



## Architectural Commission Report

**Meeting Date:** Wednesday, April 18, 2012

**Subject:** **155 NORTH CRESCENT DRIVE**  
Request for approval of a façade remodel, a new business identification sign and a custom designed fountain.  
(PL120 5500)

**Project applicant:** Hank Koning, FAIA, Koning Eizenberg Architecture - Architect

**Recommendation:** Conduct public hearing and provide the applicant with an approval.

### REPORT SUMMARY

The applicant is requesting review and approval of a façade remodel, new business identification signs and a custom designed fountain. The façade modifications include upgrading the residential vehicular and pedestrian area by leveling out a portion of the façade (currently rounded), adding high-end custom cement panels with back lighting, new planting 'walls' with lighting and adding a custom water feature. The entire building façade will be updated with new paint colors and the exterior gardens area located above the parking garage will be updated with a new landscape plan which includes new furniture and lighting.

In addition to the façade remodel the applicant is also proposing to update some of the existing way finding signage as well as add three new business identification signs. The specific signs proposed are as follows:

- The existing directional signage located at the commercial garage entrance is proposed to be replaced with like signage in the same location. A total of three signs are proposed to replace the existing three signs. The signs would be composed of stain aluminum finished letters which would be individually pin mounted on the façade. The three signs would read '9355 Wilshire', 'Parking' and 'Do Not Enter'.
- The applicant is proposing one new address sign adjacent to the residential vehicular/pedestrian entry. This sign would also be composed of stain aluminum finished letters which would be individually pin mounted on the façade. The sign would contain a maximum of 7" letters which is consistent with other address signs previously approved by the Commission.
- One business identification sign is proposed just above the residential vehicular/pedestrian entry. This sign would be composed of metal letters with LED backlighting (halo lit, not face lit). The letters would be individually mounted and would read 'aka'. The sign would be a total of 10.65 square feet, significantly less than the maximum 100 SF permitted by Code.
- One business identification plaque sign is proposed at the pedestrian entry. This sign would be composed of painted metal with satin aluminum lettering which would read 'aka'. The sign would be a total of 2.8 SF, less than the maximum 5 SF area permitted by Code.
- One freestanding monument sign is proposed to be located on the site near the intersection of North Crescent Drive and Clifton Way. The sign would be composed of painted metal with satin aluminum lettering which would read 'aka' and 'serviced residences'. The sign would be 5'-4" tall and 2'-0" in width with a total area of 10.65 SF, which is significantly less than the maximum size of 20'-0" in height and 55 SF in area permitted by the Code.

### ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application.

#### Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets and Supporting Documents
- C. Approval Resolution

#### Report Author and Contact Information:

Shena Rojemann, Associate Planner  
(310) 285-1192

[srojemann@beverlyhills.org](mailto:srojemann@beverlyhills.org)



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Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### **ENVIRONMENTAL ASSESSMENT**

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

### **PUBLIC OUTREACH AND NOTIFICATION**

Public notification was not required for this project.

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**Attached A:**

Detailed Design Description  
and Materials (Applicant Prepared)

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**SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION**

**A Indicate Requested Application**

- Staff Review
  - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
  - Ten (10) sets of plans required (see Section 6 for plan size requirements).
  - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

**B Identify the scope of work (check all that apply):**

- New construction
- Façade Remodel ONLY
- Business Identification Sign(s)
  - Number of signs proposed:
- Building Identification Sign(s)
  - Number of signs proposed:
- Sign Accommodation (explain reason for the accommodation request below):  
 \_\_\_\_\_ Number of signs proposed:
- Other: (2) PARKING ENTRANCE SIGNS

**C Describe the scope of work proposed including materials and finishes:**

AKA Beverly Hills is proposing an upgraded residential entrance to properly invite pedestrians and cars alike onto a shared granite surface/arrival court. In reducing the impact of parking to the arrival sequence, the front facade is straightened and reconstructed with high-end custom cement panels with finely scaled perforations to be back lit in the evening. Further investments are made at the podium level with new planting, seating areas and trellis for residents to enjoy year round. The entirety of the facade will be cleaned and re-painted in an appropriate color scheme to clarify the building proportions. The front landscape will also be edited down and augmented with properly scaled planting to complement the building color scheme. No changes are proposed for the roof.

**C Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/UNITEGIS/>)**

- |                              |                                 |                                 |                                 |                                |
|------------------------------|---------------------------------|---------------------------------|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4X   | <input type="checkbox"/> R-4    | <input type="checkbox"/> R-4-P  | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP   | <input type="checkbox"/> C-3    | <input type="checkbox"/> C-3A   | <input type="checkbox"/> C-3B  |
| <input type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2 | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5   |
- M-PD-2**

**E Lot is currently developed with (check all that apply):**

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below):  
RESIDENTIAL & COMMERCIAL PARKING

**F Are any protected trees located on the property? (See the City’s tree removal guidelines at: <http://www.beverlyhills.org/services/building/plans/tree.asp>.)**

Yes  No

If YES, provide the following information:

Tree Type:  Heritage Tree(s)  Native Tree(s)  Urban Grove  
 Species: \_\_\_\_\_  
 Quantity/Sizes: \_\_\_\_\_  
 Reason for Removal: \_\_\_\_\_

**G Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City’s survey)?**

Yes  No  If yes, please list Architect’s name: \_\_\_\_\_

**SECTION 3 – PROJECT DETAILS AND MATERIALS** (continues on next page)

**A Indicate in the chart below all applicable signage details:**

	<u>Type of Sign</u> (i.e. business ID, building ID, parking, etc.)	<u>Dimensions</u> (length x width)	<u>Square Feet</u>	<u>Maximum Area Permitted by Code</u>	<u>Maximum Area Permitted w/ Sign Accommodation</u> (if applicable)
1	BUSINESS ID (2)	5'-4" X 2'-0"	10.65 SF/EACH	100 SF MAX.	
2	RESIDENTIAL PARKING ENTRANCE	2'-10" X 6'-9"	6.8 SF	20 SF MAX.	
3	COMMERCIAL PARKING ENTRANCE	1'-2" X 11'-4"	6 SF	20 SF MAX.	
4	ADDRESS LETTERING	0'-7" X 9'-2"	2.1 SF	SINGLE LINE 7" HEIGHT MAX.	
5	(E) PLAQUE ADJACENT TO LOBBY ENTRANCE	1'-8" X 1'-8"	2.8 SF	5 SF MAX.	

**C List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):**

**FAÇADE** (List all material for all portions visible from the street)

*Material:* Custom 1/2" thk. cement board panel with cut perforations with offset acrylic backing  
*Texture /Finish:* Matte & subtle rough finishes on cement panels. Translucent acrylic backing for uniform lighting.  
*Color / Transparency:* Exterior paint scheme in varied shades of gray. New cement panels in complementing shade of gray.

**WINDOWS/DOORS** (Include frame, trim, glass, metal, etc.)

*Material:* Insulated clear butt-glazing system with recessed channels at lobby. All other windows to remain as is.  
*Texture /Finish:* (E) Townhome doors repainted to light gray to match metal accents.  
*Color / Transparency:* Custom sliding wood door at lobby entrance will be light color with smooth finish.

**ROOF**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**CHIMNEY(S)**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**COLUMNS**

*Material:* Venetian plaster @ ext. columns & arrival court walls  
*Texture /Finish:* Smooth finish  
*Color / Transparency:* White or off-white to match existing stucco & Kendall Charcoal @ arrival court walls

**BALCONIES & RAILINGS**

*Material:* Painted steel  
*Texture /Finish:* Matte finish  
*Color / Transparency:* Coventry Gray BM: HC-169

**OUTDOOR DINING ELEMENTS** (List all material for all outdoor dining elements.)

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)**

**AWNINGS, CANOPIES**

*Material:* Painted Steel / Steel rods  
*Texture /Finish:* Matte Finish  
*Color / Transparency:* Kendall Charcoal BM: HC-166 & COVENTRY GRAY BM: HC-169

**DOWNSPOUTS / GUTTERS**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:* Paint to match adjacent building color

**BUSINESS ID SIGN(S)**

*Material:* Painted Metal  
*Texture /Finish:* Satin Finsh  
*Color / Transparency:* Black

**BUILDING ID SIGN(S)**

*Material:* Parking Entrance Signs - Painted Metal  
*Texture /Finish:* Satin Finish  
*Color / Transparency:* Aluminum & Black

**EXTERIOR LIGHTING**

*Material:* 1. Arrival Court RCP - Seamless Plaster Finish. 2. Ext. wall sconces to be Bega  
*Texture /Finish:* 1. Smooth plaster finish. 2. Satin finish  
*Color / Transparency:* 1. Incandescent light. 2. Dark gray wall sconces

**PAVED SURFACES**

*Material:* Granite  
*Texture /Finish:* Thermal, Matte Finish  
*Color / Transparency:* Ashford White & Basalt Black

**FREESTANDING WALLS AND FENCES**

*Material:* 1. (E) Brick Veneer 2. Palm tree planters in arrival court  
*Texture /Finish:* 2. Smooth stucco finish  
*Color / Transparency:* 1. Kendall Gray to match building base. 2. White to match upper building mass.

**OTHER DESIGN ELEMENTS**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**D Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:**

The proposed plantings are drought tolerant and low maintenance. The plant groupings will be laid out to complement the architecture of the building.

**SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)**

**A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:**

1. **Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The proposed upgrades to the residential entrance promote an active connection between the shared lobby and public street life. The shared surface drive promotes pedestrian travel and increased driver awareness. The arrival court is augmented with existing public art and proposed water feature, further separating itself from its current state as a parking garage entrance. The overall landscape strategy seeks to edit existing assets and add crisp low maintenance planting. The exterior painting scheme in varied shades of gray give the property an updated modern appearance following adjacent developments along Wilshire.

2. **Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

Existing building with no significant changes to openings or use that would increase acoustic / environmental issues.

3. **Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

Many proposed materials (ie. granite and custom cement panels) are of greater quality than existing brick and stucco. The entirety of the exterior will be cleaned and a majority will be repainted in tasteful shades of gray eluding to a metropolitan setting.

4. **Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

Project is a remodel that retains existing building forms but enhances with new finishes, lighting and landscape.

5. **Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

No changes proposed encroach upon existing set-backs or add building mass. The general appearance is clarified and rejuvenated while maintaining existing tonal qualities. All required parking is maintained.



## **Architectural Commission Report**

455 North Rexford Drive  
AC Meeting – April 18, 2012

### **Attached B:**

Design Plans, Cut Sheets  
and Supporting Documents

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**KoningEizenbergArchitecture**  
1454 25th St, Santa Monica, CA 90404

310.828.6131 info@kearch.com  
310.828.0719 fax www.kearch.com

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**PROJECT TEAM**

**CLIENT**  
AKA Beverly Hills  
155 North Crescent Drive  
Beverly Hills, CA 90210  
(310) 385-1054  
(310) 385-1911 fax  
David Fields  
dfields@akayala.com

**ARCHITECT**  
Koning Eizenberg Architecture Inc.  
1454 25th Street  
Santa Monica, CA 90404  
(310) 828-6131  
(310) 828-0719 fax  
Hank Koning, Principal  
hank@kearch.com  
Brian Lane, Principal  
blane@kearch.com



PROJECT NO.

**1201**

PROJECT TITLE

**AKA BEVERLY HILLS**  
155 NORTH CRESCENT DRIVE  
BEVERLY HILLS, CA 90210

SHEET NO.

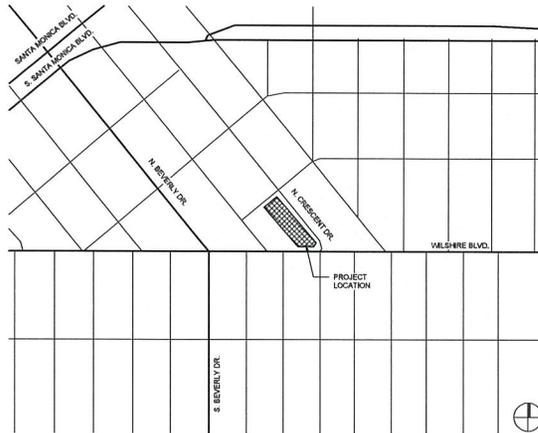
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**COVER SHEET**

ISSUE  
**ARCHITECTURAL REVIEW  
SUBMISSION**

04/02/12

**PROJECT DESCRIPTION & VICINITY MAP**



**PROJECT DATA**

**PROJECT ADDRESS**  
155 NORTH CRESCENT DRIVE (BETWEEN WILSHIRE BLVD & CLIFTON WAY)

**LEGAL DESCRIPTION**  
LOTS 8, 9, 10, 11, 12, 13, 14, 15 AND 16 IN BLOCK 13 OF BEVERLY, IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11, PAGE 94 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY

**ZONE & USE:** MAPS-2  
Existing use: -116,000 sq ft of Apartment Area (88 units Levels 1-4)  
-12,700 sq ft of Townhouse Area (12 units Levels P-3-P7)  
-230,700 sq ft of Parking Garage Area (Levels P-3-P4)

**Proposed use:** Retain All Existing Uses

**FAR**  
Allowed: 2.5:1  
Proposed: Retain Existing Ratio

**LOT AREA**  
-76,380 sq ft (Includes Commercial lot)

**FLOOR AREA (APPROX.)**  
Existing: -402,050 sq ft  
Proposed: Retain Existing Areas

**PARKING**  
Existing Parking Required: 227 stalls  
Existing Parking Provided: 208 Residential stalls  
27 Guest stalls  
227 stalls (Includes 6 HC stalls)

**HC PARKING REQUIRED** (w/ valet parking)  
2% of Residential: 4.1 stalls  
5% of Guest Parking: 1.4 stalls  
6 Accessible stalls (Located at Level P4.5 w/ Direct Elevator Access)

**SHEET INDEX**

- A0.00 COVER SHEET
- A0.10 PROJECT INFORMATION
- A0.20 NEIGHBORHOOD PROFILE
- A0.30 SITE PHOTOS
- A1.11 EXISTING SITE PLAN
- A1.12 EXISTING PLAN - GROUND LEVEL
- A1.13 EXISTING PLAN - PARKING LEVEL 1
- A1.14 EXISTING PLAN - POODUM EAST
- A1.15 EXISTING PLAN - POODUM WEST
- A2.01 SITE PLAN
- A2.21 LOWER FLOOR PLANS
- A2.22 GROUND FLOOR PLAN
- A2.23 UPPER FLOOR PLANS
- A3.00 COLOR ELEVATIONS
- A3.10 ENLARGED ELEVATIONS
- A3.20 ENLARGED ELEVATIONS
- A3.30 ENLARGED ELEVATIONS
- A4.00 BUILDING SECTIONS
- A5.00 WALL SECTIONS
- A5.10 WALL SECTIONS
- A6.01 REFLECTED CEILING PLAN
- A6.10 EXTERIOR DETAILS
- A6.20 EXTERIOR DETAILS
- A6.30 EXTERIOR DETAILS
- A6.40 MATERIAL BOARD
- A10.00 SIGNAGE
- L1.0 GROUND FLOOR EXISTING CONDITIONS
- L1.1 POODUM LEVEL EXISTING CONDITIONS
- L2.0 LANDSCAPE PLAN
- L2.1 LANDSCAPE PLAN
- L2.2 BRIDGE GARDEN
- L3.0 LANDSCAPE ELEVATIONS
- L3.1 LANDSCAPE ELEVATIONS
- L3.2 LANDSCAPE SECTIONS
- L4.0 LANDSCAPE DESIGN IMAGERY
- L4.1 GREEN WALL CUTSHEETS
- LD-1 OVERALL LIGHTING CONCEPTS
- LD-2 TRELIS LIGHTING CONCEPTS
- LD-3 MESH SCREEN LIGHTING CONCEPTS
- LD-4 GREEN WALL LIGHTING CONCEPTS
- LD-5 EXISTING SCULPTURE LIGHTING CONCEPTS
- LD-6 ARRIVAL COURT LIGHTING CONCEPTS
- LD-7 EXTERIOR SCENES LIGHTING CONCEPTS
- LD-8 APARTMENT ENTRIES LIGHTING CONCEPTS
- LD-9 3RD LEVEL TERRACE LIGHTING CONCEPTS
- LD-10 3RD LEVEL TERRACE LIGHTING CONCEPTS
- LD-11 3RD LEVEL TERRACE LIGHTING CONCEPTS
- LD-12 3RD LEVEL TERRACE LIGHTING CONCEPTS
- LD-13 LIGHTING CUTSHEETS
- LD-14 LIGHTING CUTSHEETS

**KoningEizenbergArchitecture**

1454 25th St, Santa Monica, CA 90404  
310.828.6131 info@kearch.com  
310.828.0719 fax www.kearch.com

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PROJECT NO.

**1201**

PROJECT TITLE

**AKA BEVERLY HILLS**  
155 NORTH CRESCENT DRIVE  
BEVERLY HILLS, CA 90210

SHEET NO.

**A0.10**

**PROJECT INFORMATION**

ISSUE  
**ARCHITECTURAL REVIEW SUBMISSION**

04/02/12

**KoningEizenbergArchitecture**  
 1454 25th St, Santa Monica, CA 90404  
 310.828.6131 info@kearch.com  
 310.828.0719 fax www.kearch.com

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(E) COMMERCIAL BLDG

(E) SERVICED RESIDENCES

(E) GARAGE ENTRY

(E) SERVICED RESIDENCES



(E) COMMERCIAL BLDG

(E) SERVICED RESIDENCES

(N) RESIDENTIAL ARRIVAL

(E) SERVICED RESIDENCES

WILSHIRE BLVD

CLIFTON WAY



(E) SERVICED RESIDENCES



(E) SERVICED RESIDENCES

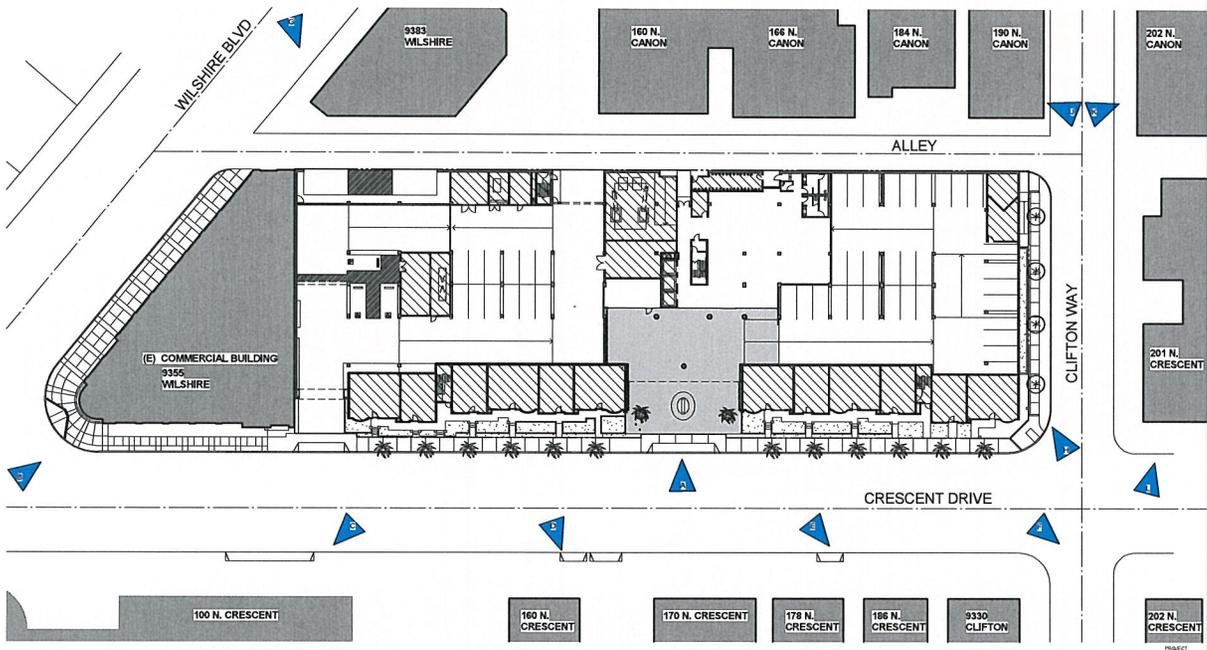
NORTH CRESCENT DR

CLIFTON WAY

PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A0.20**  
 NEIGHBORHOOD  
 PROFILE

ISSUE  
 ARCHITECTURAL REVIEW  
 SUBMISSION  
 04/02/12



**SITE CONTEXT PLAN**  
 164' x 40'-0" 0 10' 32' 64'  
 PROJECT NUMBER 1



A: 155 NORTH CRESCENT DRIVE



B: 9355 WILSHIRE BOULEVARD



C: 100 NORTH CRESCENT DRIVE



D: 170 NORTH CRESCENT DRIVE  
178 NORTH CRESCENT DRIVE



E: 178 NORTH CRESCENT DRIVE  
186 NORTH CRESCENT DRIVE  
9330 CLIFTON WAY



F: 202 NORTH CRESCENT DRIVE



G: 9385 WILSHIRE BOULEVARD  
180 NORTH CANON DRIVE  
166 NORTH CANON DRIVE



H: 155 NORTH CRESCENT DRIVE @ CLIFTON WAY



J: 180 NORTH CANON DRIVE



K: 202 NORTH CANON DRIVE



L: 201 NORTH CRESCENT DRIVE

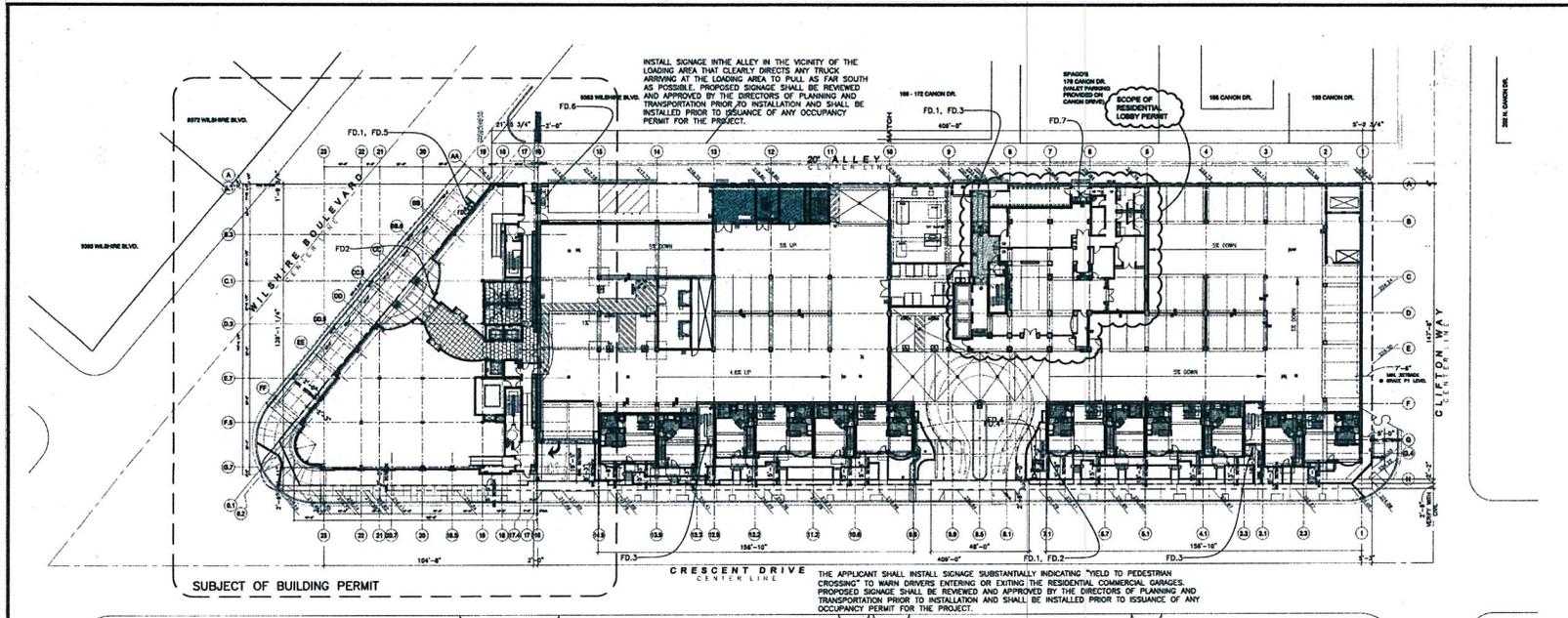
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**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210  
 SHEET NO.  
**A0.30**  
 SITE PHOTOS

ISSUE  
**ARCHITECTURAL REVIEW  
 SUBMISSION**  
 04/02/12

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**FIRE DEPARTMENT KEYNOTES**

- FD.1 FIRE ALARM HORN AND STROBE LOCATED APPROX. 8' TO 10' ABOVE ADJACENT SURFACE
- FD.2 FIRE DEPT. LOCK BOX LOCATED APPROX. 8' TO 10' ABOVE ADJACENT SURFACE
- FD.3 FIRE DEPT. ACCESS SIGNAGE, WORDING PER FIRE PREVENTION BUREAU (FPB) REQUIREMENTS.
- FD.4 FIRE DEPARTMENT CONNECTION (FDC) LOCATED IN PLANTER WITH SIGNAGE
- FD.5 FIRE DEPARTMENT CONNECTION (FDC) LOCATED IN WALL NICHE WITH SIGNAGE
- FD.6 DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCV) #A. 2 SEPARATE SHUTOFF VALVE ASSEMBLIES. VALVE 1 CONTROLS OFFICE BUILDING SPRINKLER SYSTEM. VALVE 2 CONTROLS PARKING GARAGE AND APARTMENT BUILDING IN CONJUNCTION WITH DDCV #B. PROVIDE SIGNAGE DESCRIBING THE SHUTOFF SEQUENCE FOR OFFICE BUILDING AND THE 2 VALVE SHUTOFF SEQUENCE FOR THE PARKING GARAGE AND THE APARTMENT BUILDING.
- FD.7 DOUBLE DETECTOR CHECK VALVE ASSEMBLY (DDCV) #B. SHUTOFF VALVE CONTROLS PARKING GARAGE AND APARTMENT BUILDING IN CONJUNCTION WITH DDCV #A. PROVIDE SIGNAGE DESCRIBING THE 2 VALVE SHUTOFF SEQUENCE FOR THE PARKING GARAGE AND THE APARTMENT BUILDING.

**LEGAL DESCRIPTION:**

PARCEL 1: LOTS 8, 9 AND 10 IN BLOCK 13 OF BEVERLY, IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11, PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2: LOTS 11, 12, 13, 14, 15 AND 16 IN BLOCK 13 OF BEVERLY, IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 11, PAGE 84 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

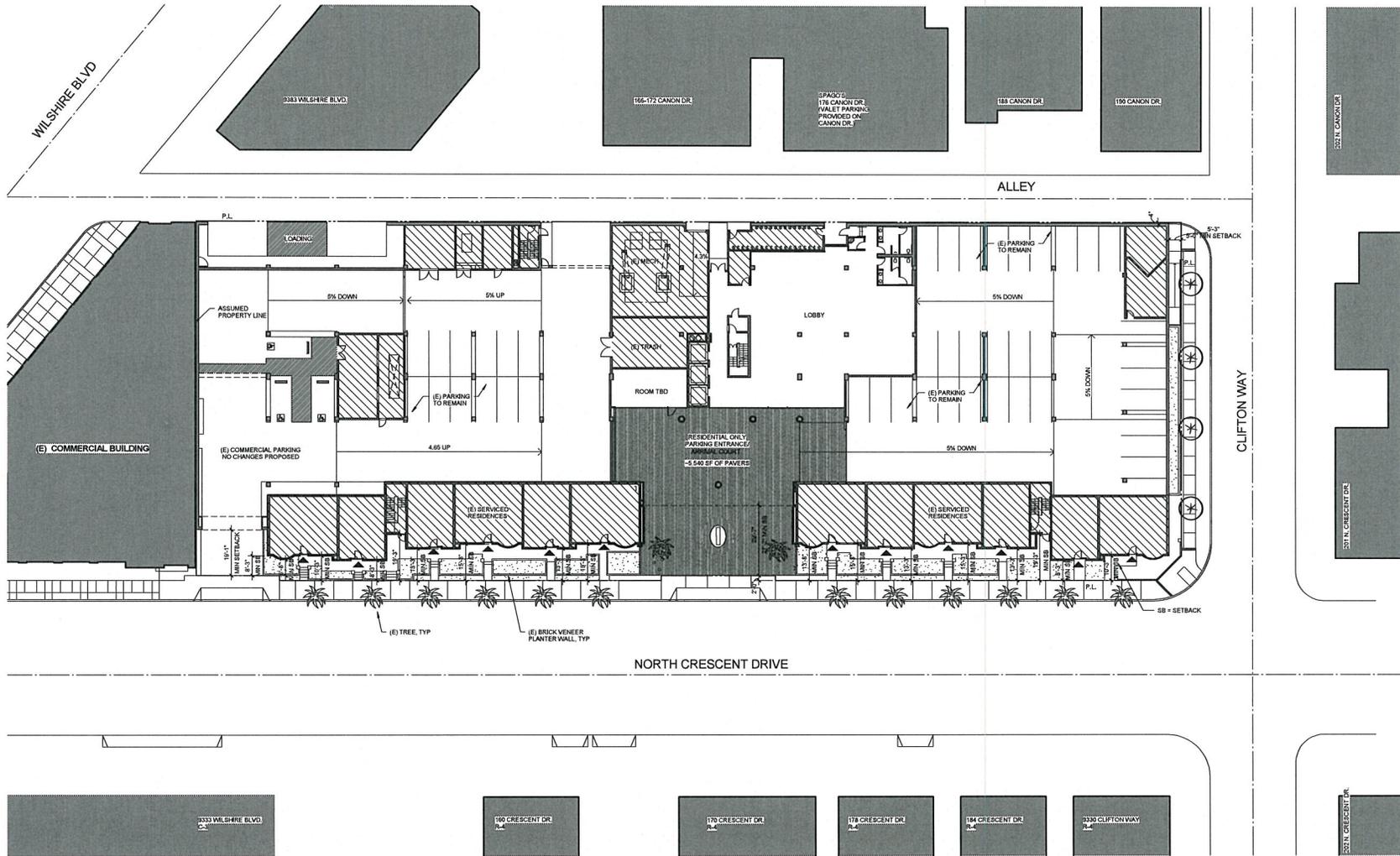
EXCEPT THEREFROM ALL OIL, GAS AND OTHER HYDROCARBON SUBSTANCES IN AND UNDER THE FOLLOWING DESCRIBED REAL PROPERTY IN THE COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, EXCEPTING THEREFROM HOWEVER, THE RIGHT TO ENTER UPON THE SURFACE OF SAID SUBSURFACE THERETO UP TO A DEPTH OF 500 FEET BELOW THE SURFACE OF THE GROUND, AS GRANTED TO JACQUELINE BLOCH LESURE AND CHARLES CAMPFORTH AS TENANTS IN COMMON, BY DEED RECORDED AUGUST 20, 1984 AS INSTRUMENT NO. 4516.

	<b>THE CRESCENT</b> BEVERLY HILLS, CALIFORNIA	<table border="1"> <tr><th>REV.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td>10-18-11</td><td>OFFICE BUILDING PLAN</td></tr> <tr><td>2</td><td>12-01-11</td><td>OFFICE BUILDING PLAN</td></tr> <tr><td>3</td><td>12-01-11</td><td>OFFICE BUILDING PLAN</td></tr> <tr><td>4</td><td>12-01-11</td><td>OFFICE BUILDING PLAN</td></tr> <tr><td>5</td><td>12-01-11</td><td>OFFICE BUILDING PLAN</td></tr> </table>	REV.	DATE	DESCRIPTION	1	10-18-11	OFFICE BUILDING PLAN	2	12-01-11	OFFICE BUILDING PLAN	3	12-01-11	OFFICE BUILDING PLAN	4	12-01-11	OFFICE BUILDING PLAN	5	12-01-11	OFFICE BUILDING PLAN
	REV.	DATE	DESCRIPTION																	
1	10-18-11	OFFICE BUILDING PLAN																		
2	12-01-11	OFFICE BUILDING PLAN																		
3	12-01-11	OFFICE BUILDING PLAN																		
4	12-01-11	OFFICE BUILDING PLAN																		
5	12-01-11	OFFICE BUILDING PLAN																		
	<b>J.H. SNYDER COMPANY</b> 5727 WILSHIRE BLVD. PORTHOLE SUITE LOS ANGELES, CA 90048	<table border="1"> <tr><th>PROJECT</th><th>DATE</th><th>DATE</th></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	PROJECT	DATE	DATE															
PROJECT	DATE	DATE																		
	PROJECT NO. 1201 PROJECT TITLE <b>AKA BEVERLY HILLS</b> 155 NORTH CRESCENT DRIVE BEVERLY HILLS, CA 90210	<table border="1"> <tr><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td></tr> </table>	DATE	DESCRIPTION																
DATE	DESCRIPTION																			
<b>KEYPLAN</b>	<b>YAN TILBURG, BANYARD &amp; SODERBERGH, AIA</b> ARCHITECTURE PLANNING INTERIORS	<b>ARCHITECTURAL SITE PLAN</b> <b>A1.0</b>																		

PROJECT NO. 1201  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210  
 SHEET NO. **A1.11**  
**EXISTING SITE PLAN**

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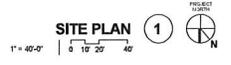
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**LEGEND**  
 (E) WALL  
 (N) WALL

PROJECT NO. **1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

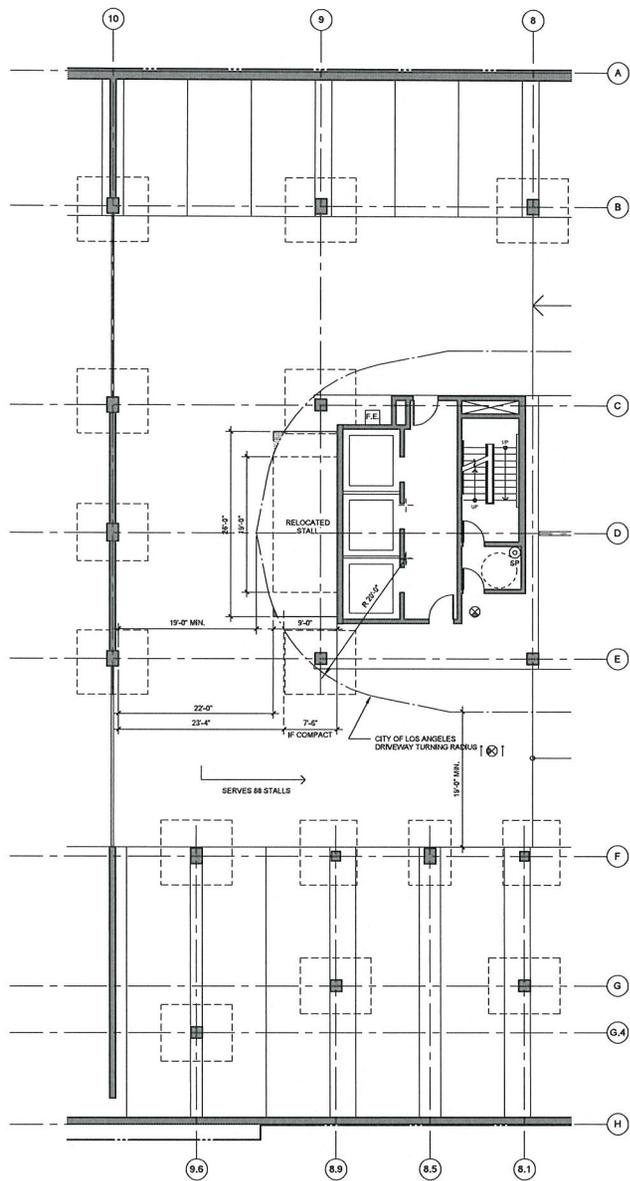
SHEET NO. **A2.01**  
**SITE PLAN**



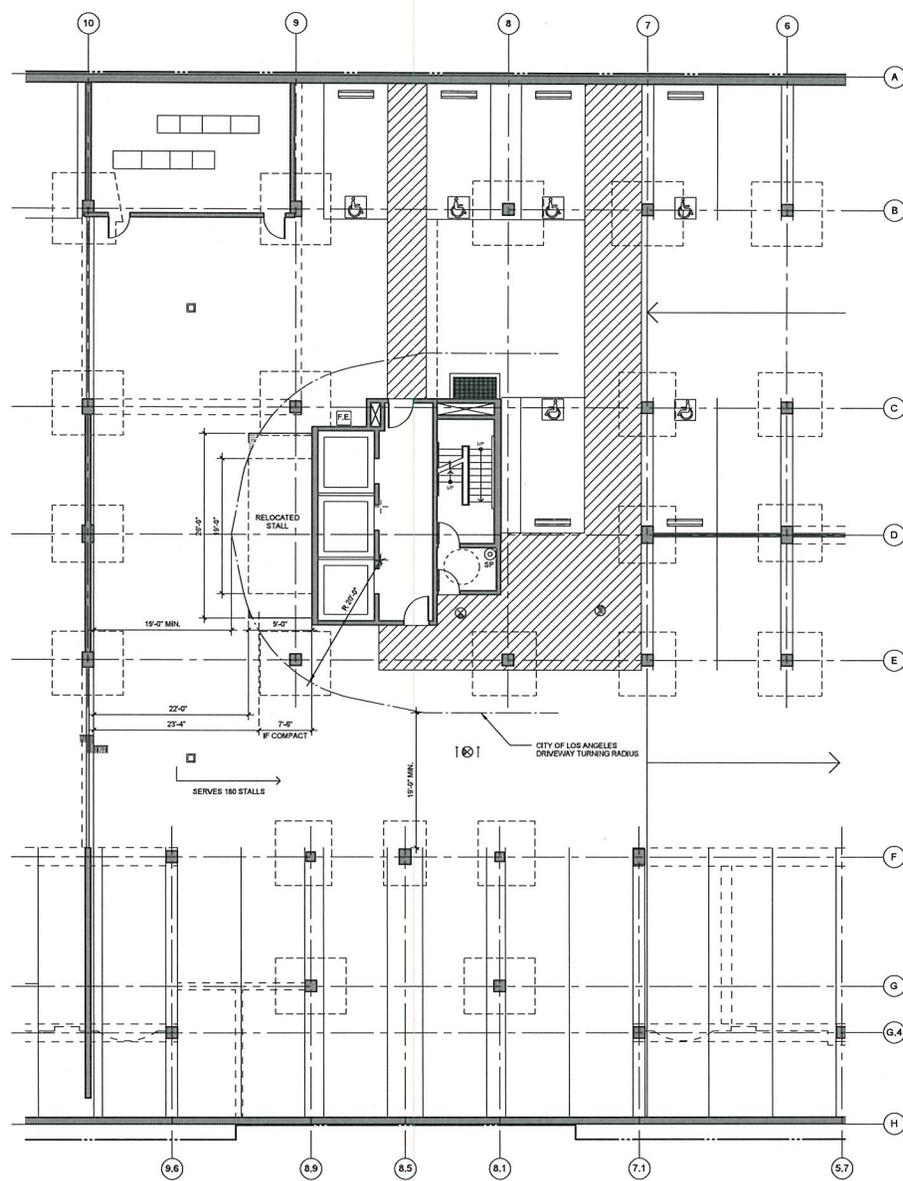
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**ENLARGED PLAN - PARKING LEVEL 4** 2  
 1/16" = 1'-0" | 0 4' 8' 16'



**ENLARGED PLAN - PARKING LEVEL 3** 1  
 1/16" = 1'-0" | 0 4' 8' 16'

**LEGEND**

-  (E) WALL
-  (N) WALL

**KEY PLAN**



**PROJECT NO.**

**1201**

**PROJECT TITLE**

**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

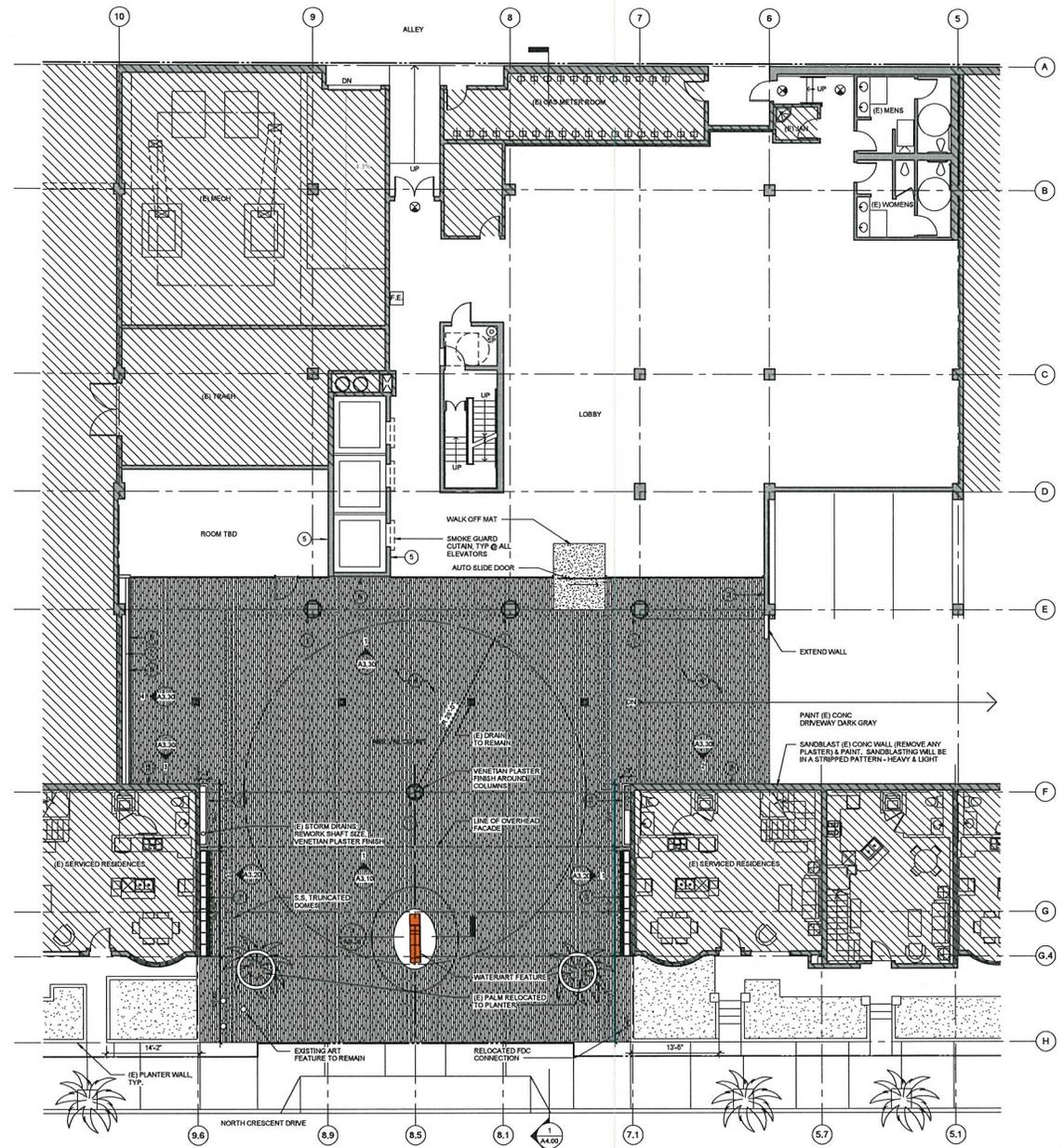
**SHEET NO.**

**A2.21**  
**LOWER FLOOR PLANS**

**ISSUE**  
**ARCHITECTURAL REVIEW**  
**SUBMISSION**

04/02/12

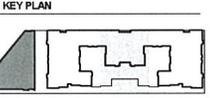
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**MATERIAL LEGEND**

- 1 VENETIAN PLASTER FINISH - WHITE
- 2 VENETIAN PLASTER FINISH - DARK GRAY
- 3 GREEN LIMING WALL
- 4 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BASALT BLACK
- 5 1/2" STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
- 6 1/2" THK. PERF. CEMENT BOARD PANEL - MATEE FINISH
- 7 1/4" THK. TRANSLUCENT ACRYLIC
- 8 1/2" THK. PERF. CEMENT BOARD PANEL - ROUGH FINISH
- 9 TYP. TOWNHOUSE BASE PAINT - KENDALL CHARCOAL BM-HC-106
- 10 TYP. METAL ACCENTS - COVENTRY GRAY BM-HC169
- 11 PAINT TO MATCH (E) STUCCO - DISTANT GRAY BM-OC-58
- 12 ART FEATURE - TANGELO BM-2017-30
- 13 EXTERIOR GLASS SYSTEM W/ BUTT-JOINT VERTICAL MULLIONS & RECESSED CHANNELS @ FLOOR & CEILING
- 14 MIDNIGHT BRONZE KYMAR FINISH
- 15 SATIN SILVER ALUMINUM, TYP. SIGNAGE

- LEGEND**
- (E) WALL
  - (H) WALL



PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

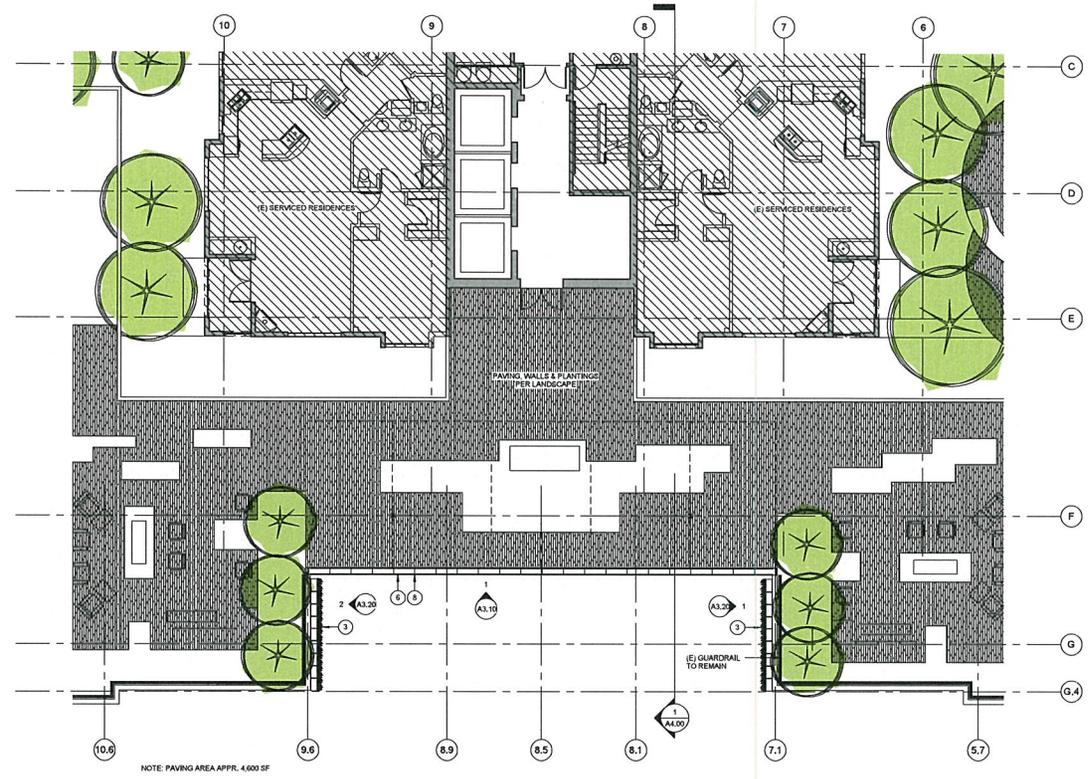
SHEET NO.  
**A2.22**  
**GROUND FLOOR PLAN**

ISSUE  
**ARCHITECTURAL REVIEW SUBMISSION**  
 04/02/12

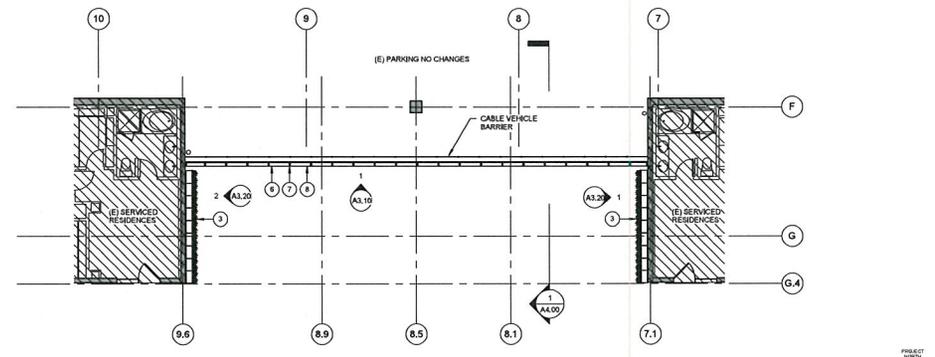
**LOBBY / ARRIVAL COURT 1**  
 1/8" = 1'-0" 0 4 8 16'

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**ENLARGED PLAN - FIRST FLOOR / PODIUM LOBBY** 2  
 1/16" = 1'-0" 0 4 8 12' PROJECT NORTH



**ENLARGED PLAN - PARKING LEVEL 1** 1  
 1/16" = 1'-0" 0 4 8 12' PROJECT NORTH

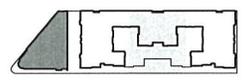
**MATERIAL LEGEND**

- 1 VENETIAN PLASTER FINISH - WHITE
- 2 VENETIAN PLASTER FINISH - DARK GRAY
- 3 GREEN LIVING WALL
- 4 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BASALT BLACK
- 5 1/2" STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
- 6 1/2" THK. PERF. CEMENT BOARD PANEL - MATTE FINISH
- 7 1/4" THK. TRANSLUCENT ACRYLIC
- 8 1/2" THK. PERF. CEMENT BOARD PANEL - ROUGH FINISH
- 9 TYP. TOWNHOME BASE PAINT - KENDALL CHARCOAL BM-105
- 10 TYP. METAL ACCENTS - COVENTRY GRAY BM-1C19
- 11 PAINT TO MATCH (E) STUCCO - DISTANT GRAY BM-0C-68
- 12 ART FEATURE - TANGILO BM-2017-20
- 13 EXTERIOR GLASS SYSTEM W/ BUTT-JOINT VERTICAL MULLIONS & RECESSED CHANNELS @ FLOOR & CEILING
- 14 MIDNIGHT BRONZE KYNAR FINISH
- 15 SATIN SILVER ALUMINUM, TYP. SIGNAGE

**LEGEND**

- (E) WALL
- (N) WALL

**KEY PLAN**



PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A2.23**  
**UPPER FLOOR PLANS**

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**ARCHITECTURAL REVIEW SUBMISSION**  
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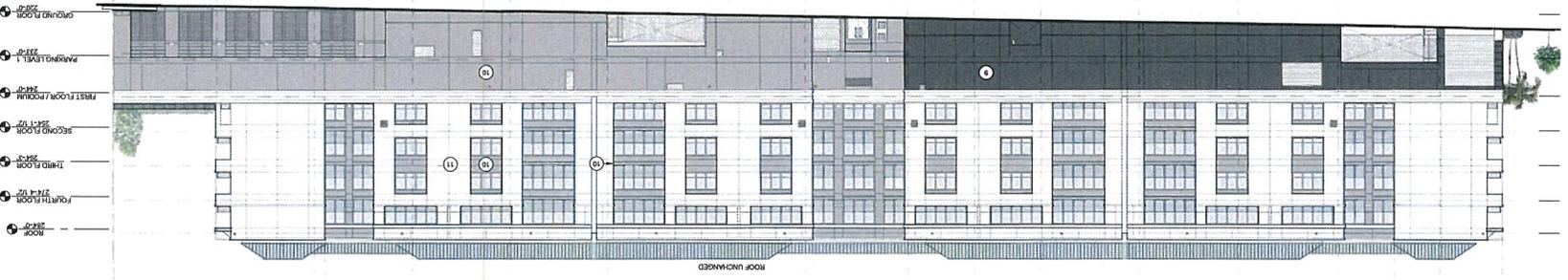
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**MATERIAL LEGEND**

- 1 VEGITAN PLASTER FINISH - WHITE
- 2 VEGITAN PLASTER FINISH - DARK GRAY
- 3 GREEN UNPAINTED
- 4 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BLACK
- 5 1/2" STACKED GRANITE - ASHFORD WHITE & BLACK
- 6 MATTE FINISH
- 7 1/2" THK. TRANSLUCENT ACRYLIC
- 8 1/2" THK. PERPET. CEMENT BOARD PANEL - ROUGH FINISH
- 9 1/2" THK. PERPET. CEMENT BOARD PANEL - SMOOTH FINISH
- 10 CHROMALUM. BM HC-188
- 11 TYP. METAL ACCENTS - COVENTRY GRAY BM HC-188
- 12 PAINT TO MATCH (E) STUCCO - DISTANT GRAY BM OC-68
- 13 ART FEATURE - TANGLO BM-2011-00
- 14 EXTENSION GLASS SYSTEM W/ BUTT-JOINT @ FLOOR & CEILING
- 15 VERTICAL MULLIONS & RECESSED CHANNELS
- 16 ROUGHNIT BRONZE KHMAR FINISH
- 17 SAINI SILVER ALUMINUM, TYP. SIGNAGE

PROJECT NO. **1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210  
 SHEET NO. **A3.00**  
 COLOR ELEVATIONS

ISSUE  
 ARCHITECTURAL REVIEW  
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**1 RENDERED ELEVATION - ALLEY**

1/32" = 1'-0" | 0 8 16 32'



**2 RENDERED ELEVATION - CLIFTON WAY**

1/32" = 1'-0" | 0 8 16 32'



**3 RENDERED ELEVATION - EAST SIDE**

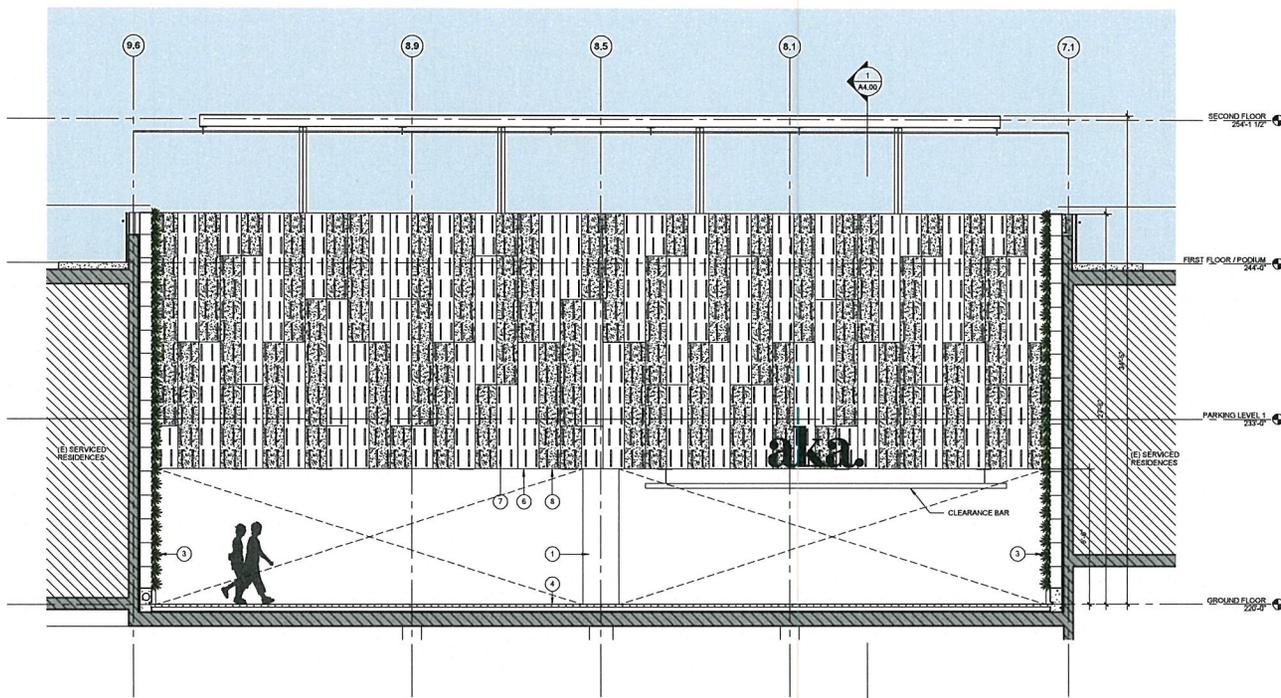
1/32" = 1'-0" | 0 8 16 32'



**4 RENDERED ELEVATION - CRESCENT DRIVE**

1/32" = 1'-0" | 0 8 16 32'

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**MATERIAL LEGEND**

- ① VENETIAN PLASTER FINISH - WHITE
- ② VENETIAN PLASTER FINISH - DARK GRAY
- ③ GREEN LIVING WALL
- ④ 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BASALT BLACK
- ⑤ 1/2" STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
- ⑥ 1/2" THK. PERF. CEMENT BOARD PANEL - MATTE FINISH
- ⑦ 1/4" THK. TRANSLUCENT ACRYLIC
- ⑧ 1/2" THK. PERF. CEMENT BOARD PANEL - ROUGH FINISH
- ⑨ TYP. TOWNHOME BASE PAINT - KENDALL CHARCOAL BM-1C-166
- ⑩ TYP. METAL ACCENTS - COVENTRY GRAY BM-1610
- ⑪ PAINT TO MATCH (E) STUCCO - DISTANT GRAY BM-0C-68
- ⑫ ART FEATURE - TANGILO BM-2017-30
- ⑬ EXTERIOR GLASS SYSTEM W/ BUTT-JOINT VERTICAL MULLIONS & RECESSED CHANNELS @ FLOOR & CEILING
- ⑭ MIDNIGHT BRONZE KYMAR FINISH
- ⑮ SATIN SILVER ALUMINUM, TYP. SIGNAGE

**LEGEND**

- (E) WALL
- (N) WALL

**KEY PLAN**



PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210  
 SHEET NO.

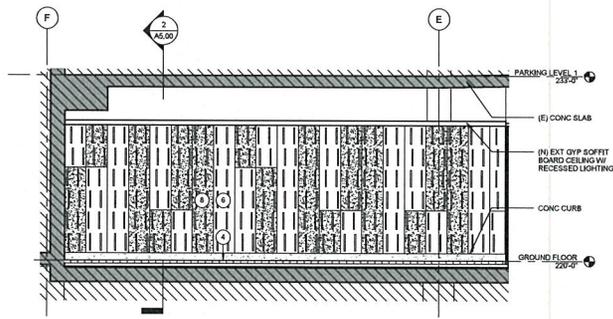
**A3.10**

**ENLARGED ELEVATIONS**

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 04/02/12

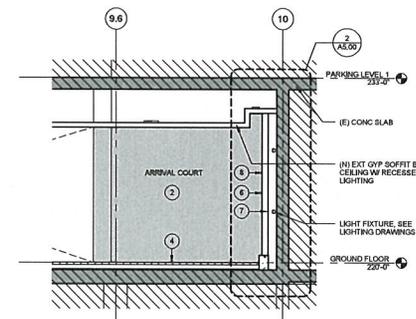
**PARKING FACADE - ELEVATION ①**  
 1/8" = 1'-0" | 0 2 4 8





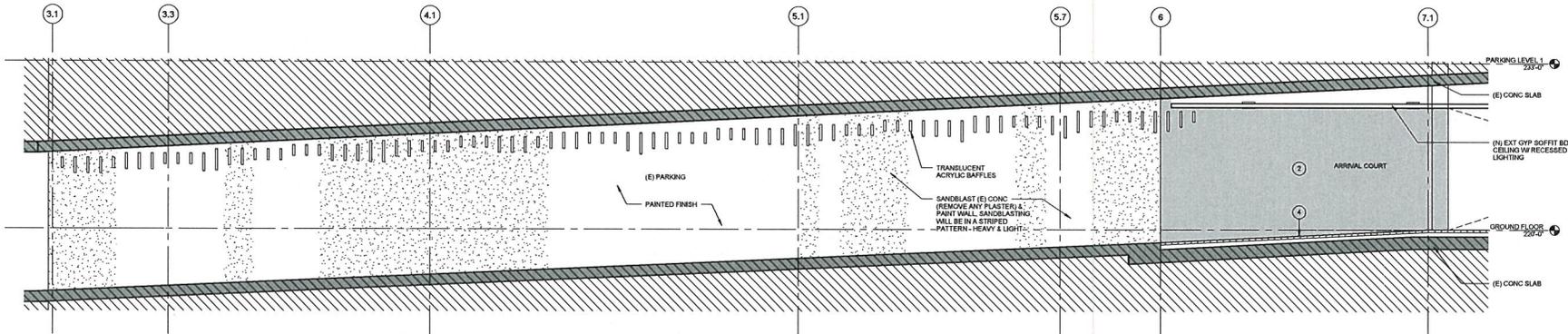
ENLARGED ELEVATION - FEATURE WALL (4)

1/8" = 1'-0" | 0 2' 4' 8"



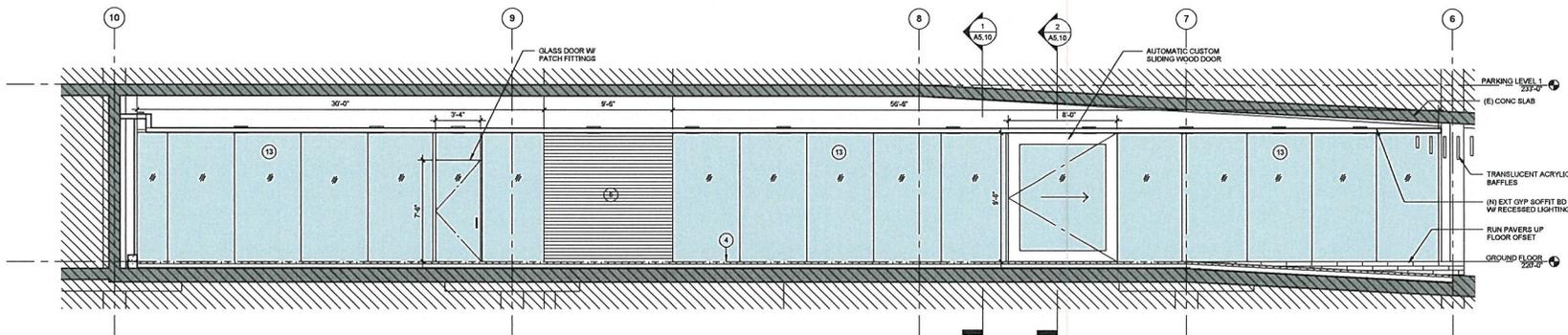
ENLARGED ELEVATION - GARAGE INTERIOR (3)

1/8" = 1'-0" | 0 2' 4' 8"



ENLARGED ELEVATION - GARAGE INTERIOR (2)

1/8" = 1'-0" | 0 2' 4' 8"



ENLARGED ELEVATION - MAIN LOBBY ENTRANCE (1)

1/8" = 1'-0" | 0 2' 4' 8"

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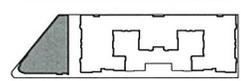
**MATERIAL LEGEND**

- 1 VENETIAN PLASTER FINISH - WHITE
- 2 VENETIAN PLASTER FINISH - DARK GRAY
- 3 GREEN LIMING WALL
- 4 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BASALT BLACK
- 5 1/2" STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
- 6 1/2" THK. PERF. CEMENT BOARD PANEL - MATTIE FINISH
- 7 1/4" THK. TRANSLUCENT ACRYLIC
- 8 1/2" THK. PERF. CEMENT BOARD PANEL - ROUGH FINISH
- 9 TYP. TOWNHOME BASE PAINT - KENDALL CHARCOAL, BM HC-166
- 10 TYP. METAL ACCENTS - COVENTRY GRAY BM, HC-169
- 11 PAINT TO MATCH (E) STUCCO - DYSTANT GRAY BM, OC-68
- 12 ART FEATURE - TANGLO BM, 2017-30
- 13 EXTERIOR GLASS SYSTEM W/ BUTT-JOINT VERTICAL MULLIONS & RECESSED CHANNELS @ FLOOR & CEILING
- 14 MIDNIGHT BRONZE KYNAR FINISH
- 15 SATIN SILVER ALUMINUM, TYP. SIGNAGE

**LEGEND**

- (E) WALL
- (N) WALL

**KEY PLAN**



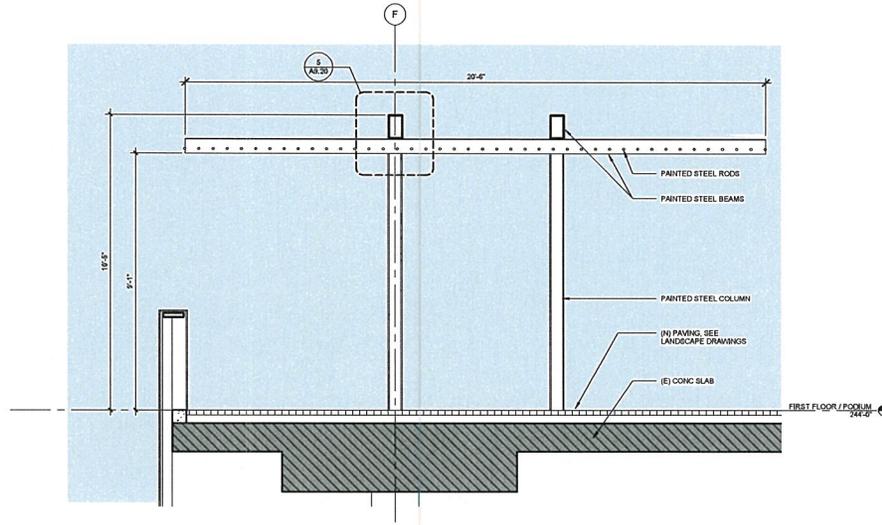
PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A3.30**

**ENLARGED ELEVATIONS**

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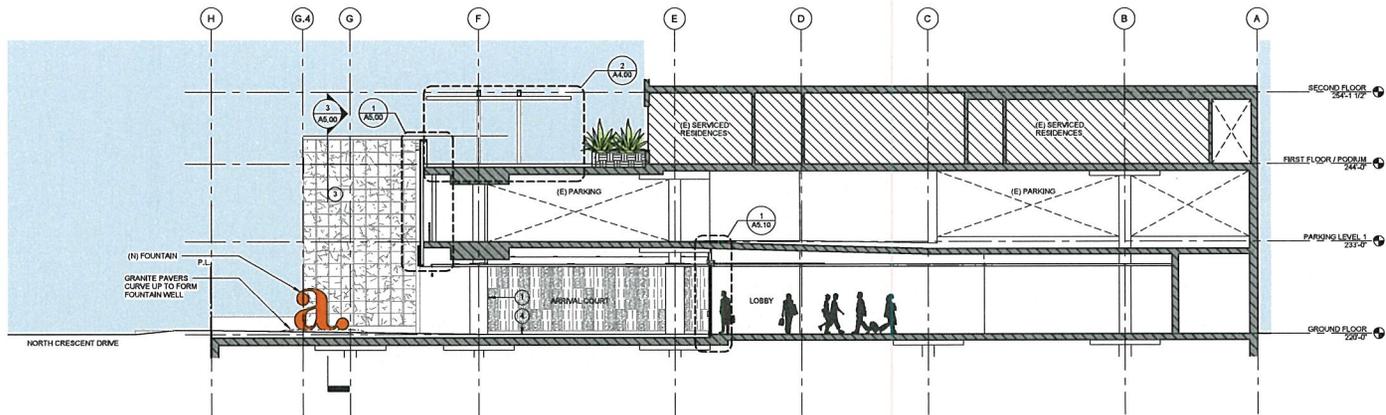
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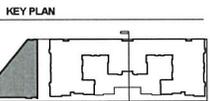
**SECTION - TRELLIS 2**  
 1/4" = 1'-0" | 0 1 2 4

**MATERIAL LEGEND**

- 1 VENETIAN PLASTER FINISH - WHITE
- 2 VENETIAN PLASTER FINISH - DARK GRAY
- 3 GREEN LIVING WALL
- 4 4" x 12" GRANITE PAVERS - ASHFORD WHITE & BASALT BLACK
- 5 1/2" STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
- 6 1/2" THK. PERF. CEMENT BOARD PANEL - MATTIE FINISH
- 7 1/4" THK TRANSLUCENT ACRYLIC
- 8 1/2" THK. PERF. CEMENT BOARD PANEL - ROUGH FINISH
- 9 TYP. TOWNSHIP BASE PAINT - KENDALL CHARCOAL BM-10-156
- 10 TYP. METAL ACCENTS - COVENTRY GRAY BM: HC169
- 11 PAINT TO MATCH (E) STUCCO - DISTANT GRAY BM: OC-68
- 12 ART FEATURE - TANGELO BM: 2017-30
- 13 EXTERIOR GLASS SYSTEM W/ BUTT-JOINT VERTICAL MULLIONS & RECESSED CHANNELS @ FLOOR & CEILING
- 14 MIDNIGHT BRONZE KYHAR FINISH
- 15 SATIN SILVER ALUMINUM, TYP SIGNAGE



**SECTION - ARRIVAL COURT / LOBBY 1**  
 1/16" = 1'-0" | 0 2 4 16



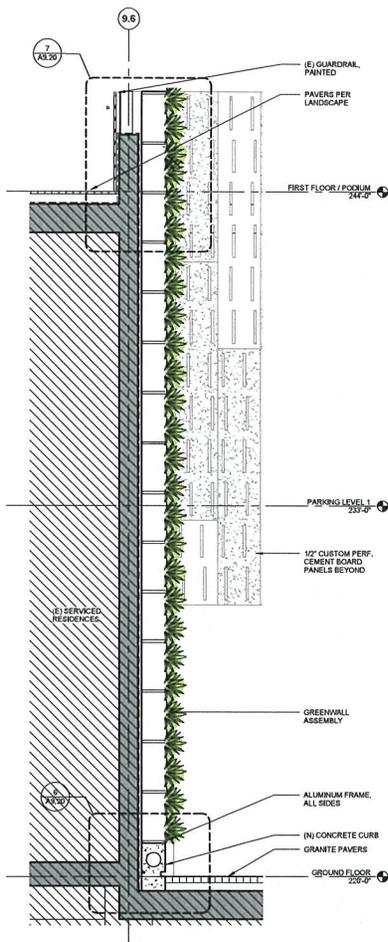
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**1201**

PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

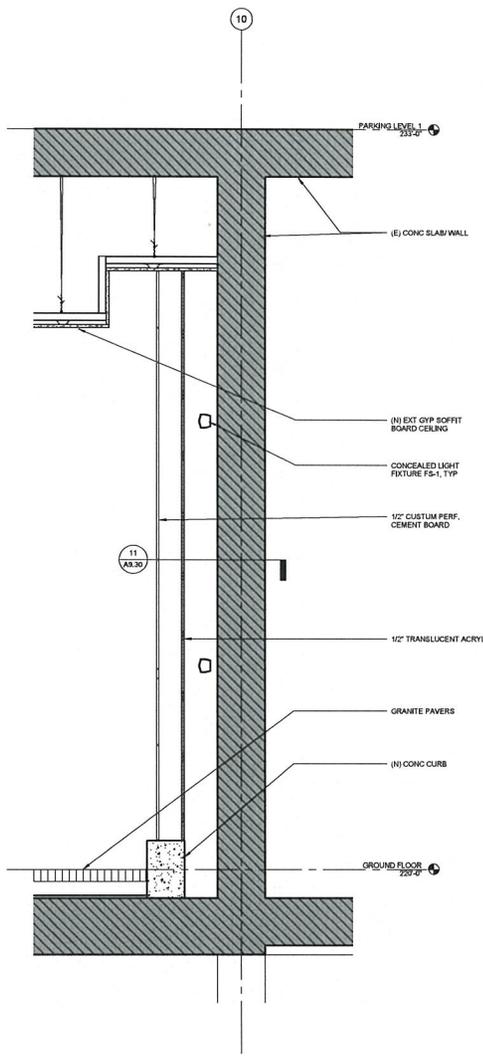
SHEET NO.  
**A4.00**

**BUILDING SECTIONS**

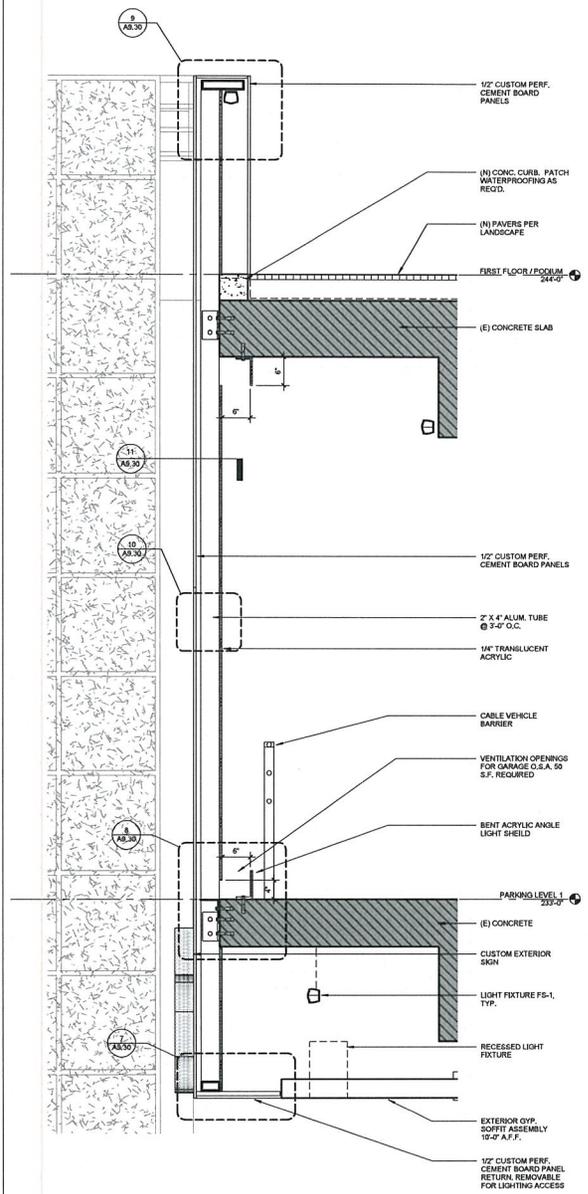
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**GREEN WALL** 3  
 1/4" = 1'-0" | 0 1 2 4



**PERFORATED WALL PANEL** 2  
 1/2" = 1'-0" | 0 1 2



**ARRIVAL COURT FACADE** 1  
 1/2" = 1'-0" | 0 1 2

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**LEGEND**

	(E) WALL
	(N) WALL

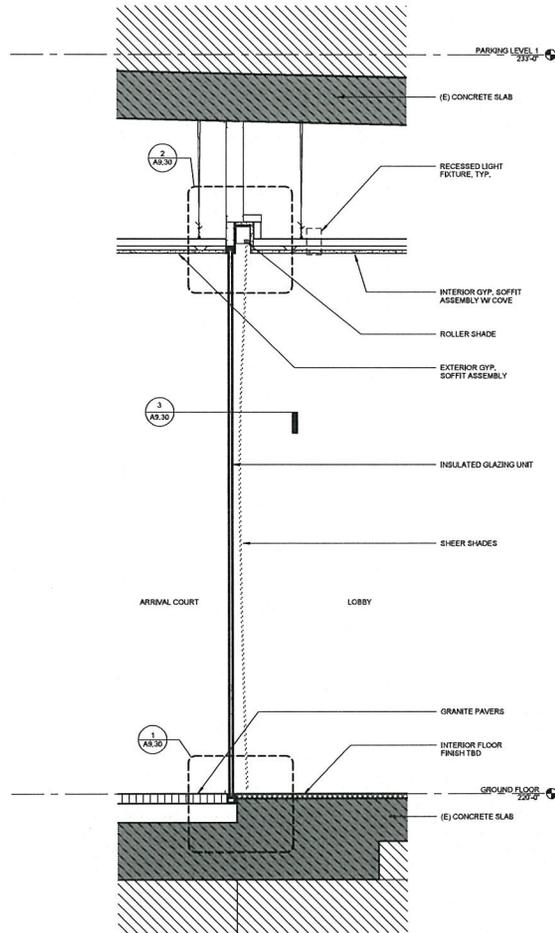
PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A5.00**  
**WALL SECTIONS**

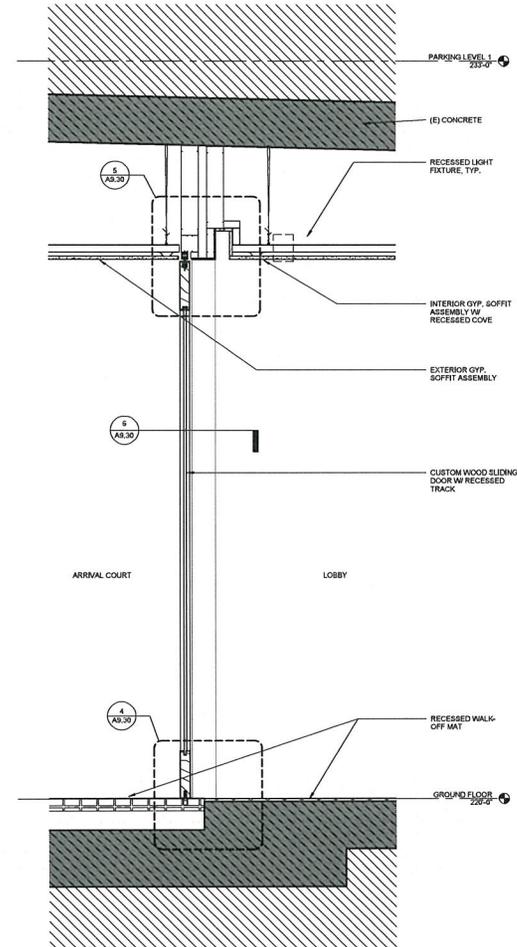
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GLAZING @ ENTRANCE 2  
 1/2" = 1'-0" | 0 6" 1' 2"



LOBBY ENTRANCE 1  
 1/2" = 1'-0" | 0 6" 1' 2"

LEGEND

-  (E) WALL
-  (N) WALL

PROJECT NO.

**1201**

PROJECT TITLE

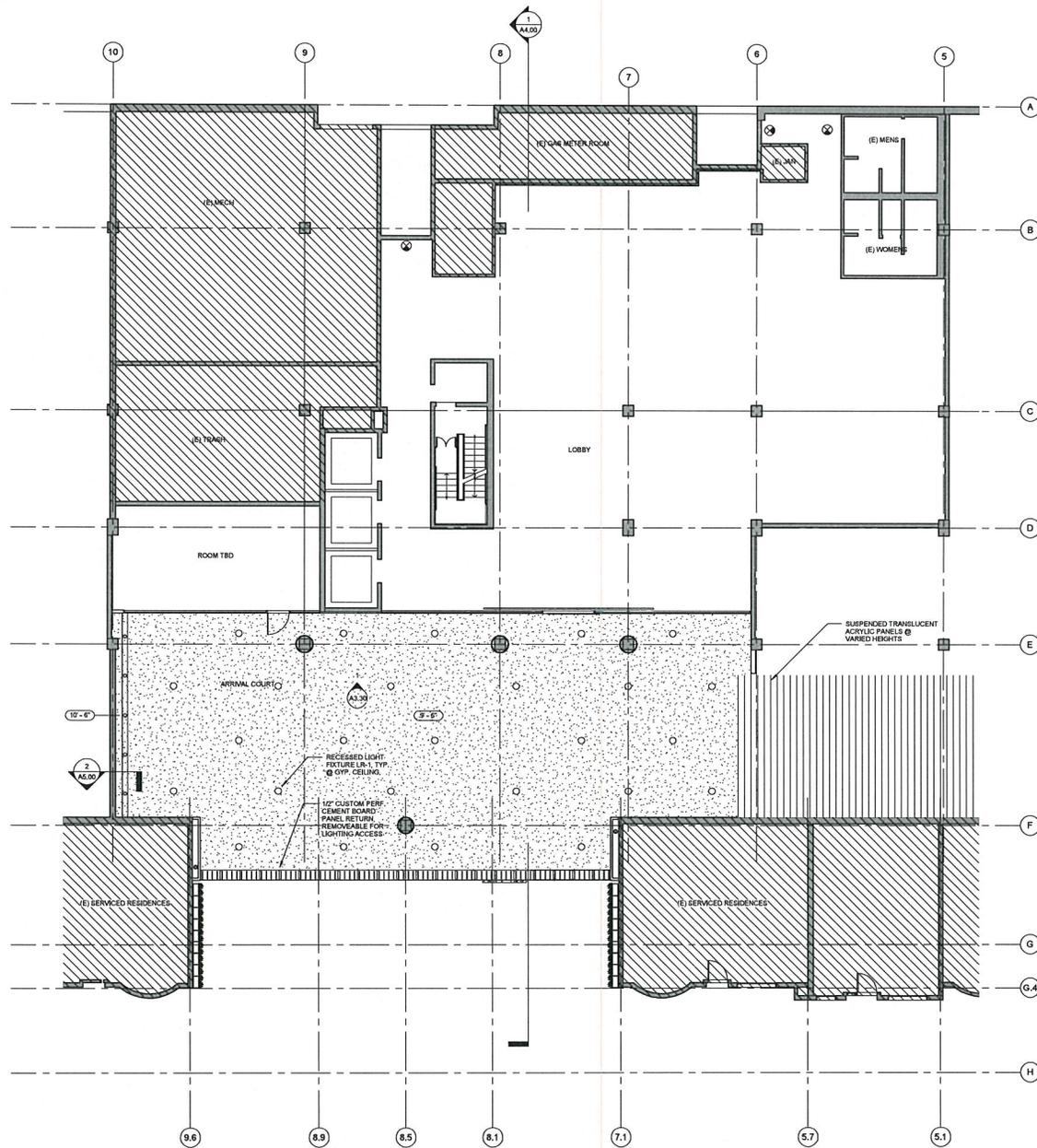
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.

**A5.10**  
**WALL SECTIONS**

ISSUE  
**ARCHITECTURAL REVIEW  
 SUBMISSION**

04/02/12



**KoningEizenbergArchitecture**  
 1454 25th St, Santa Monica, CA 90404  
 310.828.6131 info@kearch.com  
 310.828.0719 fax www.kearch.com

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**LEGEND**

- 6" RECESSED LIGHT
- 12" RECESSED LIGHT

PROJECT NO.  
**1201**  
 PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A8.01**  
**REFLECTED CEILING PLAN**

ISSUE  
**ARCHITECTURAL REVIEW SUBMISSION**  
 04/02/12

**ENLARGED RCP - ARRIVAL COURT 1**  
 1/16" = 1'-0" 0 4' 8' 16'





**MATERIAL LEGEND**

1. VENETIAN PLASTER FINISH - WHITE
2. VENETIAN PLASTER FINISH - DARK GRAY
3. GREEN LIVING WALL
4. 4" X 12" GRANITE PAVES - ASHFORD WHITE & BASALT BLACK
5. 1/2" THK. STACKED GRANITE - ASHFORD WHITE & BASALT BLACK
6. 1/2" THK. PERE CEMENT BOARD PANEL - MATTE FINISH
7. 1/4" THK. TRANSLUCENT ACRYLIC
8. 1/2" THK. PERE CEMENT BOARD PANEL - ROUGH FINISH
9. TYP. TOWNHOME BASE PAINT - KENDALL CHARCOAL BM-1C-166
10. TYP METAL ACCENTS - COVENTRY GRAY BM-1C-188
11. PAINT TO MATCH (IE) STUCCO - DISTANT GRAY BM-0C-68
12. ART FEATURE - TANGALO BM-2037-30
13. WHITE ASHFORD GRANITE
14. BASALT BLACK GRANITE
15. MIDNIGHT BRONZE KYUM FINISH
16. SATIN SILVER ALUMINUM, TYP SIGNAGE

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PROJECT NO.  
**1201**

PROJECT TITLE  
**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.  
**A9.40**

**MATERIAL BOARD**

ISSUE  
**ARCHITECTURAL REVIEW  
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 04/02/12



1 CLEARANCE BAR

2 BUSINESS ID OUTPOST

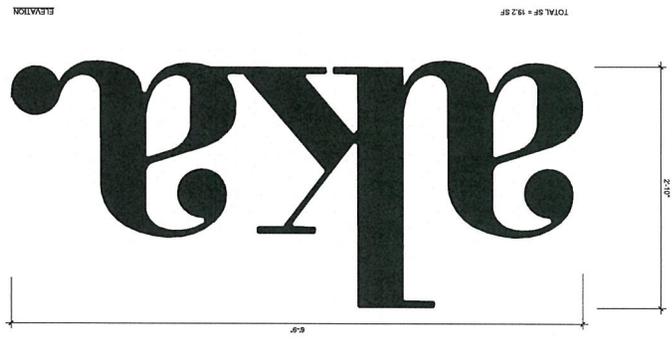
3 COMMERCIAL PARKING ENTRANCE

4 RESIDENTIAL PARKING ENTRANCE

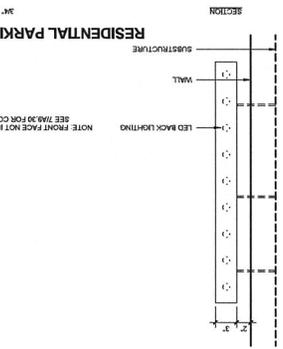
5 PLAQUE @ LOBBY ENTRANCE

6 ADDRESS LETTERING

CUTPOST SIGN ON PROPERTY AT CRESCENT & WILSHIRE



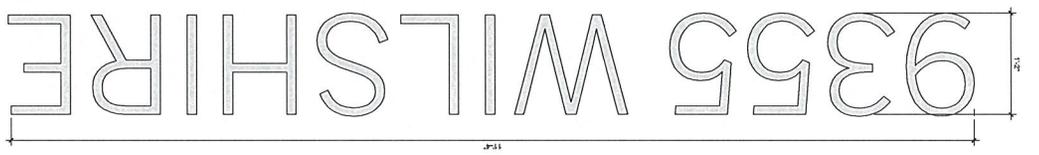
TOTAL SF = 19.2 SF



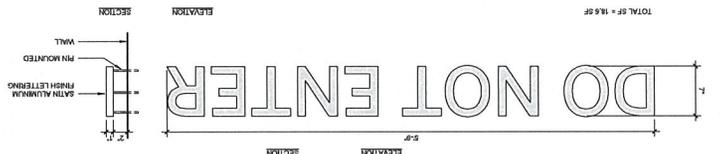
TOTAL SF = 18.2 SF



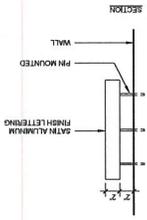
TOTAL SF = 8.4 SF



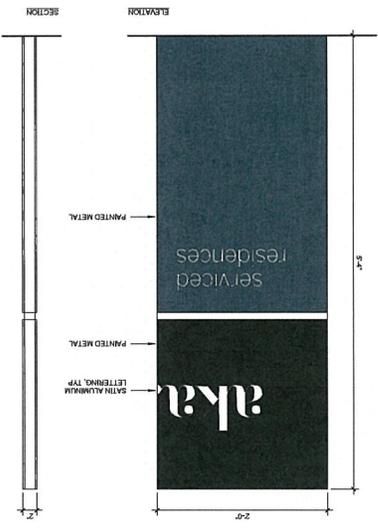
EXISTING SIGN TO BE REPLACED



TOTAL SF = 18.6 SF

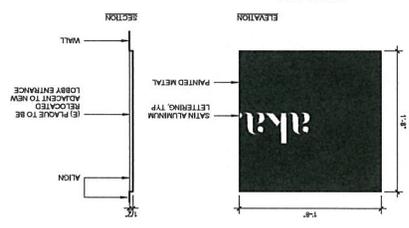


4 COMMERCIAL PARKING ENTRANCE



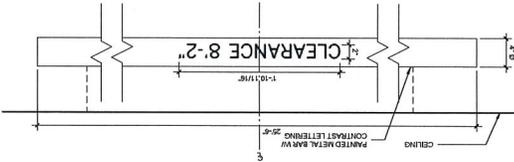
TOTAL SF = 10.66 SF

1 BUSINESS ID OUTPOST



TOTAL SF = 2.8 SF

2 (E) PLAQUE @ LOBBY ENTRANCE



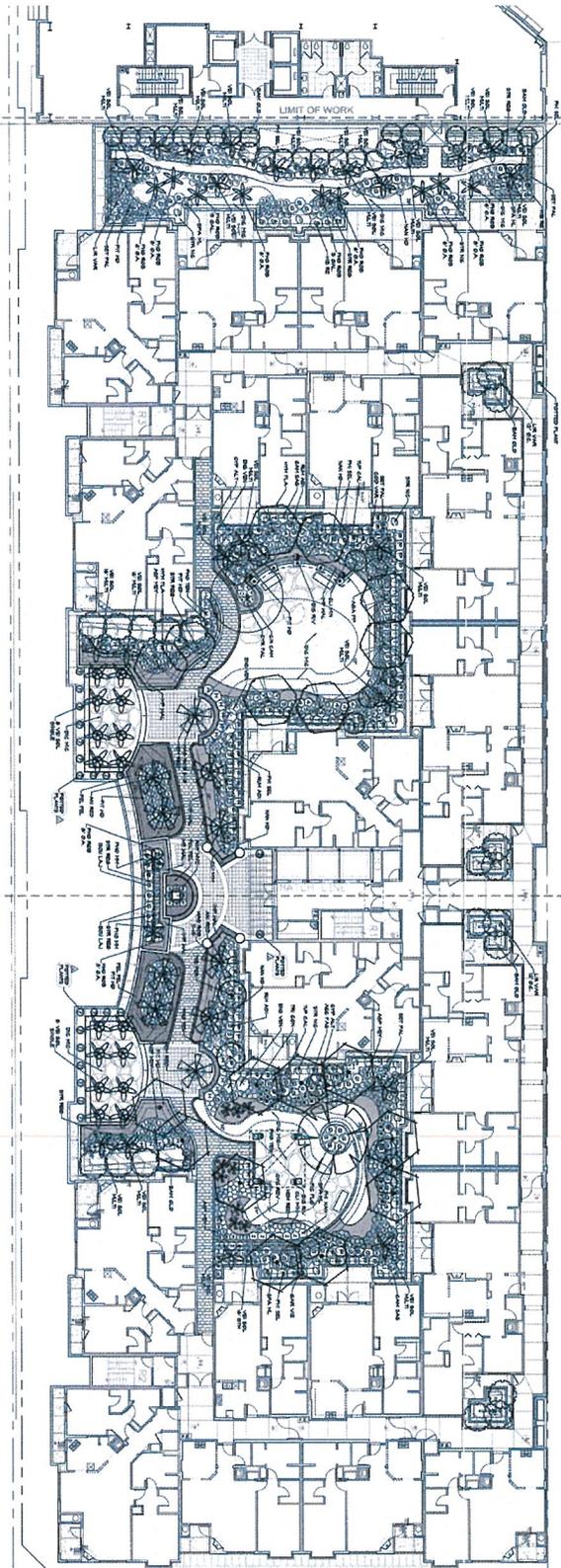
3 CLEARANCE BAR

PROJECT NO. 1201  
PROJECT TITLE AKA BEVERLY HILLS  
155 NORTH CRESCENT DRIVE  
BEVERLY HILLS, CA 90210  
SHEET NO. SIGNAGE  
A10.00  
ISSUE ARCHITECTURAL REVIEW  
SUBMISSION 04/02/12

KonigEzenbergArchitecture  
1454 25th St. Santa Monica, CA 90404  
310.828.6131 info@konig.com  
310.828.0719 fax www.konig.com

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**KonigEzpenbergArchitecture**  
 1454 25th St, Santa Monica, CA 90404  
 310.828.8131 info@kearch.com  
 310.828.0779 fax www.kearch.com

**PROJECT TEAM**

**OWNER**  
 2008 Beverly Hills  
 Beverly Hills, CA 90210  
 310.552.1881  
 310.552.1881 fax  
 owner@2008bh.com

**ARCHITECT**  
 KonigEzpenberg Architecture, Inc.  
 1454 25th Street, Santa Monica, CA 90404  
 310.828.0779 fax  
 310.828.0779 fax  
 info@kearch.com  
 kearch.com

**BURTON & COMPANY**

**Principal**  
 Pamela Burton & Company  
 Landscape Architecture  
 1420 Olympic Boulevard  
 Santa Monica, California 90404  
 310.828.8242 F  
 www.pamelaburton.com

PROJECT NO. **1201**

PROJECT TITLE  
**AKA BEVERLY HILLS**  
 175 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.

**L1.1**

**Podium Level**  
 Existing  
 Conditions

SCALE  
 ARCHITECTURAL REVIEW  
 SUBMISSION  
 04/06/12



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**PROJECT TEAM**

**CLIENT**  
 AKA Beverly Hills  
 155 North Crescent Drive  
 Beverly Hills, CA 90210  
 (310) 365-1924  
 (310) 365-1981 fax  
 David Fialta  
 dfialta@akagroup.com

**ARCHITECT**  
 Koning Eizenberg Architecture Inc.  
 1454 25th Street  
 Santa Monica, CA 90404  
 (310) 828-6131  
 (310) 828-0719 fax  
 Mike Koning, Principal  
 Mike@ksearch.com  
 Brian Lene, Principal  
 blene@ksearch.com

**BURTON & COMPANY**

**Pamela Burton & Company**  
 Landscape Architecture  
 1430 Olympic Boulevard  
 Santa Monica, California 90404  
 310 828 6373 F  
 310 828 8054 F  
 www.pamelaburtonco.com



**LANDSCAPE KEY**

- ① New shrubs and groundcovers in existing planters, typical.
- ② Green wall at entry court
- ③ Existing palm tree in new planter
- ④ New entry court paving signage
- ⑤ Existing sculpture
- ⑥ Existing parkway
- ⑦ Existing evergreen tree

**PLANTING LEGEND**

- |   |   |   |   |
|---|---|---|---|
|  | <b>EXISTING EVERGREEN TREE</b><br><i>Tristania conferta</i> - Brisbane box<br><i>Hymenosporum flavum</i> - Sweetshade |  | <b>EXISTING PALM</b><br><i>Archontophoenix sp.</i> - King Palm            |
|  | <b>EXISTING STREET TREE</b><br><i>Washingtonia filifera</i> - California fan palm                                     |  | <b>EXISTING STREET TREE</b><br><i>Callistemon viminalis</i> - Bottlebrush |
|  | <b>TRANSPLANTED PALM</b><br><i>Phoenix canariensis</i> - Date palm  |   |   |

**PLANT LIST**

- |   |   |
|---|---|
|  | <b>SUCCULENT/GROUNDCOVER MIX</b> <ul style="list-style-type: none"> <li>• <i>Echeveria elegans</i> - Hen and chicks - 1 GAL, 5 GAL</li> <li>• <i>Senecio mandraliscae</i> - Blue chalk sticks - 1 GAL</li> <li>• <i>Agave sp.</i> - Agave - 1 GAL, 5 GAL</li> </ul> |
|  | <b>LAWN</b> <ul style="list-style-type: none"> <li>• Marathon Sod</li> </ul>  |

PROJECT NO.

**1201**

PROJECT TITLE

**AKA BEVERLY HILLS**  
 155 NORTH CRESCENT DRIVE  
 BEVERLY HILLS, CA 90210

SHEET NO.

**L2.0**

**Landscape Plan**

ISSUE  
**ARCHITECTURAL REVIEW SUBMISSION**  
 04/06/12

