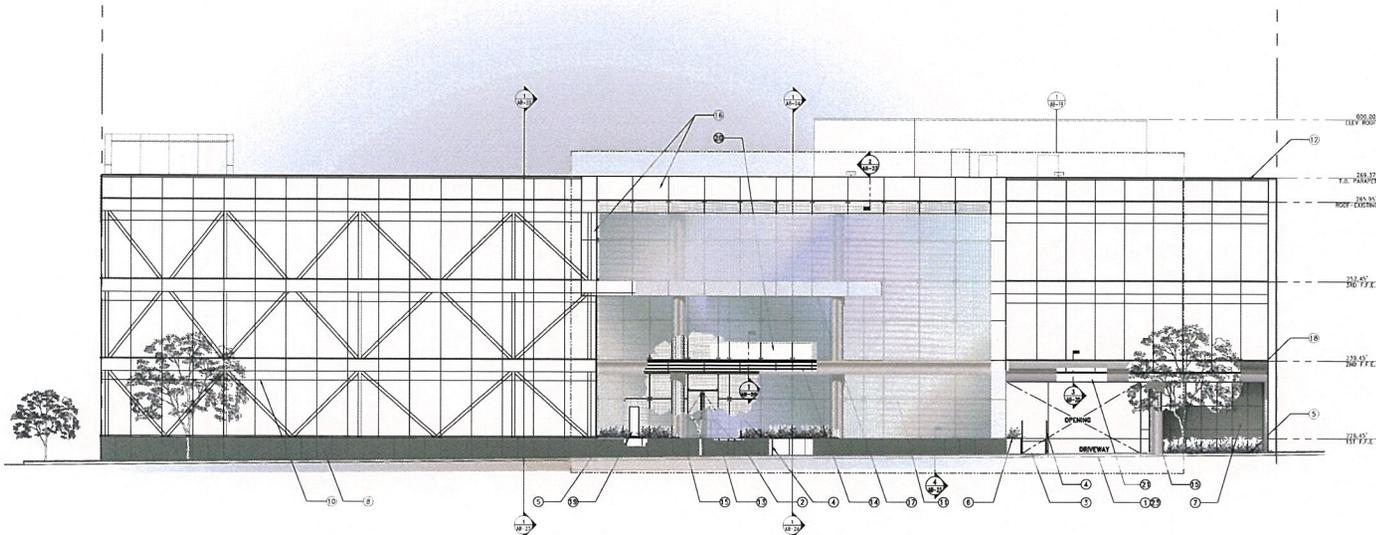
**AB-16**

PROPOSED ROOF CONSTRUCTION PLAN  
 SCALE: 1/32"=1'-0"



PROPOSED SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

2



PROPOSED EAST ELEVATION  
SCALE: 1/8"=1'-0"

1

KEY NOTES

- 1) DRIVEWAY: BROOK FINISH EXPOSED CONCRETE SLAB DRIVEWAY, SIDEWALK, APPROACH AND CURB CUT PER CITY REQUIREMENTS. SEE DETAILS.
- 2) STAIRS AND LANDINGS: CONCRETE STAIRS AND LANDINGS ON GRADE WITH STONE CLADDING OVER. SEE FLOOR PLAN FOR FLOOR PATTERNS. SEE DETAILS.
- 3) FAIMS: BROOK FINISH EXPOSED CONCRETE CURB, RAMP, AND LANDINGS ON GRADE. SEE DETAILS.
- 4) HANDRAILS: STAINLESS STEEL PIPE HANDRAILS AND VERTICAL SUPPORTS COATED AND EPOXY INTO CONCRETE SLAB FLOOR. SEE DETAILS.
- 5) FLESH PLANTERS: RECESSED CONCRETE PLANTERS. FINISH IN GRADE AND IN CONCRETE PLANTUM. VEGETATION PER LANDSCAPE DRAWINGS. IRRIGATION AND DRAINAGE PER PLUMBING DRAWINGS.
- 6) FACED PLANTERS: BROOK FINISH EXPOSED RAISED CONCRETE PLANTERS ABOVE GRADE. VEGETATION PER LANDSCAPE DRAWINGS. IRRIGATION AND DRAINAGE PER PLUMBING DRAWINGS.
- 7) EXTERIOR WALL: STONE CLADDING WITH SUBSTRATE AND FURRING OVER EXISTING EXTERIOR WALL. SEE DETAILS.
- 8) PLINTH WALL: STONE CLADDING WITH SUBSTRATE AND FURRING OVER EXISTING PLINTH WALL. SEE DETAILS.
- 9) GREEN WALL: STEEL GAUGE VEGETATION WALL BY JHONN UN OR EQUAL ATTACHED SECURELY TO EXISTING BRICK VENEER WALL BEHIND. VEGETATION PER LANDSCAPE DRAWINGS. IRRIGATION AND DRAINAGE PER PLUMBING/IRRIGATION DRAWINGS. SEE DETAILS.
- 10) MULLION GLAZING SYSTEM: ISOLATED MULLION GLAZING WITHIN A STRUCTURAL SILEXON JOINT CURTAIN WALL GLAZING SYSTEM. SEE DETAILS.
- 11) BACK CONNECTED GLAZING SYSTEM: ISOLATED MULLION GLAZING WITHIN A BACK CONNECTED MANNING GLAZING SYSTEM. SEE GLAZING DRAWINGS. SEE DETAILS.
- 12) PANTRIES: REBUILD EXISTING LIGHT GAUGE STEEL FRAMED PANTRY WITH NEW PLASTER CLAD BRICKWORK SUBSTRATE AT INTERIOR AND METAL COATING TO TOP. SEE DETAILS.
- 13) DOORS: HENICLAIRE TYPE FRAMELESS LAMINATED GLASS DOOR SYSTEM. SEE DETAILS.
- 14) CANOPY: ALPOLC ALUMINUM COMPOSITE PANEL CLAD WET-SEAL SYSTEM OVER LIGHT GAUGE METAL FRAMING. SEE BUILDING ELEVATIONS FOR LOCATION OF SEAMS. ARCHITECT TO SELECT FACTORY FINISH COLOR. SEE DETAILS.
- 15) COLUMNS: ALPOLC ALUMINUM COMPOSITE PANEL CLAD WET-SEAL SYSTEM OVER LIGHT GAUGE METAL FRAMING. SEE BUILDING ELEVATIONS FOR LOCATION OF SEAMS. ARCHITECT TO SELECT FACTORY FINISH COLOR. SEE DETAILS.
- 16) WALL PANELS: ALPOLC ALUMINUM COMPOSITE PANEL CLAD WET-SEAL SYSTEM OVER LIGHT GAUGE METAL FRAMING. SEE BUILDING ELEVATIONS FOR LOCATION OF SEAMS. ARCHITECT TO SELECT FACTORY FINISH COLOR. SEE DETAILS.
- 17) CEILING: 6" HANDBOOK PLANK CEILING STAINED NATURAL FINISH. PROVIDE A CLEAR WHITE GYPSUM CLASS A FINISH WITH FINE RETENEMENT PLYWOOD SUBSTRATE. SEE DETAILS.
- 18) FACED PANELS: BRICK MESH PANELS EPOXY ATTACHED SECURELY TO FRAMING BEHIND. SEE BUILDING ELEVATIONS FOR LOCATION OF SEAMS. ARCHITECT TO SELECT FIELD FINISH COLOR. SEE DETAILS.
- 19) MOUNTAIN SIGNAGE: LAMINATED ETCHED GLASS SELF ILLUMINATED MOUNTAIN SIGN ATTACHED SECURELY TO CONCRETE LANDING. SEE DETAIL #1, SHEET 1A-1B.
- 20) CANOPY SIGNAGE: ALUMINUM FACE SELF ILLUMINATED EDGE LIT CANOPY SIGN ATTACHED SECURELY TO TOP OF CANOPY. SEE DETAILS.
- 21) PARKING SIGNAGE: ALUMINUM FACE SELF ILLUMINATED HANG LIT PARKING SIGN ATTACHED SECURELY TO FACE OF BUILDING. SEE DETAILS.
- 22) PAINT FINISH: CLEAN, PREPARE, PRIME AND PAINT SELECT MASONRY WALLS, PLASTER WALLS AND TRUSS CORNICES, CEILING, FENCES, LOW WALLS AND CEILING. ARCHITECT TO SELECT FIELD FINISH COLORS.
- 23) PARKING SURFACE: CLEAN, PREPARE AND APPLY MEDIUM AUTO-GARD FLOOR TRAFFIC COATING OVER DRIVEWAY AND PARKING SURFACE. ARCHITECT TO SELECT COLOR.

CONSULTANT

CERTIFICATION



PROJECT

PHASE I  
EXTERIOR RENOVATIONS  
AT  
151 EL CAMINO DRIVE  
BEVERLY HILLS, CA 90212  
KENNEDY WILSON

FLOOR/LEVEL:

NO.	DATE	DESCRIPTION
09-27-13	AC	SUBMITTAL SET - PREVIEW
11-04-13	AC	SUBMITTAL SET
12-30-13	AC	SUBMITTAL SET

CLIENT APPROVAL BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

PROJECT NO: 13-781-833  
DRAWN BY: SM CHECKED BY: AM  
PROJECT MANAGER: RE  
DRAWING SCALE: AS NOTED  
SHEET SIZE: 36" x 48"

PROPOSED EXT. ELEVATIONS

SHEET NO: AB-17





CONSULTANT:

CERTIFICATION:



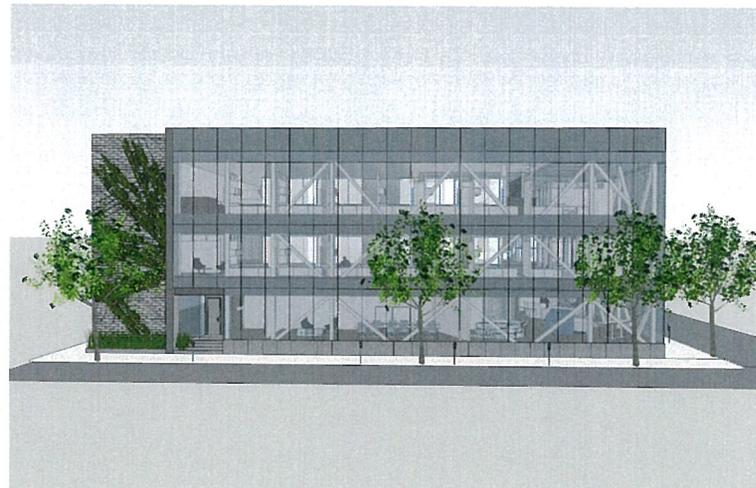
PROJECT:

**PHASE I**  
**EXTERIOR RENOVATIONS**  
 AT  
 151 EL CAMINO DRIVE  
 BEVERLY HILLS, CA 90212

**KENNEDY WILSON**



VIEW FROM EL CAMINO DRIVE



VIEW FROM CHARLEVILLE BOULEVARD



VIEW FROM EL CAMINO DRIVE



VIEW FROM EL CAMINO DRIVE

FLOOR/LEVEL: **SITE PLAN**

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
09.27.13	AC	SUBMITTAL SET - PREVIEW
11.04.13	AC	SUBMITTAL SET
12.30.13	AC	SUBMITTAL SET

CLIENT APPROVAL BY:

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

These drawings are the property of Kennedy Wilson and shall remain confidential. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kennedy Wilson. The user of these drawings shall be deemed to have accepted the terms and conditions of this license. The user shall be responsible for obtaining all necessary permits and approvals for the project. The user shall be responsible for the accuracy and completeness of the information provided to Kennedy Wilson. The user shall be responsible for the accuracy and completeness of the information provided to Kennedy Wilson.

PROJECT NO: **13-781-833**

DRAWN BY: SM CHECKED BY: AM

PROJECT MANAGER: RE

DRAWING SCALE: AS NOTED

SHEET SIZE: 30" X 42"

DRAWING TITLE:

**PROPOSED  
 EXTERIOR  
 RENDERING**

SHEET NO: **AB-21**



**Architectural Commission Report**

455 North Rexford Drive, Room 280-A

AC Meeting – January 15, 2014

**Attachment E:**

DRAFT Approval Resolution

RESOLUTION NO. AC XX-14

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW A FAÇADE REMODEL, LANDSCAPING, A SIGN ACCOMMODATION FOR A GROUND SIGN, AND A SIGN ACCOMMODATION TO ALLOW BUSINESS IDENTIFICATION SIGNAGE TO PROJECT ABOVE THE TOP SURFACE OF AN ARCHITECTURAL ELEMENT FOR THE PROPERTY LOCATED AT 151 EL CAMINO DRIVE (PL1329795).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Andrew Mangan of Wolcott Architecture Interiors, architect and agent, on behalf of the property owner, Barry S. Schlesinger of KW El Camino LLC, and tenant, Kennedy Wilson (Collectively the “Applicant”), has applied for architectural approval of a façade remodel, landscaping, a sign accommodation for a ground sign, and a sign accommodation to allow business identification signage to project above the top surface of an architectural element, for the property located at 151 El Camino Drive.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions, or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the Architectural Commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the

State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city's local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The property was originally designed and subsequently remodeled by two distinct parties featured on the City's List of Master Architects (Douglas Honnold and Maxwell Starkman, respectively). Pursuant to BHMC §10-3-3218, any work involving a change in design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the City's List of Master Architects shall be subject to a thirty (30) day holding period prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). However, pursuant to BHMC §10-3-3218, the Director of Community Development may waive the 30 day holding period if the Director determines that the property is not eligible for listing on the local register. Based on the Historic Assessment Report submitted in conjunction with the proposed project, the Director determined that the property has lost integrity and so the subject property is not considered to be a historic resource in the City of Beverly Hills.

Section 5. The Architectural Commission conducted a duly noticed public hearing on January 15, 2014 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically, the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the Commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise

plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the Planning Commission found contributed to the determination of the project as a “character contributing building” in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the Planning Commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

No project-specific conditions are proposed.

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner,

both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.

2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
4. **Compliance with Special Conditions.** Any special conditions that require approval by the Director of Community Development, or designee, shall be submitted to the staff liaison to the Commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

7. **Substantial Compliance with Approved Plans.** The Director of Community Development, or designee, shall determine if changes to the approved project are in substantial compliance with the Commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the Community Development Department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: January 15, 2014

---

William Crouch, Commission Secretary  
Community Development Department

---

James Blakeley III, Chair  
Architectural Commission