



## Architectural Commission Report

**Meeting Date:** Wednesday, January 15, 2014

**Subject:** **THE GORES GROUP**  
**9800 Wilshire Boulevard & 121 Spalding Drive**  
Request for approval of business identification signage and building identification signage. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.  
(PL1333352 & PL1333353)

**Project agent:** American Signs

**Recommendation:** Conduct public hearing to discuss the project details and provide the applicant with an approval.

### REPORT SUMMARY

The applicant is requesting review and approval of business identification signage and building identification signage for a new The Gores Group building and parking structure located at 9800 Wilshire Boulevard and 121 Spalding Drive, respectively. The proposed signage is allocated as follows:

#### *9800 Wilshire Boulevard*

- One (1) 46.6 SF halo-illuminated building identification sign consisting of brushed silver aluminum finish on the Wilshire Boulevard elevation (sign copy: "The Gores Group");
  - The maximum building identification sign area for this elevation is 80 SF, based on a calculation of 2% of the vertical surface area of the elevation (BHMC §10-4-605).
- One (1) 20.5 SF halo-illuminated (LED light bar) business identification sign consisting of brushed silver aluminum finish on the Spalding Drive elevation.
  - The maximum business identification sign area for this elevation is 100 SF based on a ground floor frontage width of 100 SF based on a ground floor frontage ratio of 2 SF for each linear foot of ground floor space, with a maximum of 100 SF (BHMC §10-4-604).

#### *121 Spalding Drive*

- One (1) 20.5 SF halo-illuminated (LED light bar) building identification sign consisting of brushed silver aluminum finish on the Spalding Drive elevation.
  - The maximum building identification sign area for this elevation is 88 SF, based on a calculation of 2% of the vertical surface area of the elevation (BHMC §10-4-605).

### URBAN DESIGN ANALYSIS

Based on a review conducted by the Urban Design Team, the signage is appropriate to the buildings and the streetscape.

#### Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. 9800 Wilshire - DRAFT Approval Resolution
- D. 121 Spalding - DRAFT Approval Resolution

#### Report Author and Contact Information:

Cindy Gordon, Associate Planner  
(310) 285-1191  
[cgordon@beverlyhills.org](mailto:cgordon@beverlyhills.org)



## **Architectural Commission Report**

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### **ZONING CODE COMPLIANCE**

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### **ENVIRONMENTAL ASSESSMENT**

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City's Master Architect list and the site and improvements are not listed on the City's historic resource inventory.

### **PUBLIC OUTREACH AND NOTIFICATION**

Public notification was not required for this project.



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**Attachment A:**

Detailed Design Description  
and Materials (applicant prepared)

**SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION**

**A Indicate Requested Application**

- Staff Review
  - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
  - Eight (8) sets of plans required (see Section 6 for plan size requirements).
  - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

**B Identify the scope of work (check all that apply):**

- New construction
  - Façade Remodel ONLY
  - Business Identification Sign(s)
    - Number of signs proposed:
  - Building Identification Sign(s)
    - Number of signs proposed:
  - Sign Accommodation (explain reason for the accommodation request below):
    - Number of signs proposed:
  - Other: \_\_\_\_\_
- Remodel: Int. & Ext, no floor area added  
 Remodel: Int. & Ext, floor area added  
 Awning(s):  New  Recovery  
 Open Air Dining: #Tables  #Chairs

**C Describe the scope of work proposed including materials and finishes:**

Install three new signs: Sign #1 is located on Wilshire Blvd. and is 28" x 240"  
 Sign #2 is located on S. Spalding Drive and is 20.5" x 144"  
 Sign #3 is also located on Spalding Drive and is 20.5 x144"

All signs will have a brushed aluminum finish and will be back lit with LEDs.

**D Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/>)**

- |                                       |                                 |   |                                 |                                |
|---------------------------------------|---------------------------------|---|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4          | <input type="checkbox"/> R-4X   | <input type="checkbox"/> R-4            | <input type="checkbox"/> R-4-P  | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3          | <input type="checkbox"/> RMCP   | <input checked="" type="checkbox"/> C-3 | <input type="checkbox"/> C-3A   | <input type="checkbox"/> C-3B  |
| <input type="checkbox"/> C-5          | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2         | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5   |
| <input type="checkbox"/> Other: _____ |                                 |   |                                 |                                |

**E Lot is currently developed with (check all that apply):**

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below): \_\_\_\_\_

**F Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City’s survey)?**

Yes  No  If yes , please list Architect’s name: Belzburg Architects Group

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)**

**A Indicate in the chart below all applicable signage details:**

	<u>Type of Sign</u>	<u>Quantity</u>	<u>Dimensions</u>	<u>Square Ft</u>	<u>Maximum Area Permitted by Code</u>
1	Building ID Sign(s)	1	28" x 240"	46.6 s.f.	
2	Building ID Sign(s)	2	20.5" x 144"	20.5 s.f.	
3					
4					
5					

**B List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):**

**FAÇADE** (List all material for all portions visible from the street)

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**WINDOWS/DOORS** (Include frame, trim, glass, metal, etc.)

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**ROOF**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**COLUMNS**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**BALCONIES & RAILINGS**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**OUTDOOR DINING ELEMENTS** (List all material for all outdoor dining elements.)

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)**

**AWNINGS, CANOPIES**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**DOWNSPOUTS / GUTTERS**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**BUSINESS ID SIGN(S)**

Material: Brushed Aluminum, L.E.D. illuminated  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**BUILDING ID SIGN(S)**

Material: Brushed Aluminum, L.E.D. illuminated  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**EXTERIOR LIGHTING**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**PAVED SURFACES**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**FREESTANDING WALLS AND FENCES**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**OTHER DESIGN ELEMENTS**

Material: N/A  
Texture /Finish: \_\_\_\_\_  
Color / Transparency: \_\_\_\_\_

**C Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:**

N/A

**SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)**

**A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:**

- 1. Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The proposed signs are back lit and will have a soft halo effect.

The one large building identification sign can only be seen from a block away hence it does not affect the pedestrian experience.

The smaller signs face Spalding Dr. and have a soft light so as to minimally impact their environment.

- 2. Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

The exterior signage should not be impacted by external or internal noise

- 3. Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The new signs meet or exceed the standard level of quality and craftsmanship.

- 4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

The proposed signs have been designed by the architect and are part of the overall conceptual design for the 9800 Wilshire bldg.

- 5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

The proposed signs conform to the standards of the municipal code. The signs are backlit and will only have a soft halo effect.



**Architectural Commission Report**

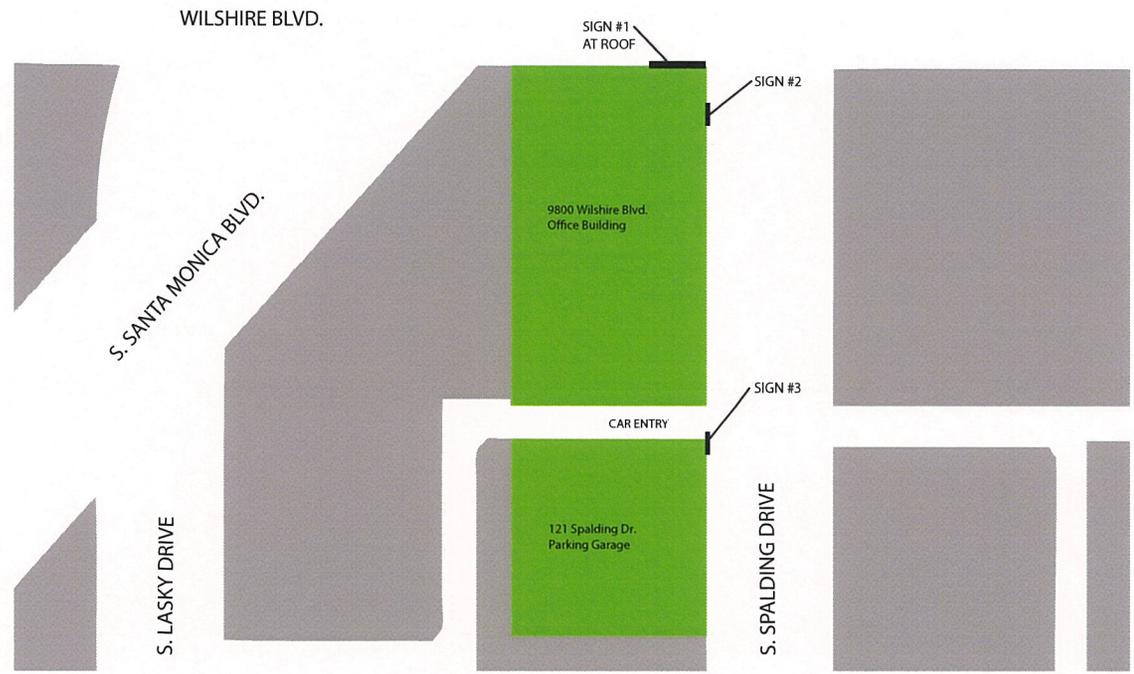
455 North Rexford Drive, Room 280-A

AC Meeting – January 15, 2014

**Attachment B:**  
Project Design Plans



**AMERICAN SIGNS**  
 PHONE: (323) 938-7446  
 FAX: (323) 938-7447  
 WWW.AMERICANSIGNSINC.COM  
 INFO@AMERICANSIGNSINC.COM

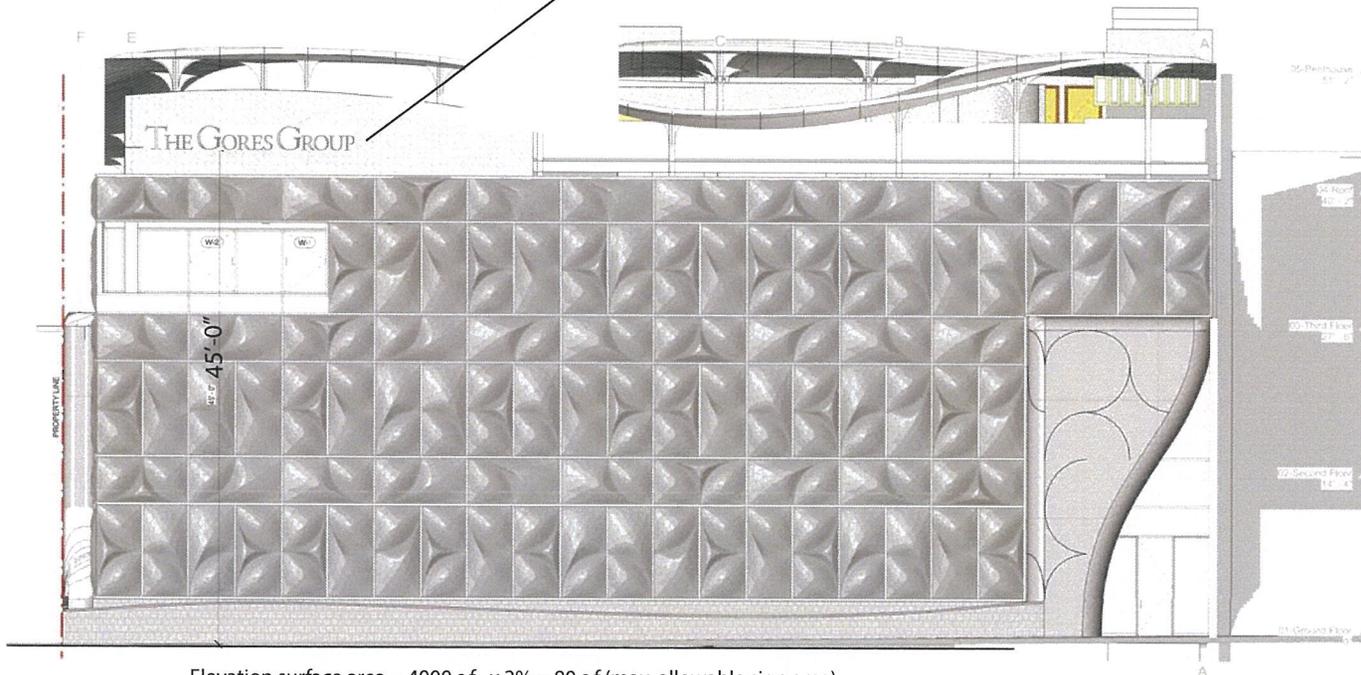


<b>PROJECT:</b> THE GORES GROUP	<b>REVISIONS</b> REV. # 0	DATE: 09-24-13	BY: <input type="checkbox"/>	<b>DRAWN BY</b> Mark Allen	<b>DWG. DATE</b> 09-24-13	ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., L.L.C. TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.
	PROJECT LOCATION: 9800 Wilshire					



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New brushed aluminum sign  
 Sign #1



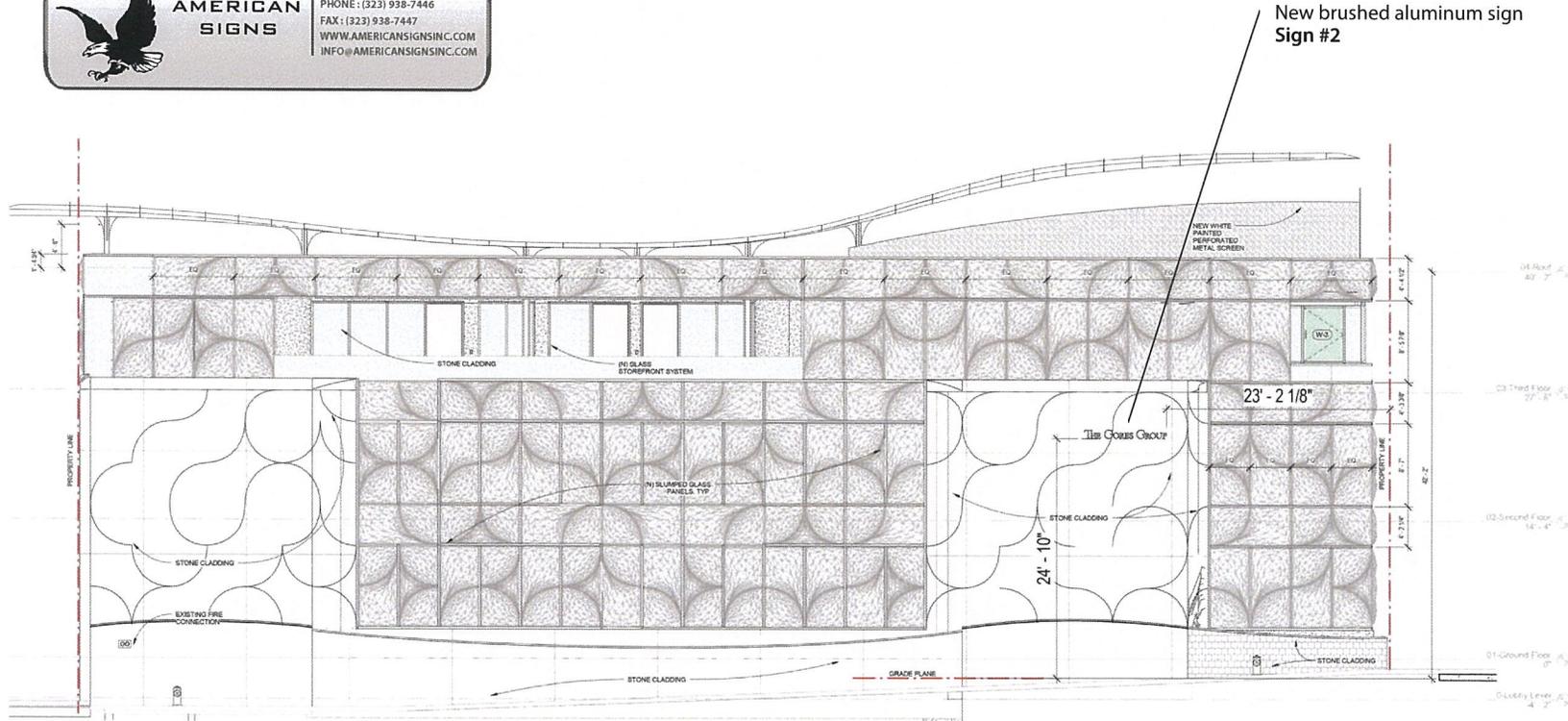
Elevation surface area = 4000 s.f. x 2% = 80 s.f (max. allowable sign area)  
 Proposed sign area = 46.6 s.f.

9800 Wilshire Blvd.  
 North Elevation

<b>PROJECT:</b> 	<b>REVISIONS</b> REV. # <input type="text" value="3"/> DATE: 12-26-13 BY: <input type="text"/>	<b>DRAWN BY</b> Mark Allen	<b>DWG. DATE</b> 09-24-13	ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., LLC TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.
	PROJECT LOCATION: 9800 Wilshire			



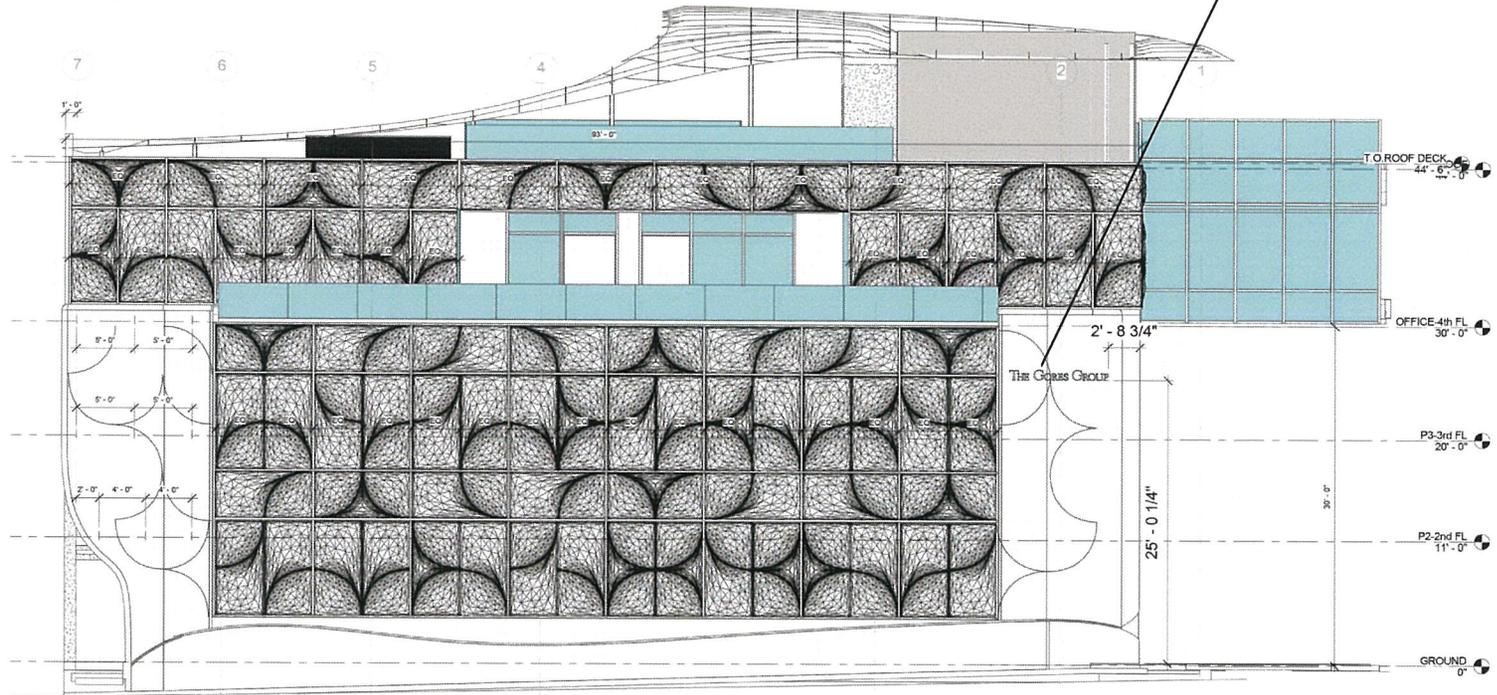
**AMERICAN SIGNS**  
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 FAX: (323) 938-7447  
 WWW.AMERICANSIGNSINC.COM  
 INFO@AMERICANSIGNSINC.COM



Elevation surface area = 5200 s.f. x 2% = 104 s.f (max. allowable sign area)  
 Proposed sign area = 20.5 s.f.

9800 Wilshire Blvd.  
 East Elevation

<b>PROJECT:</b> <b>THE GORES GROUP</b>	<b>REVISIONS</b> REV. # 3 DATE: 12-26-13 BY: <input type="checkbox"/>	<b>DRAWN BY</b> Mark Allen	<b>DWG. DATE</b> 09-24-13	<b>ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., L.L.C. TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.</b>
	PROJECT LOCATION: 9800 Wilshire			



New brushed aluminum sign  
Sign #3

Elevation surface area = 4400 s.f. x 2% = 88 s.f (max. allowable sign area)  
Proposed sign area = 46.6 s.f.

121 Spalding Dr.  
East Elevation

<b>PROJECT:</b> 	<b>REVISIONS</b> REV. # 3 DATE: 12-26-13 BY: <input type="checkbox"/>	<b>DRAWN BY</b> Mark Allen	<b>DWG. DATE</b> 09-24-13	<b>ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., LLC TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.</b>
	<b>PROJECT LOCATION:</b> 9800 Wilshire			


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New brushed aluminum sign  
Sign #1



9800 Wilshire Blvd.  
Northeast Corner

PROJECT: 	REVISIONS REV. # <input type="text" value="3"/> DATE: 12-26-13 BY: <input type="text"/>	DRAWN BY <input type="text" value="Mark Allen"/>	DWG. DATE <input type="text" value="09-24-13"/>	ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., L.L.C. TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.
	PROJECT LOCATION: <input type="text" value="9800 Wilshire"/>			

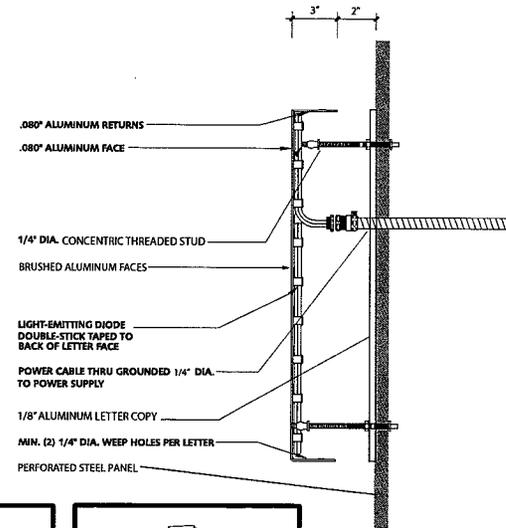
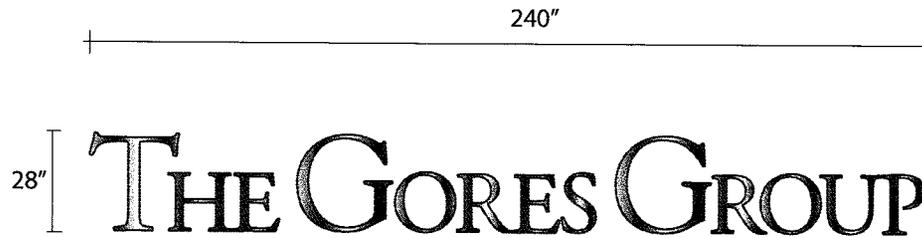


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 INFO@AMERICANSIGNSINC.COM

# PRIMARY SIGNAGE SIGN #1

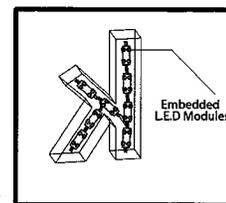
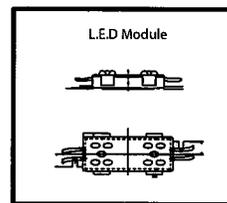
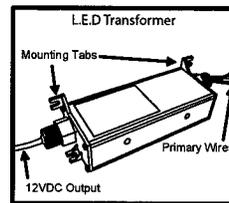
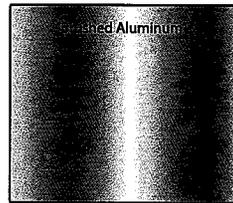
## CHANNEL LETTER SECTION

NOT TO SCALE

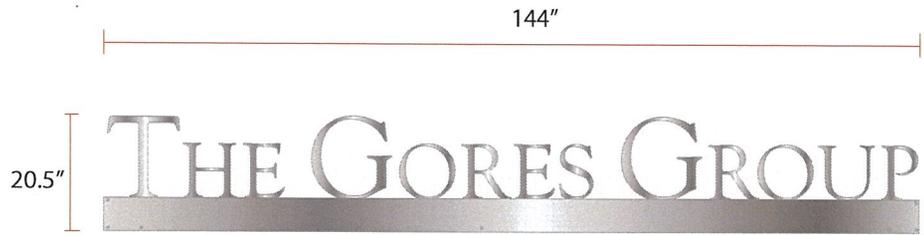


### CHANNEL LETTERS

- Brushed Silver Aluminum finish
- Approx. 4" thick
- Welded Aluminum
- Gross Square Footage 46.6 sq. ft.
- White Halo illumination



PROJECT: <b>THE GORES GROUP</b>	REVISIONS	DRAWN BY	DWG. DATE	ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., L.L.C. TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.
	REV. # 3	DATE: 12-26-13	BY: [ ]	
PROJECT LOCATION: 9800 Wilshire				

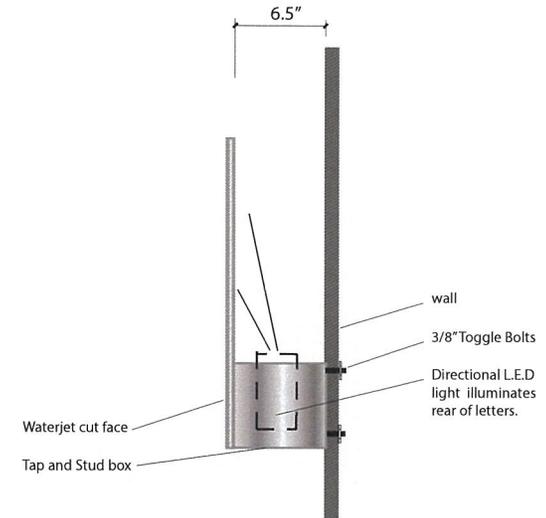


## PRIMARY SIGNAGE SIGN #2 & #3

### CHANNEL LETTER SECTION

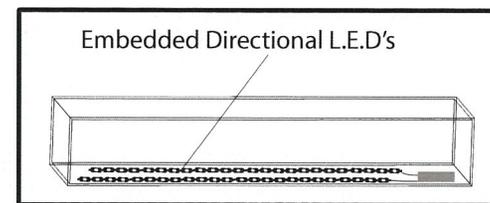
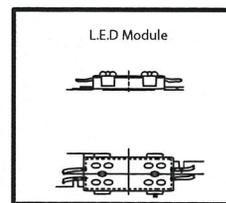
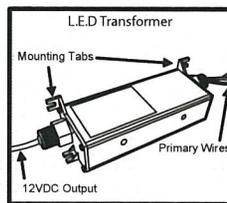
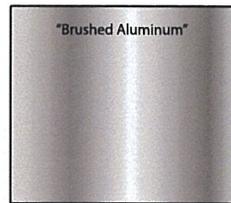
NOT TO SCALE

TYPICAL



#### Modular Signage

- Brushed Silver Aluminum finish
- 1/2" thick
- Tapped / Studded Aluminum
- White Halo illumination
- Gross Square Footage 20.5 sq ft.



<b>PROJECT:</b> 	<b>REVISIONS</b> REV. # 3	DATE: 12-26-13 BY: <input type="checkbox"/>	<b>DRAWN BY</b> Mark Allen	<b>DWG. DATE</b> 09-24-13	ALL DRAWINGS ARE THE PROPERTY OF AMERICAN SIGNS CA., L.L.C. TO BE USED FOR CONCEPTUAL PURPOSES ONLY UNTIL SIGNED AND DATED BY PROJECT MANAGER OR CUSTOMER. ANY USE OF THESE DRAWINGS FOR OTHER PURPOSES IS PROHIBITED.
	PROJECT LOCATION: 9800 Wishire				



**Architectural Commission Report**

455 North Rexford Drive, Room 280-A

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**Attachment C:**

9800 Wilshire - DRAFT Approval Resolution

RESOLUTION NO. AC-XX-14

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW BUSINESS IDENTIFICATION SIGNAGE AND BUILDING IDENTIFICATION SIGNAGE FOR THE PROPERTY LOCATED AT 9800 WILSHIRE BOULEVARD (PL1333352 – THE GORES GROUP).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. American Signs, agent, on behalf of the property owner and tenant, The Gores Group, (Collectively the “Applicant”), has applied for architectural approval of a business identification signage and building identification signage for the property located at 9800 Wilshire Boulevard.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design,

colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City's Master Architect list and the site and improvements are not listed on the City's historic resource inventory.

Section 5. The Architectural Commission conducted a duly noticed public hearing on January 15, 2014 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an

appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a “character contributing building”: in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

No special conditions are proposed for this project.

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.

3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: January 15, 2014

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William Crouch, Commission Secretary  
Community Development Department

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James Blakeley III, Chair  
Architectural Commission



**Architectural Commission Report**

455 North Rexford Drive, Room 280-A

AC Meeting – January 15, 2014

**Attachment D:**

121 Spalding - DRAFT Approval Resolution

RESOLUTION NO. AC-XX-14

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW BUILDING IDENTIFICATION SIGNAGE FOR THE PROPERTY LOCATED AT 121 SPALDING DRIVE (PL1333353 – THE GORES GROUP).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. American Signs, agent, on behalf of the property owner and tenant, The Gores Group, (Collectively the “Applicant”), has applied for architectural approval of a building identification signage for the property located at 121 Spalding Drive.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design,

colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. The project has also been reviewed and found not be a historic resource. The existing improvements to be demolished or altered were not designed by an architect or builder identified on the City’s Master Architect list and the site and improvements are not listed on the City’s historic resource inventory.

Section 5. The Architectural Commission conducted a duly noticed public hearing on January 15, 2014 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an

appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a “character contributing building”: in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

No special conditions are proposed for this project.

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.

3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: January 15, 2014

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William Crouch, Commission Secretary  
Community Development Department

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James Blakeley III, Chair  
Architectural Commission