



Architectural Commission Report

Meeting Date: Wednesday, March 20, 2013

Subject: **CHASE BANK**
9797 Wilshire Boulevard
Request for approval of a façade modification and a sign accommodation to allow multiple business identification signs.
(PL1303395)

Project agent: Joe Hernandez – JP Morgan Chase

Recommendation: Conduct public hearing to discuss the project details and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a façade modification and a sign accommodation for multiple business identification signs. The façade modification includes the following:

- One new entry doors, one on Wilshire Boulevard and one on South Santa Monica Boulevard, with clear glazing and a mullion system to match the existing.
- *Note: Spandrel glazing on portions of the storefront, as indicated on the elevations, has been approved by staff as part of a separate architectural review permit.*

The applicant is also requesting a sign accommodation to allow multiple business identification signs. Pursuant to Beverly Hills Municipal Code (BHMC) §10-4-604, the Architectural Commission may approve a sign accommodation to allow multiple business identification signs if the total area of all business identification signs does not exceed 100 square feet, the total business sign area otherwise permitted by this section, or 10% of the vertical surface area of that portion of the wall below 20'-0". If an illuminated window sign is proposed, the maximum sign area is 50% of what would otherwise be permitted by the accommodation. For this retail tenant, the maximum business identification sign area is 50 SF. The business identification sign area is as follows:

- One 9 SF illuminated business identification sign located on the façade of the intersection elevation;
- One 14.69 SF illuminated business identification sign located in the window of the façade of the intersection elevation, and;
- One 1.99 SF non-illuminated business identification sign located at the Wilshire Boulevard elevation.

The total area proposed for business identification signage is 25.68 SF. As such, the business identification signage currently complies with the standards set forth in the BHMC. However, as part of the pre-review for this project, concern was expressed regarding the illuminated sign located in the window of the façade of the intersection elevation. As such, a condition has been added to the resolution that would remove the hanging illuminated sign and replace it with a non-illuminated sign, of

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets & Supporting Documents
- C. DRAFT Approval Resolution

Report Author and Contact Information:

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the same size and color, located on a pedestal-type fixture. The condition has been incorporated into the proposed draft approval resolution and reads as follows:

“The illuminated Chase Bank octagonal logo sign, attached from the ceiling on the interior of the building, shall be removed and replaced with a non-illuminated sign attached to a pedestal-type fixture. The new sign may be configured in a color and size that is consistent with that proposed for the sign attached from the ceiling. The new sign shall not be located any nearer to the storefront than it would have been if it were attached from the ceiling.”

The applicant is also proposing two non-illuminated signs, with a letter height of 12” and consisting of individually mounted letters, to project above the top surface of existing canopies on Wilshire Boulevard and South Santa Monica Boulevard. However, as these are considered awning signs, they are not included in the overall business identification sign area.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The sign accommodation request for this project requires mailed public notices within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, March 8, 2013. To date staff has not received any comments in regards to the submitted project.



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Attachment A:

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application

- Staff Review
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

B Identify the scope of work (check all that apply):

- New construction
 - Façade Remodel ONLY
 - Business Identification Sign(s)
 Number of signs proposed:
 - Building Identification Sign(s)
 Number of signs proposed:
 - Sign Accommodation (explain reason for the accommodation request below):
 Number of signs proposed:
 - Other:
- Remodel: Int. & Ext, no floor area added
 - Remodel: Int. & Ext, floor area added
 - Awning(s): New Recovery
 - Open Air Dining: #Tables # Chairs

C Describe the scope of work proposed including materials and finishes:

Tenant improvement of approximately 3,201 sq.ft.

Exterior modifications are limited to minor re-work of existing storefront to accommodate new interior layout, such as, replacing (1) single storefront door along Wilshire with fixed glazing, providing (1) new single storefront door along Santa Monica and providing spandrel glass at (2) locations. New storefront to match existing, clear anodized aluminum. New glazing to match existing, clear. New spandrel glazing to be a white opaque finish per the suggestion of the planning department during preliminary reviews. Also at the exterior will be new building signage that has been designed in conformance with the building master sign program.

Interior items for review under this ARB are items considered interior signage with in the proposed vestibule such as; a proposed hanging illuminated octagon, illuminated low partitions at (2) "self service bankers" and digital media monitors behind the "self service bankers".

D Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/>)

- R-4
 - R-4X
 - R-4
 - R-4-P
 - R-4X2
 - R-3
 - RMCP
 - C-3
 - C-3A
 - C-3B
 - C-5
 - C-3T-1
 - C-3T-2
 - C-3T-5
 - C-5
- Other:

E Lot is currently developed with (check all that apply):

- General Office Building
- Multi-family Building
- Other (specify below):
- Retail Building
- Vacant
- Medical Office Building
- Restaurant

F Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?

Yes No If yes , please list Architect's name:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Indicate in the chart below all applicable signage details:

	<u>Type of Sign</u>	<u>Quantity</u>	<u>Dimensions</u>	<u>Square Ft</u>	<u>Maximum Area Permitted by Code</u>
1	Business ID Sign(s)	2	80 1/2" L x 12" H	6.7sf ea	100sf total for site
2	Window Sign(s)	1	46" x46"	14.69	NTE 15sf or 10% of window
3	Window Sign(s)	1	1'-2"L x 1'-8 1/2"H	1.99	NTE 15sf or 10% of window
4	Business ID Sign	1	3' x 3'	9sf	100sf total for site
5					

B List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):

FAÇADE (List all material for all portions visible from the street)

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

WINDOWS/DOORS (Include frame, trim, glass, metal, etc.)

Material: Aluminum storefront frames. All to match existing.
Texture /Finish: To match existing
Color / Transparency: Storefront Frames = Clear anodized aluminum. Glazing = clear. Spandrel glazing = Opaque white

ROOF

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

COLUMNS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

OUTDOOR DINING ELEMENTS (List all material for all outdoor dining elements.)

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

AWNINGS, CANOPIES

Material: N/A
Texture /Finish:
Color / Transparency:

DOWNSPOUTS / GUTTERS

Material: N/A
Texture /Finish:
Color / Transparency:

BUSINESS ID SIGN(S)

Material: Stainless steel lettersets, and stainless steel octagon on painted back pan
Texture /Finish: All stainless steel to be #4 brushed
Color / Transparency: Stainless steel & back pan to be painted to match existing building color

BUILDING ID SIGN(S)

Material: N/A
Texture /Finish:
Color / Transparency:

EXTERIOR LIGHTING

Material: N/A
Texture /Finish:
Color / Transparency:

PAVED SURFACES

Material: N/A
Texture /Finish:
Color / Transparency:

FREESTANDING WALLS AND FENCES

Material: N/A
Texture /Finish:
Color / Transparency:

OTHER DESIGN ELEMENTS

Material: Illuminated low wall at self service bankers = resin material. Digital media monitors
Texture /Finish:
Color / Transparency: resin low wall = opaque with soft blue lighting with-in

C Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:

N/A

SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)

A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

- 1. Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The building is existing. The project includes minor exterior modifications to the storefront. All new storefront will be to match existing. The exterior signage will be in conformance with the building's sign program and will match the existing signage of adjacent tenants. The interior elements up for review have been carefully designed by Chase to incorporate their brand in such a way that will not be a detraction from the adjacent tenants or surrounding area. Chase feels that their proposed design will help to "activate" the corner. Chase is sensitive to the image of Beverly Hills, therefore the proposed design is unique to this location and is quite a departure from, and much more reserved than, previous projects they have completed in the area.

- 2. Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

The building shell is existing. The proposed tenant, Chase, is a retail bank. The bank will not generate any kind of noise, vibrations or anything that would make the environment less desirable.

- 3. Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The building is existing. The minor exterior modifications proposed are as listed above and where new materials are required the finishes will be to match the existing. We believe the interior modifications will add to the local environment by energizing and activating the currently vacant corner of Santa Monica and Wilshire.

- 4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

N/A

- 5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

N/A



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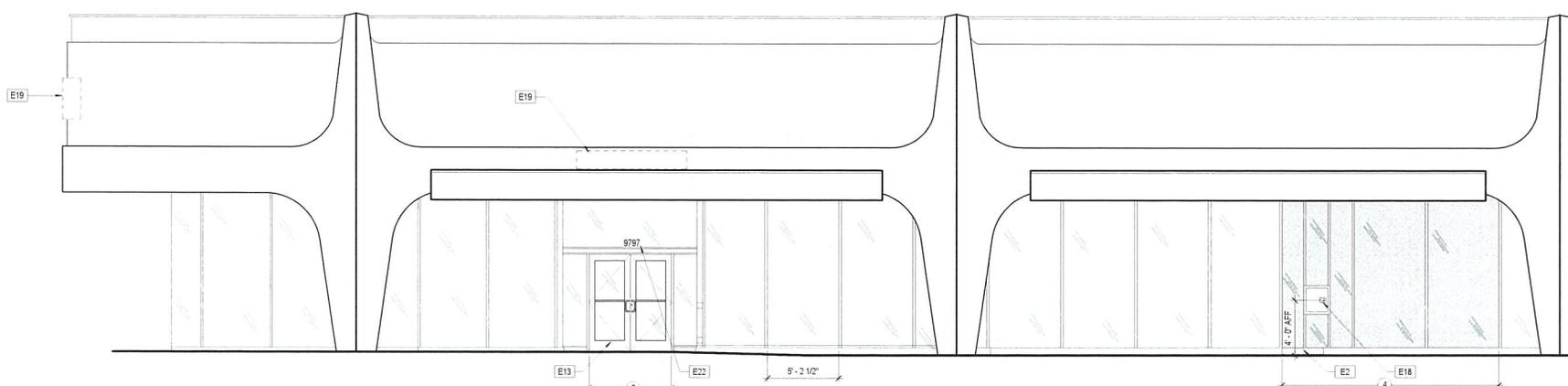
Attachment B:

Design plans, cut sheets
and supporting elements

KEYNOTES

#	EXTERIOR ELEVATION KEYNOTES
E2	CONCRETE CURB TO MATCH EXISTING SIZE AND FINISH.
E13	STOREFRONT SYSTEM. CLEAR ANODIZED ALUMINUM FRAMES.
E18	BANK EQUIPMENT, FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR. GC TO PROVIDE OPENINGS AND ELECTRICAL REQUIREMENTS IN ACCORDANCE WITH FINAL APPROVED BANK EQUIPMENT SHOP DRAWINGS.
E19	PROPOSED SIGNAGE.
E22	ADDRESS NUMBER. 6" TALL WHITE VINYL ADDRESS NUMBER WITH 1/2" T. STROKE MOUNTED ON INTERIOR FACE OF GLASS TRANSOM.

#	KEYNOTE
1	EXISTING STOREFRONT DOOR, MULLIONS, AND GLAZING PANEL TO BE REMOVED.
2	GRIND DOWN EXISTING BUILT UP CONCRETE CURB FOR SMOOTH, LEVEL SURFACE WITH ADJACENT SIDEWALK.
3	PROVIDE NEW STOREFRONT DOOR(S) AND GLAZING (WHERE NOTED), MATCH EXISTING - V.I.F.
4	PROVIDE NEW 1" INSULATED OPAQUE WHITE SPANDREL GLAZING ON #3 SURFACE.
6	EXISTING STOREFRONT GLAZING PANELS TO BE REMOVED. SAW CUT/CHIP OUT PORTION OF SILL CURB TO ACCOMMODATE NEW STOREFRONT DOOR WHERE OCCURS.



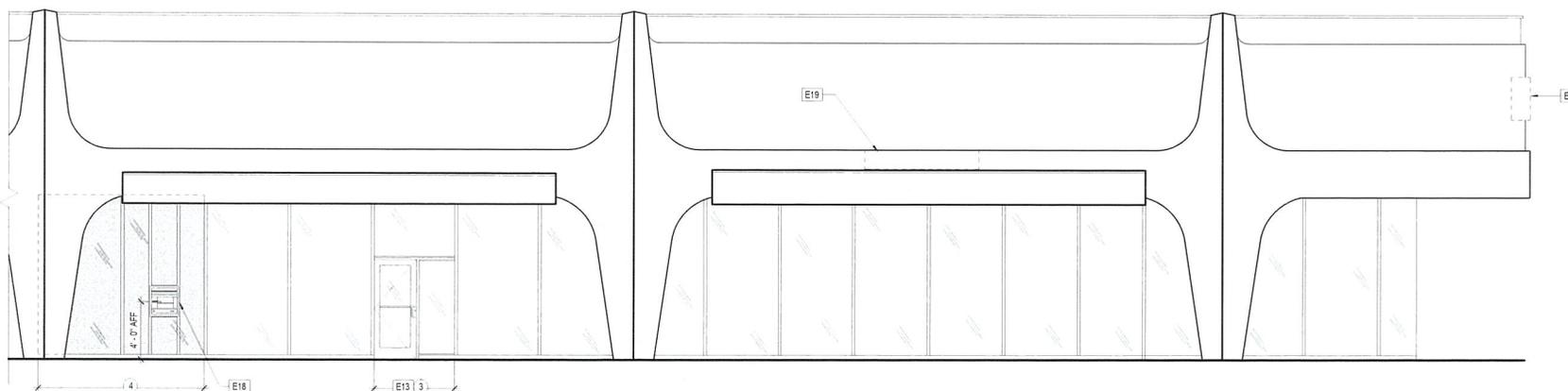
SOUTH PROPOSED ELEVATION
SCALE: 1/8" = 1'-0"



KEYNOTES

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E19	PROPOSED SIGNAGE.
E22	ADDRESS NUMBER, 6" TALL WHITE VINYL ADDRESS NUMBER WITH 1/2" T. STROKE MOUNTED ON INTERIOR FACE OF GLASS TRANSOM.

#	KEYNOTE
1	EXISTING STOREFRONT DOOR, MULLIONS, AND GLAZING PANEL TO BE REMOVED.
2	GRIND DOWN EXISTING BUILT UP CONCRETE CURB FOR SMOOTH, LEVEL SURFACE WITH ADJACENT SIDEWALK.
3	PROVIDE NEW STOREFRONT DOOR(S) AND GLAZING (WHERE NOTED), MATCH EXISTING - V.I.F.
4	PROVIDE NEW 1" INSULATED OPAQUE WHITE SPANDREL GLAZING ON #3 SURFACE.
6	EXISTING STOREFRONT GLAZING PANELS TO BE REMOVED. SAW CUT/CHIP OUT PORTION OF SILL CURB TO ACCOMMODATE NEW STOREFRONT DOOR WHERE OCCURS.



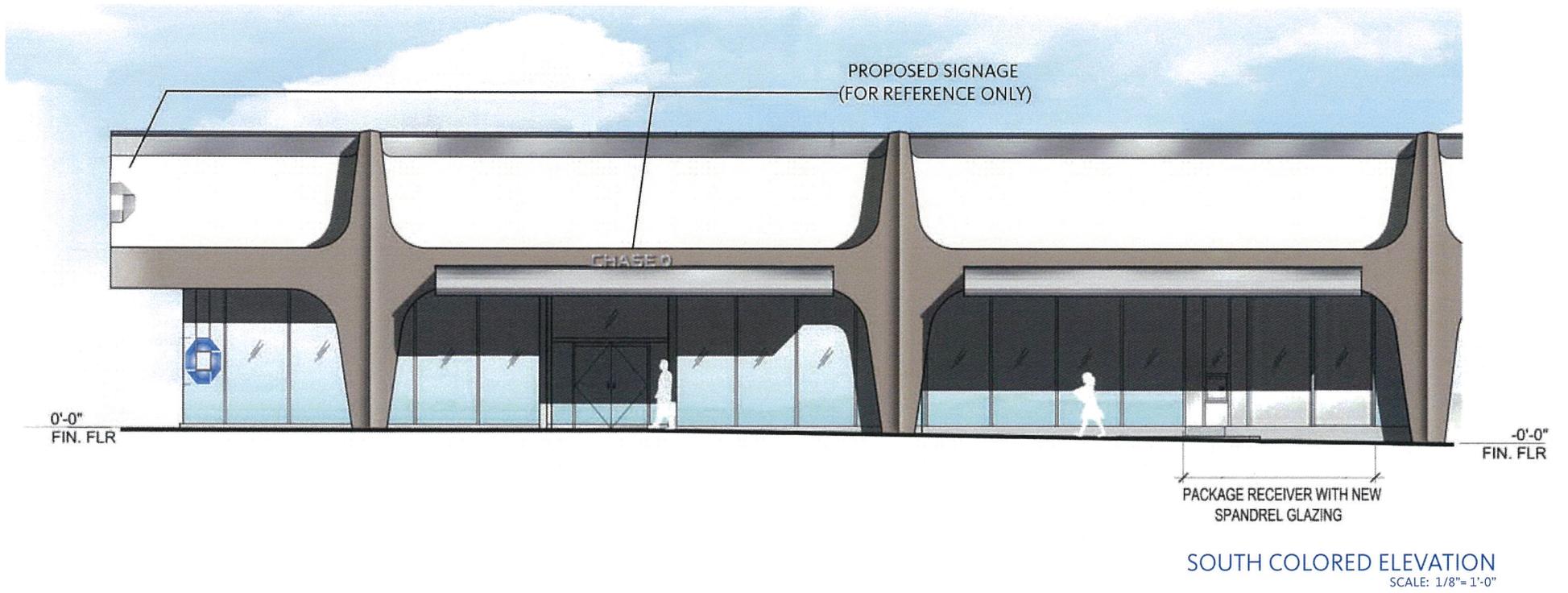
NORTH PROPOSED ELEVATION
SCALE: 1/8"= 1'-0"





NORTH COLORED ELEVATION
SCALE: 1/8" = 1'-0"





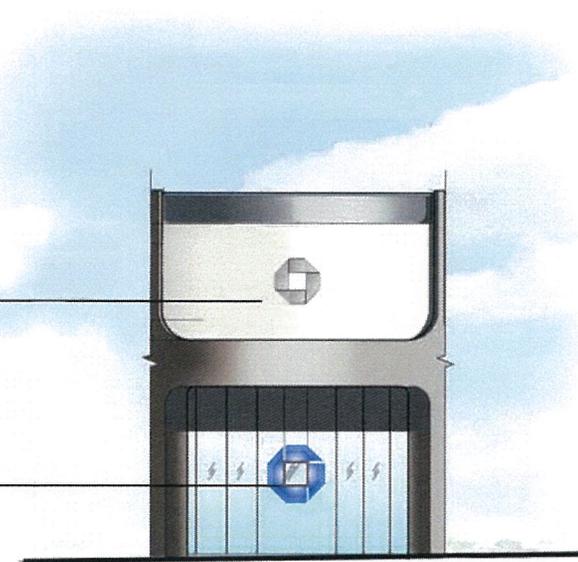
0 2 5 10 ft
GRAPHIC SCALE: 1/8" = 1'-0"



SOUTH ELEVATION AHD SPANDREL GLAZING
SCALE: 1/4" = 1'-0"

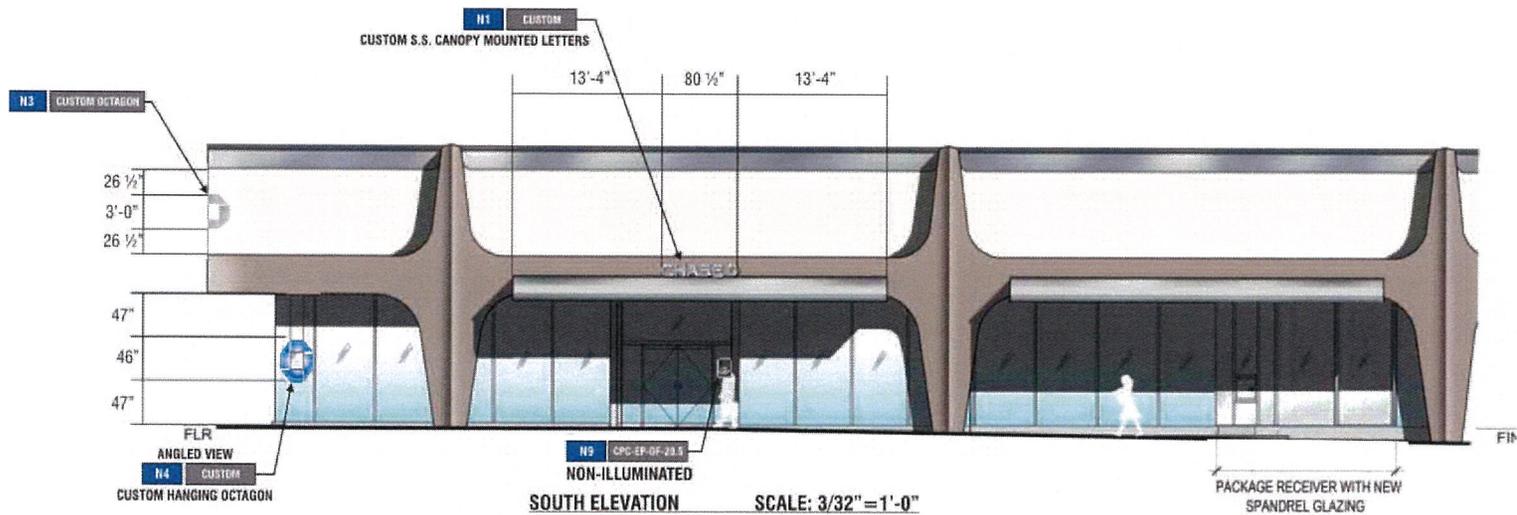
PROPOSED SIGNAGE
(FOR REFERENCE ONLY)

INTERIOR SIGNAGE
(FOR REFERENCE ONLY)

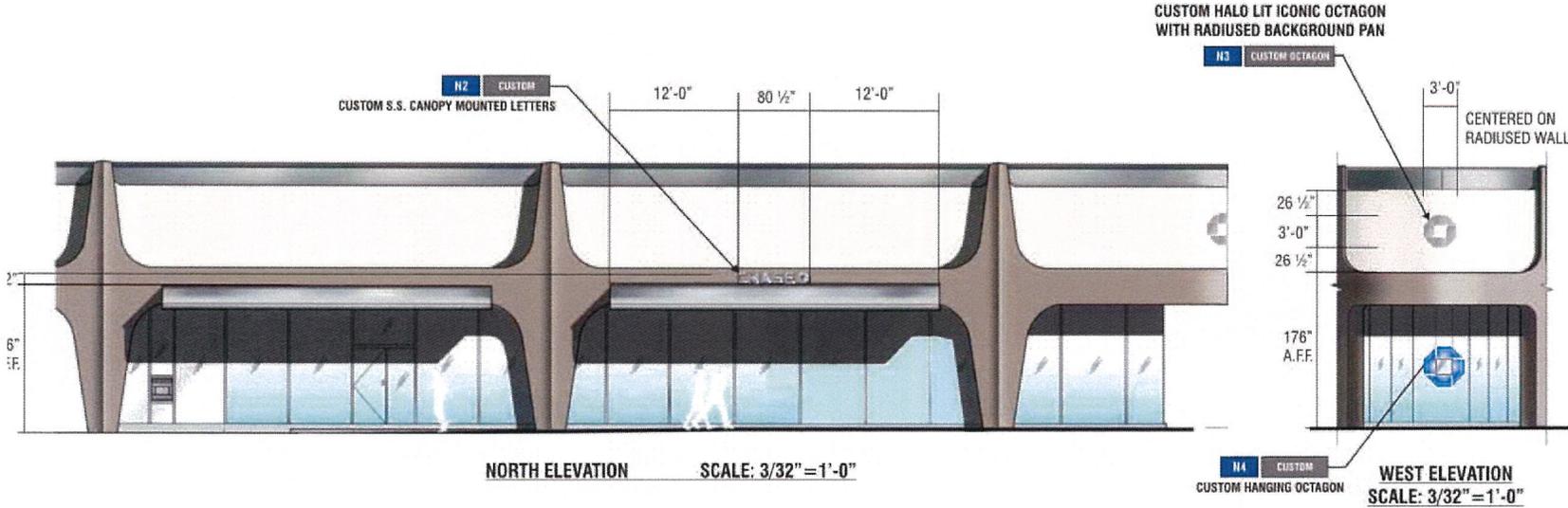


WEST COLORED ELEVATION
SCALE: 1/8" = 1'-0"

0 2 5 10 ft
GRAPHIC SCALE: 1/8" = 1'-0"

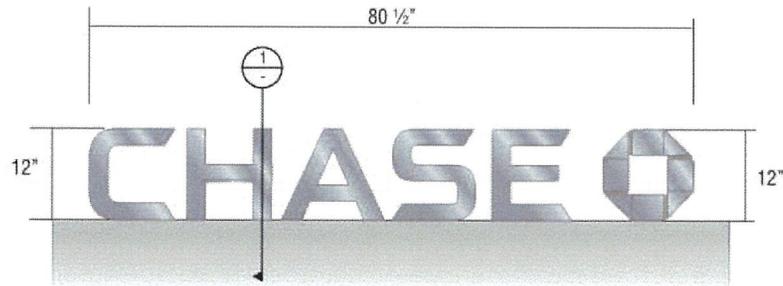


SOUTH ELEVATION SCALE: 3/32"=1'-0"



NORTH ELEVATION SCALE: 3/32"=1'-0"

WEST ELEVATION SCALE: 3/32"=1'-0"



FRONT VIEW SCALE : 3/4" = 1'-0"

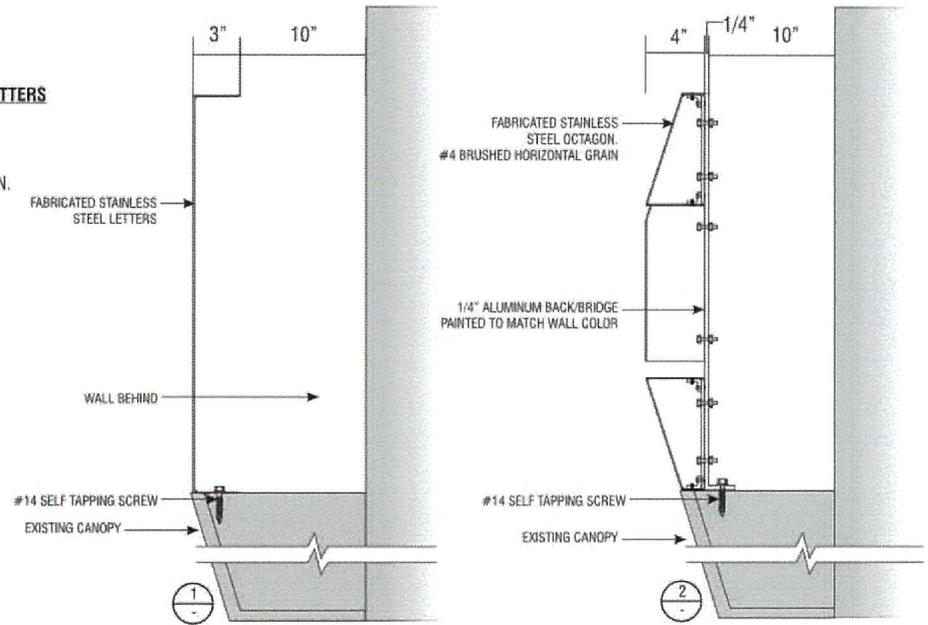
N1 N2 CUSTOM 6.7 SQ FT

MANUFACTURE AND INSTALL TWO (2) SETS OF NON-ILLUMINATED CANOPY MOUNTED LETTERS
 CHASE: 3" DEEP FABRICATED LETTERS. TO BE #4 BRUSHED STAINLESS STEEL.
 MOUNT FLUSH TO TOP OF CONCRETE CANOPY WITH SELF TAPPING SCREWS.

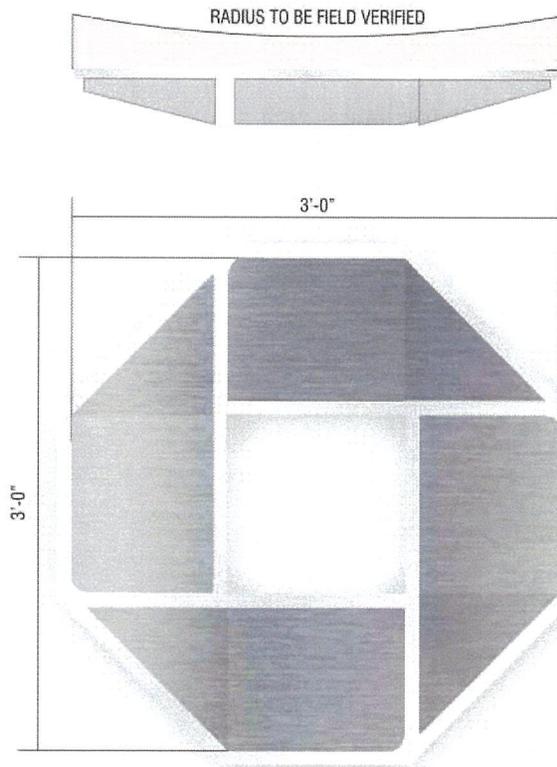
LOGO: 4" DEEP FABRICATED STAINLESS STEEL OCTAGON. #4 BRUSHED HORIZONTAL GRAIN.
 BACK/BRIGE: 1/4" ALUMINUM BACK TO BE PAINTED TO MATCH WALL COLOR.
 WITH SELF TAPPING SCREWS.



LIGHTING ON BUILDING IS EXISTING



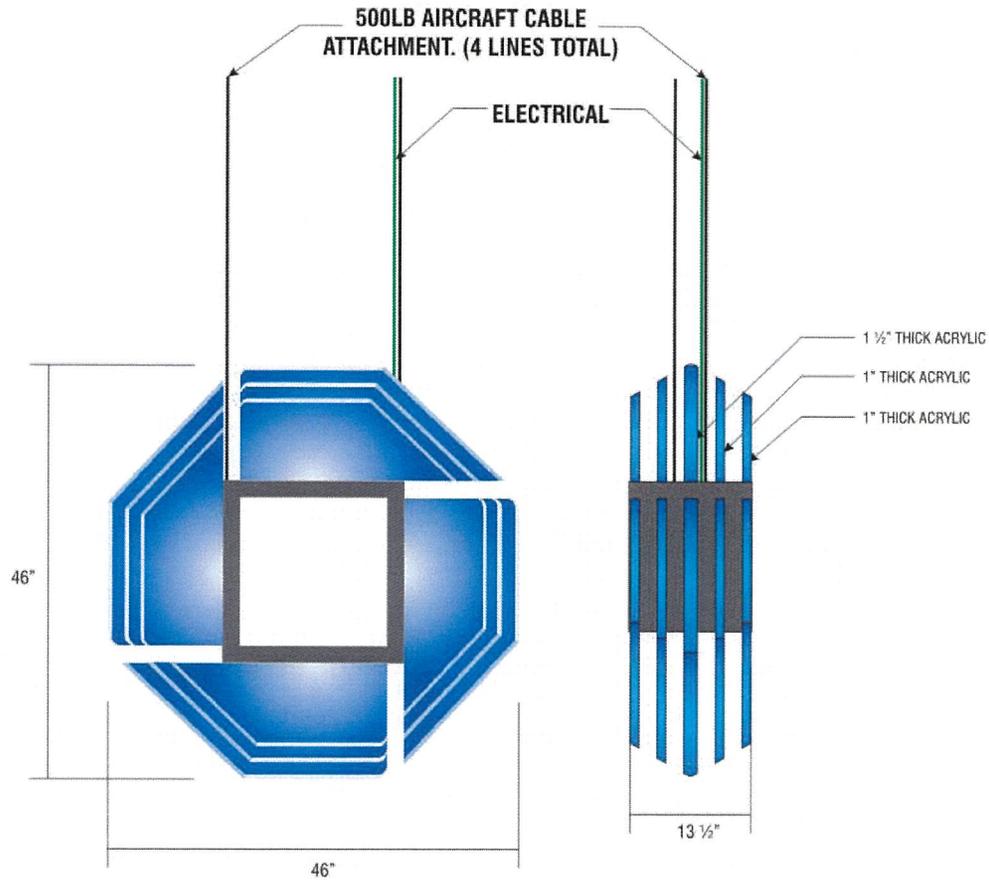
SECTION DETAILS SCALE: 1 1/2" = 1'-0"



FRONT VIEW SCALE: 1 1/2" = 1'-0"

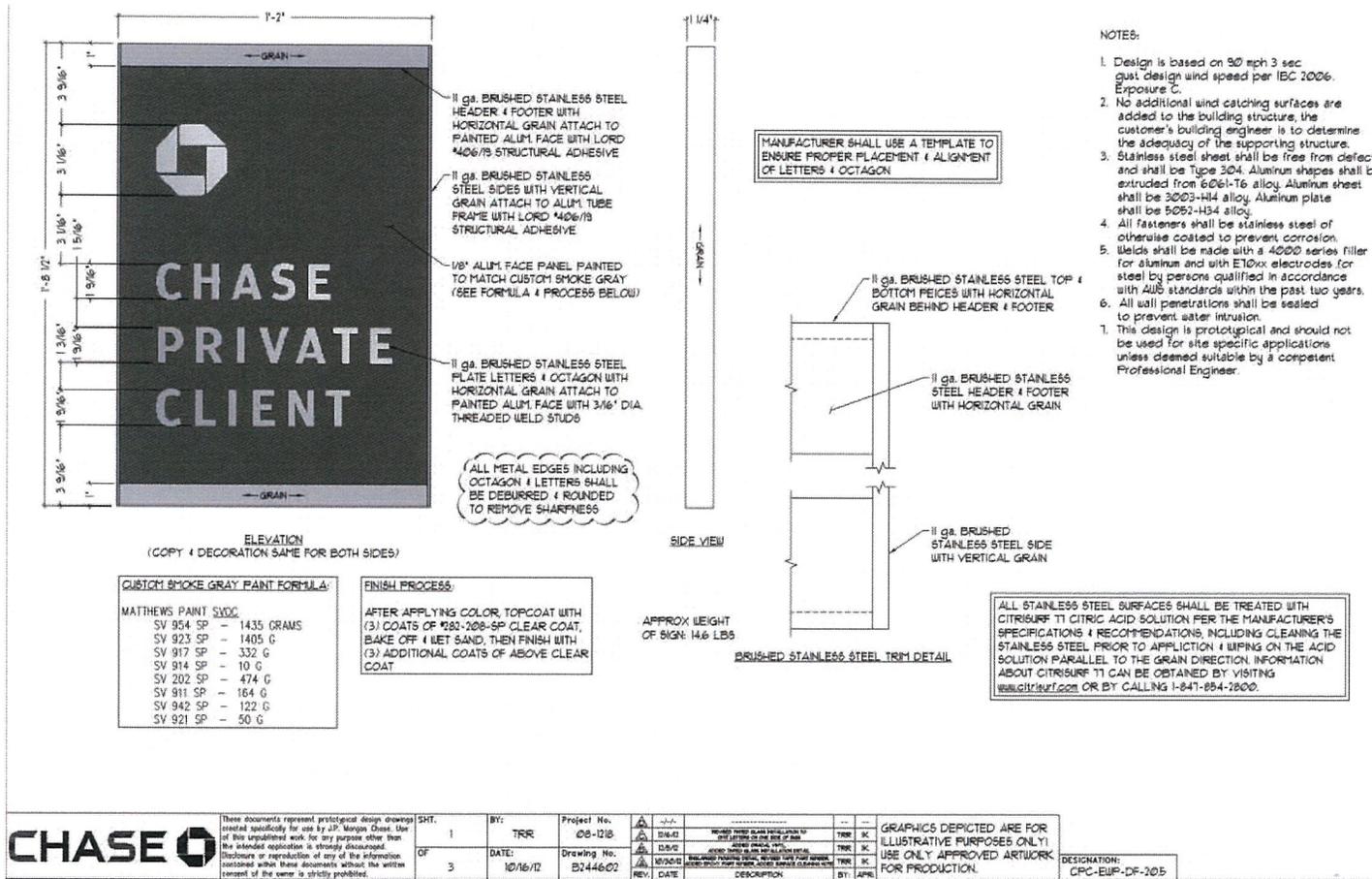
END VIEW SCALE: 1 1/2" = 1'-0"

N3 SIGN TYPE CUSTOM OCTAGON 9 SQ FT
MANUFACTURE AND INSTALL ONE (1) ILLUMINATED ICONIC OCTAGON



N4 CUSTOM OCTAGON 14.6 SQ FT

MANUFACTURE AND INSTALL ONE (1) ILLUMINATED HANGING SCULPTURED OCTAGON
 TO BE ILLUMINATED WITH PERMILIGHT BLUE NITRO LEDS.
 SIGN TO BE STRUCTURALLY ENGINEERED.
 VERIFY ATTACHMENT TO CEILING ABOVE



- NOTES:**
- Design is based on 90 mph 3 sec gust design wind speed per IBC 2006, Exposure C.
 - No additional wind catching surfaces are added to the building structure, the customer's building engineer is to determine the adequacy of the supporting structure.
 - Stainless steel sheet shall be free from defects and shall be Type 304. Aluminum shapes shall be extruded from 6061-T6 alloy. Aluminum sheet shall be 3003-H14 alloy. Aluminum plate shall be 5052-H34 alloy.
 - All fasteners shall be stainless steel of otherwise coated to prevent corrosion.
 - Welds shall be made with a 4000 series filler for aluminum and with E70xx electrodes for steel by persons qualified in accordance with AWS standards within the past two years.
 - All wall penetrations shall be sealed to prevent water intrusion.
 - This design is prototypical and should not be used for site specific applications unless deemed suitable by a competent Professional Engineer.

CHASE	These documents represent prototypical design drawings created specifically for use by JSP Morgan Chase. Use of this unpublished work for any purpose other than the intended application is strongly discouraged. Redesign or reproduction of any of the information contained within these documents without the written consent of the owner is strictly prohibited.		SHT.	BY:	Project No.	DATE:	Drawing No.	REV.	DATE	DESCRIPTION	BY:	APP:	GRAPHICS DEPICTED ARE FOR ILLUSTRATIVE PURPOSES ONLY. USE ONLY APPROVED ARTWORK FOR PRODUCTION.	DESIGNATION: CPC-EWP-DF-20.5
	1	TRR	08-1218	10/16/12	E244602									
	3													

N9 1.9 SQ FT
SIGN TYPE CPC-EWP-DF-20.5 **NON-ILLUMINATED**
 MANUFACTURE AND INSTALL ONE (1) CPC DOUBLE FACED ENTRANCE WALL PLAQUE



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Attachment C:

DRAFT Approval Resolution

RESOLUTION NO. AC-XX-13

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW A FAÇADE MODIFICATION AND A SIGN ACCOMMODATION FOR MULTIPLE BUSINESS IDENTIFICATION SIGNS FOR THE PROPERTY LOCATED AT 9797 WILSHIRE BOULEVARD (CHASE BANK – PL1303395).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Joe Hernandez of JP Morgan Chase, applicant, on behalf of the property owner, Beverly Hills Gateway, LP, and the tenant, Chase Bank (Collectively the “Applicant”), has applied for architectural approval of a façade modification and a sign accommodation for multiple business identification signs for the property located at 9797 Wilshire Boulevard.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s

local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 5. The Architectural Commission conducted a duly noticed public hearing on March 20, 2013 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a "character contributing building": in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a "character contributing building" under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
2. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Special Conditions

9. The illuminated Chase Bank octagonal logo sign, attached from the ceiling on the interior of the building, shall be removed and replaced with a non-illuminated sign attached to a pedestal-type fixture. The new sign may be configured in a color and size that is consistent with that proposed for the sign attached from the ceiling. The new sign shall not be located any nearer to the storefront than it would have been if it were attached from the ceiling.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: March 20, 2013

William Crouch, Commission Secretary
Community Development Department

Zale Richard Rubins, Chairperson
Architectural Commission