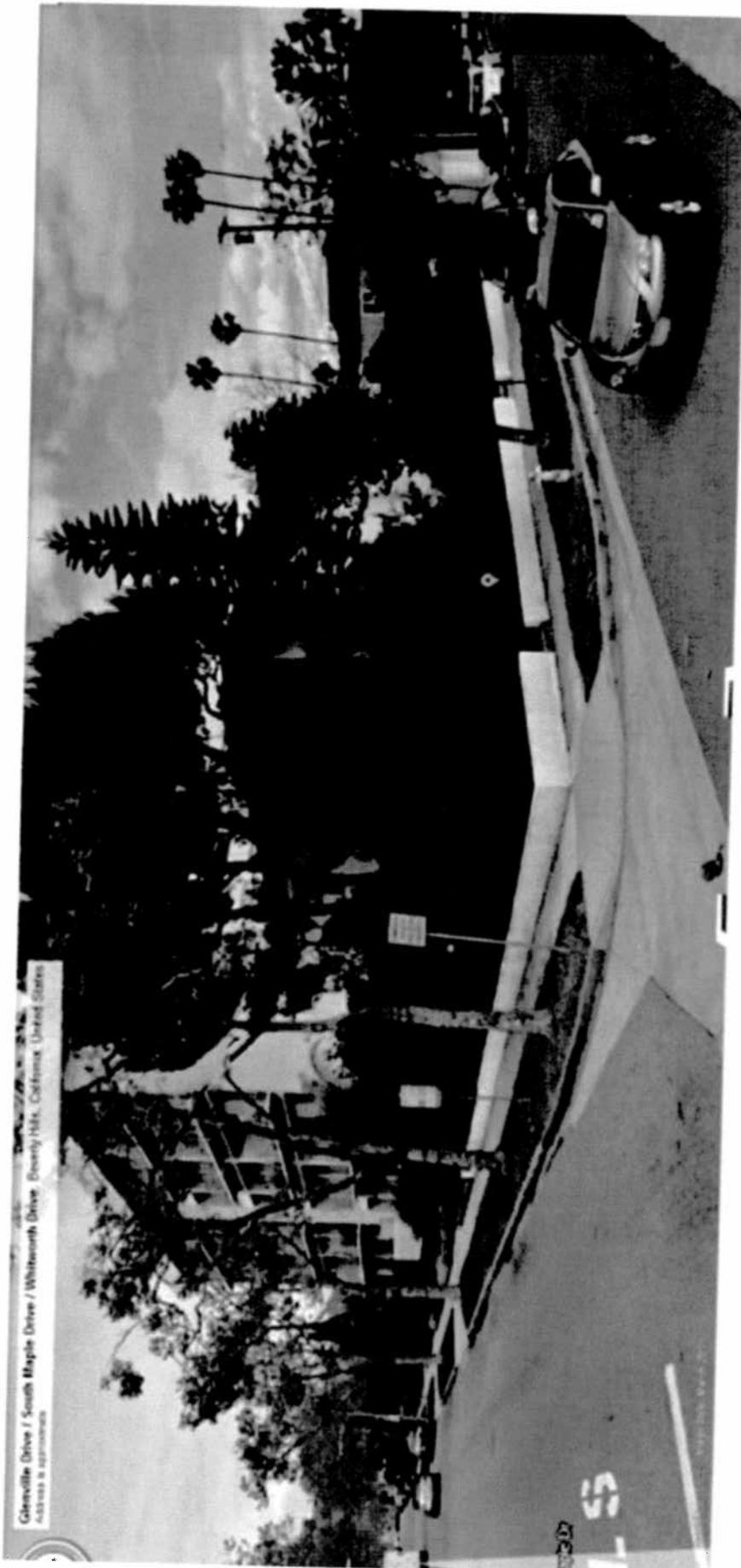
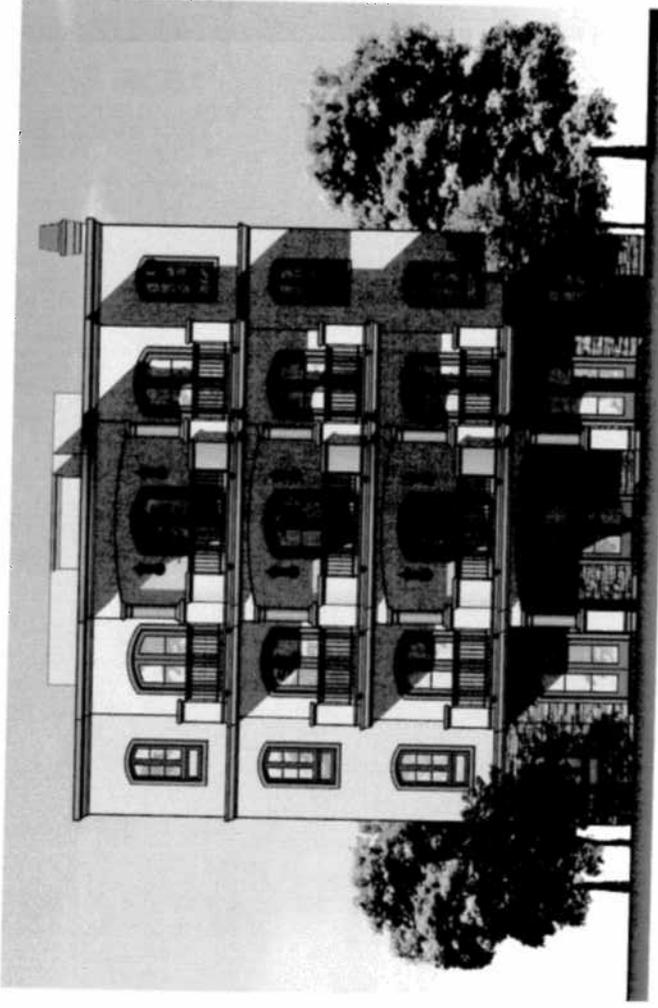


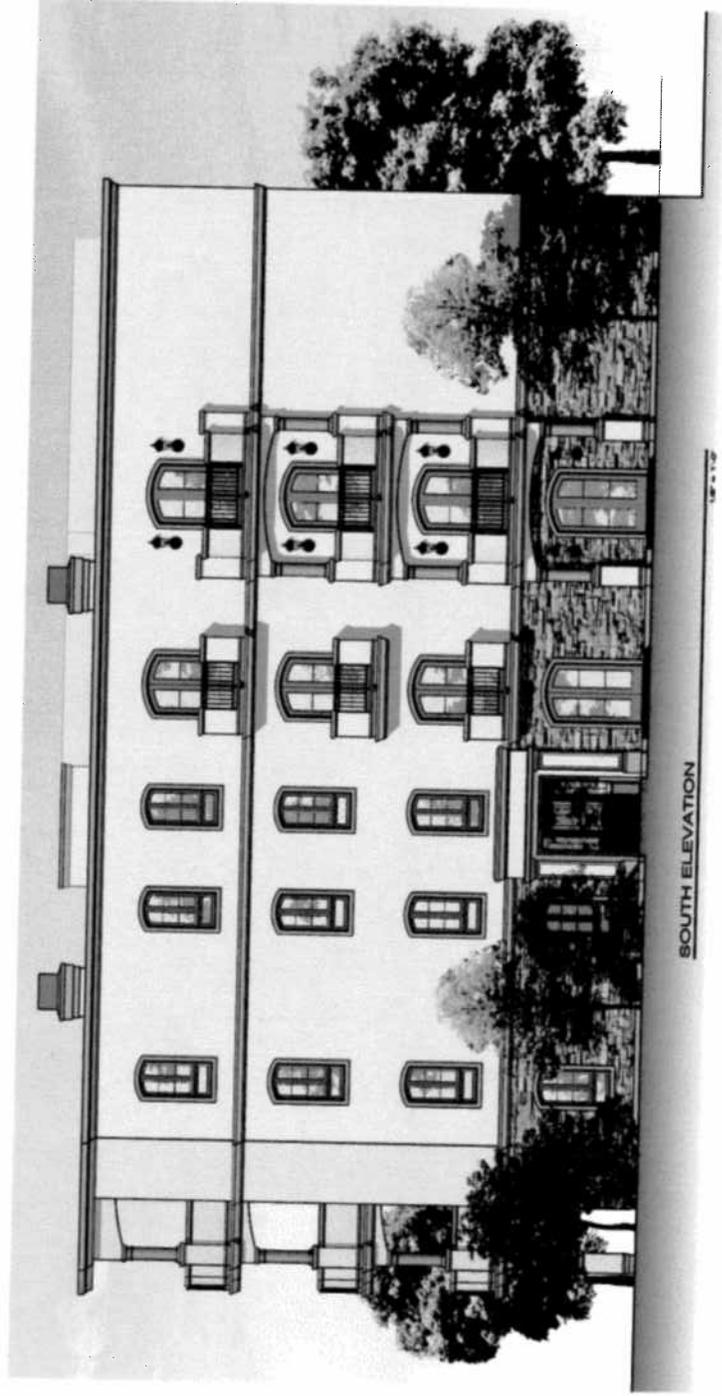
9221 Whitworth Drive (aka 462 South Maple Drive
EXISTING SITE



PROPOSED ELEVATIONS 2/15/2012



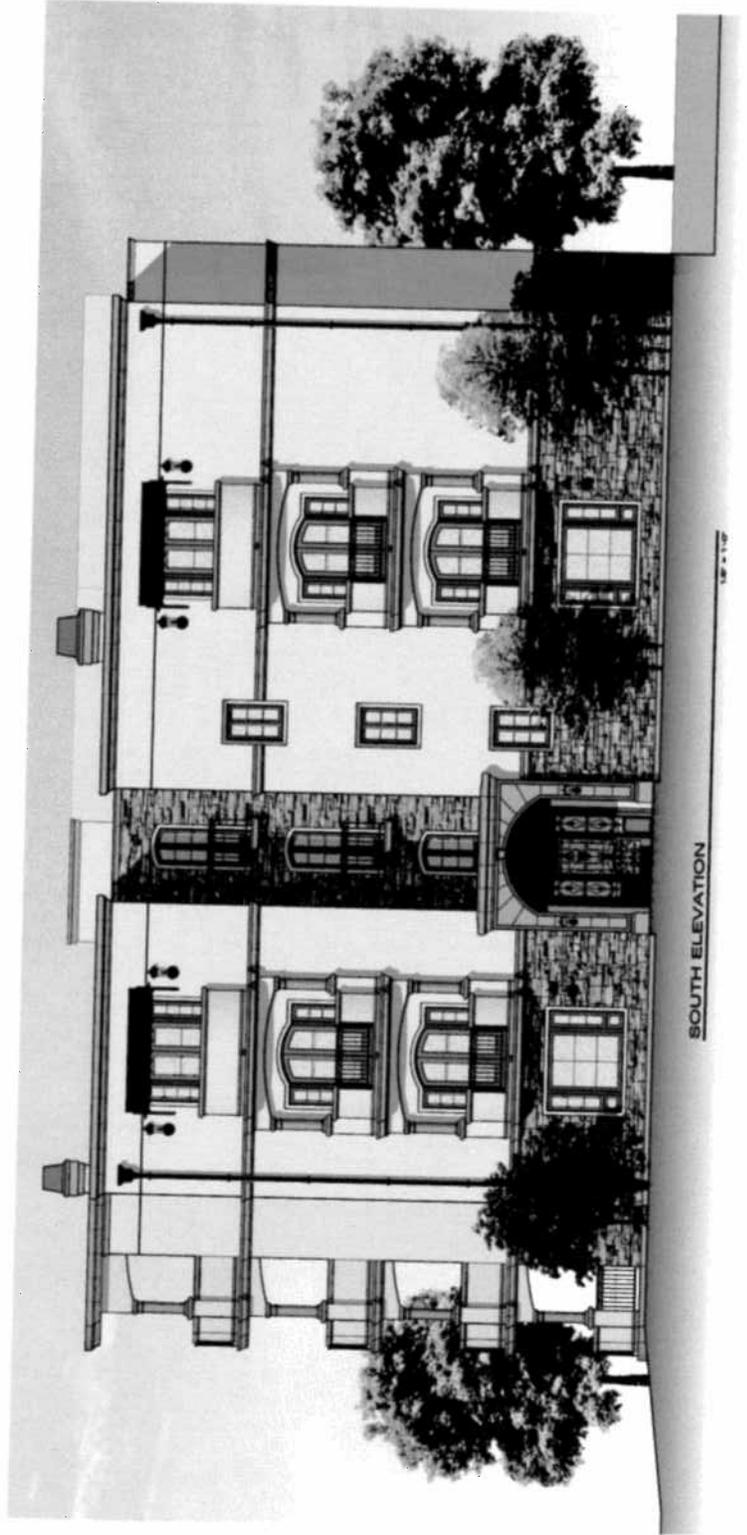
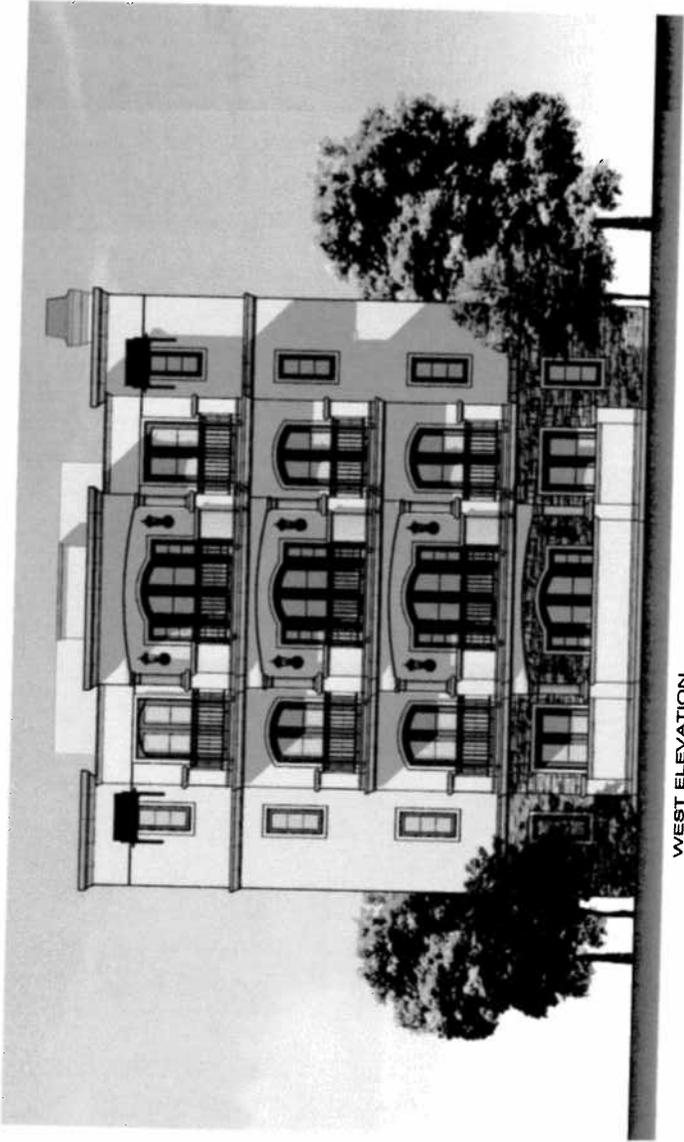
WEST ELEVATION



SOUTH ELEVATION

MAPLE DRIVE VILLAS 4 UNIT CONDOMINIUM PROJECT 400 S. MAPLE DRIVE BEVERLY HILLS, CALIFORNIA	
A-14 SHEET NO.	
EXTENSION ELEVATIONS	
SHEET TITLE	
JOB NO. 2713	REVISIONS
DATE: 01-27-2012	
DRAWN:	
LESLIE LIPPICH ARCHITECT DESIGN PLANNING PHONE (310) 991-2889 FAX (310) 991-2725 8 MAIL: leslielippich.com 4373 OAK GLEN STREET, CALABASAS, CALIFORNIA 91302	

REVISED ELEVATION 3/21/12



A-14	
SHEET NO.	
MAPLE DRIVE VILLAS	
A	
4 UNIT CONDOMINIUM PROJECT	
400 S. MAPLE DRIVE REVERLY HILLS, CALIFORNIA	
DATE	08-07-2013
DRAWN	
REVISIONS	
JOB NO.	2711
TITLE	EXTERIOR ELEVATIONS
LESLIE LIPPICH ARCHITECTURE DESIGN PLANNING ARCHITECT	
4373 OAK GLEN STREET, CARLSBAD, CALIFORNIA 92003	
PHONE (818) 941-2055 FAX (818) 941-2208 E-MAIL lel@lleslielippich.com	



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Architectural Commission Report

Meeting Date: Wednesday, March 21, 2012
(Continued from the AC meeting on February 15, 2012)

Subject: **9221 WHITWORTH DRIVE (462 SOUTH MAPLE DRIVE)**
Request for approval of a new four-story condominium building.
(PL#1202054)

Project applicant: Leslie Lippich, AIA

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting review and approval of a new four-story condominium building to be located at 9221 Whitworth Drive (aka 462 South Maple Drive). This project came before the Commission at its meeting on February 15, 2012. At that meeting, the Commission expressed concerns with the design and returned the project for restudy. The Commission's comments have been summarized below:

- The entry to the building needs to have a clear sense of arrival on the Whitworth elevation as it contains the main entry to the building. The ground floor doors along both Whitworth and Maple Drive cause confusion.
- The modulation on the Maple elevation is redundant. The design elements feel stacked, not actually modulated. These stacked elements appear to be stuck on.
- The Whitworth elevation lacks energy and modulation. It appears to be a building elevation which should face another building, not a public street.
- The building design doesn't feel as if it's been cited for the site. Take the context of the area (i.e. corner lot) into consideration when designing the building.
- Show all the building details and show details on how the building materials will meet. For example, the stucco of the building will contain control joints – where are the control joints to be located?
- There is only one type of window and door on the entire building elevation – the design should be more articulated and further developed.
- The building design should 'turn the corner' from the Maple Drive elevation to the Whitworth elevation. The design currently does not do this – the Maple elevation feels disconnected from the Whitworth elevation.
- More modulation options should be explored.

The applicant has written a letter to summarize the changes made to the project in response to the Commission's comments (see Attachment A).

Attachment(s):

- A. Applicant Prepared Summary of Design Changes
- B. AC Staff Report - February 15, 2012
- C. Revised Detailed Design Description and Materials (Applicant Prepared)
- D. Revised Design Plans, Cut Sheets and Supporting Documents
- E. Approval Resolution

Report Author and Contact Information:
Shena Rojemann, Associate Planner
(310) 285-1191
srojemann@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project has been environmentally reviewed pursuant to provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, *et seq.* ("CEQA"), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*), and the City's Local CEQA Guidelines (hereafter the "Guidelines"), and the City's environmental guidelines, and a Class 2 Categorical Exemption has been issued in accordance with the requirements of Section 15302 of the Guidelines for construction associated with replacement or reconstruction of existing structures. Additionally, the Project qualifies for a Class 3 Categorical Exemption in accordance with the requirements of Section 15303 of the Guidelines for constructions association with new multi-family residential structures of not more than six dwellings units in an urbanized area. Therefore, the Project will not result in significant environmental impact.

PUBLIC OUTREACH AND NOTIFICATION

Public notification was not required for this project.



Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

Attached A:
Applicant Prepared Summary
of Design Changes

City of Beverly Hills
Architectural Review Committee

RE: 462 S. Maple Drive/ 9221 Whitworth Drive
Revised Plans

Gentleman,

The following is a list of revisions made to the original submittal in order to address the Committee's concerns from the February 15, 2012 meeting.

- The main building entry was enhanced with a grand precast trim and awning and by carrying the stone veneer vertically in the recessed area to heighten and captivate.
- The main lobby and entry foyers on upper floors were enlarged, widened, and recessed, to create a sense of arrival as recommended.
- In response to the comment that in case the elevator does not work the units are not accessible without going outside, the floor plan was redesigned to provide staircase access from the main lobby to each floor.
- The southeast corner (walk-in closets) on all floors were reduced to create a modulation duplicating the southwest corner's recess.
- The Whitworth Drive elevation was modified to be more appealing. The small windows on the west portion were replaced with balconies matching the east portion.
- The first floor patio doors facing Whitworth Drive were changed to windows to create privacy from the sidewalk as recommended.
- The first floor patio area on Maple Drive was modified by adding 3'-6" garden walls to create privacy.
- The Maple Drive elevation center (dining room) doors were varied from the side doors by adding sidelights.
- The Maple Drive small windows on both sides of the building were reduced in size and shape.
- Awnings were added to the top floor balconies to improve appearance and protect from rain fall.
- The roof parapet was lowered in certain portions to create additional vertical angulation.

- The diameters of the precast concrete columns on all elevations were modified from 14" to 10".

In summary, we reduced the treatments on the Maple Drive elevation and heightened the Whitworth Drive elevation by carrying the balcony elements over. We also treated the main entry on Whitworth Drive to create the sense of arrival. The internal circulation of the building was resolved by relocating the staircase.

I believe we have accomplished what the Architectural Committee suggested by the above revisions and created a better living building that is pleasing as a corner property.

Thank you,

Leslie Lippich
Architect



Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

Attached B:

AC Staff Report – February 15, 2012



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Architectural Commission Report

Meeting Date: Wednesday, February 15, 2012

Subject: **9221 WHITWORTH DRIVE (462 SOUTH MAPLE DRIVE)**
Request for approval of a new four-story condominium building.
(PL1202054)

Project applicant: Leslie Lippich, AIA

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting review and approval of a new four-story condominium building to be located at 9221 Whitworth Drive (aka 462 South Maple Drive). The project is located on a corner lot. A request for a Development Plan Review (DRP) and Tentative Parcel Map for this project was conditionally approved by the Planning Commission on December 8, 2011 (see Resolution No. 1626 attached). Per conditions #9 and #11 of the Planning Commission (PC) approved Resolution, the PC has directed that the Architectural Commission, during its review, pay specific attention to the building modulation and articulation and the roof overhang design.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

Public notification was not required for this project.

Attachment(s):

- A. Planning Commission Resolution #1626
- B. Detailed Design Description and Materials (Applicant Prepared)
- C. Design Plans, Cut Sheets and Supporting Documents
- D. Approval Resolution

Report Author and Contact Information:
Shena Rojemann, Associate Planner
(310) 285-1191
cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive
AC Meeting –February 15, 2012

Attached A:
Planning Commission
Resolution #1626

RESOLUTION NO. 1626

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A REQUEST FOR A TENTATIVE PARCEL MAP AND DEVELOPMENT PLAN REVIEW PERMIT TO ALLOW THE CONSTRUCTION OF A NEW FOUR-UNIT RESIDENTIAL CONDOMINIUM DEVELOPMENT ON THE PROPERTY LOCATED AT 9221 WHITWORTH DRIVE.

The Planning Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Maple Drive Villas, LLC, the property owner, of 9221 Whitworth Drive, (the "Applicant") has submitted an application for Tentative Parcel Map No. 71711 and a Development Plan Review Permit to allow a four-unit, four-story residential condominium development in the Central Area of the City at 9221 Whitworth Drive (the "Project").

Section 2. The project site is located on the northeast corner of the intersection of Whitworth Drive and South Maple Drive. The area surrounding the project site consists of multi-family residential apartments and condominiums with varying densities, building ages, and architectural styles.

The project site is currently developed with a two-story, seven-unit apartment building. There are seven covered on-grade parking spaces with access from both Whitworth Drive and the alley directly adjacent to the project site. All existing structures would be demolished to accommodate the new condominium building.

The Project will be comprised of four units totaling 14,771 square feet in area at or above grade and four stories in height. The four units will range in size from 3,144 square feet to 3,407 square feet. Each unit will consist of four bedrooms. The Project includes a one-and-a-half level (split) subterranean garage with 13 fully accessible parking spaces. The Project is required to provide 607 square feet of modulation, and meets this requirement by providing 611 square feet of modulation at the northwest and southwest corners of the building. Additionally, the Project provides 885 square feet of outdoor living space in both private and public areas, which exceeds the 800 square feet of outdoor living space required by the Municipal Code.

Section 3. The Project has been environmentally reviewed pursuant to the provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, *et seq.* ("CEQA")), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*), and the City's Local CEQA Guidelines (hereafter the "Guidelines"), and the City's environmental guidelines, and a Class 2 Categorical Exemption has been issued in accordance with the requirements of Section 15302 of the Guidelines for construction associated with replacement or reconstruction of existing structures. Additionally, the Project qualifies for a Class 3 Categorical Exemption in accordance with the requirements of Section 15303 of the Guidelines for construction associated with new multi-family residential structures of not more than six dwelling units in an urbanized area. Therefore, the Project will not result in a significant environmental impact.

Section 4. Notice of the Project and public hearing was mailed on November 28, 2011 to all commercial and multi-family residential property owners and residential tenants

within a 300-foot radius of the property and to all single-family property owners and residential tenants within a 500-foot radius of the property. Additionally, notice of the Project and public hearing was published in two newspapers of local circulation on November 24, 2011 and November 25, 2011. On December 8, 2011 the Planning Commission considered the application at a duly noticed public meeting. Evidence, both written and oral, was presented at the meeting.

Section 5. In considering the request for a Tentative Parcel Map, the Planning Commission considered the following criteria:

1. Whether the proposed map is consistent with applicable general and specific plans;
2. Whether the design or improvement of the proposed subdivision is consistent with applicable general and specific plans;
3. Whether the site is physically suitable for the type of development;
4. Whether the site is physically suitable for the proposed density of development;
5. Whether the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially or avoidably injure fish or wildlife or their habitat;
6. Whether the design of the subdivision or type of improvements are likely to cause serious public health problems; and

7. Whether the design of the subdivision or type of improvements will conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision.

Section 6. Based on the foregoing, the Planning Commission hereby finds and determines as follows:

1. The proposed map is consistent with the Beverly Hills General Plan and the objectives, policies, general land uses, and programs specified therein. The General Plan land use designation for the project site is Multi-Family Residential Medium Density. The proposed map includes four residential condominium units, which are in conformance with the General Plan land use designation and Zoning Code for the project site. Therefore, the map is consistent with the Beverly Hills General Plan. The project site is not located within a specific plan area.
2. The proposed design and improvement of the subject property are consistent with the Beverly Hills General Plan and the objectives, policies, general land uses, and programs specified therein. The proposed map includes four residential condominium units, which are permitted under the General Plan land use designation and Zoning Code for the project site. Therefore, the map is consistent with the Beverly Hills General Plan. The project site is not located within a specific plan area.
3. The site is physically suitable for the type of development proposed. The site is currently developed with a seven-unit, two-story multi-family residential building. Under the density limitations set forth in the Beverly Hills

Municipal Code, the project site could be developed to a maximum density of eight units. The current proposal is to construct four units. The site is rectangular in shape, does not contain varying topography, and is capable of supporting the type of development proposed.

4. The site is physically suitable for the proposed density. Under the density limitations set forth in the Beverly Hills Municipal Code, the project site could be developed to a maximum density of eight units. The proposed density of four units is below what would otherwise be permitted and adequate public facilities exist to serve the proposed project.

5. Based on the proposed density of four units, the Project is categorically exempt under the California Environmental Quality Act. Furthermore, the Project site is located within a developed urban setting that does not contain habitat suitable for fish or wildlife. Therefore, the development is not anticipated to cause substantial environmental damage or substantially or avoidably injure fish or wildlife or their habitat.

6. The design of the subdivision and type of improvements are not anticipated to cause serious public health problems. The Project has been designed in accordance with all applicable Public Works and Building and Safety development standards, and is therefore not anticipated to cause serious public health problems.

7. The design of the subdivision and type of improvements have been reviewed by the Department of Public Works and have be found not to be in conflict with any public easements. Further, a 2.5' dedication will be provided along the alley to the east of the property in accordance with the City's Street Master Plan to improve

access along the alleyway. Therefore, the design of the subdivision and type of improvements are not anticipated to conflict with any public easements for access through or use of the property within the proposed subdivision.

Section 7. In considering the request for a Development Plan Review Permit, the Planning Commission considered whether the Project would have a substantial impact on the following criteria:

1. Whether the proposed plan is consistent with the general plan and any specific plans adopted for the area;
2. Whether the proposed plan will adversely affect existing and anticipated development in the vicinity and will promote harmonious development of the area;
3. Whether the nature, configuration, location, density, height and manner of operation of any commercial development proposed by the plan will significantly and adversely interfere with the use and enjoyment of residential properties in the vicinity of the subject property;
4. Whether the proposed plan will create any significantly adverse traffic impacts, traffic safety hazards, pedestrian-vehicle conflicts, or pedestrian safety hazards; and,
5. Whether the proposed plan will be detrimental to the public health, safety or general welfare.

Section 8. Based on the foregoing, the Planning Commission hereby finds and determines as follows:

1. As conditioned, the Project meets the Code requirements for multiple-family residential developments and is consistent with the goals and policies of the Beverly Hills General Plan and its associated land use designations. Furthermore, the Project is not located within or adjacent to a specific plan area.

2. The Project is located in an area that consists primarily of two-story multi-family developments; however, the properties directly to the north and west of the Project site contain buildings that are five stories and three stories in height, respectively. The proposed four-story condominium residential building will complement the adjacent development, and the proposed design of the Project will be a harmonious addition to the area. Furthermore, the modulation provided at the northwest and southwest corners of the building, facing South Maple Drive, softens the massing of the Project.

3. There is no commercial development proposed with the Project and as such, no adverse impact is anticipated.

4. Based on a review by the City's Transportation Division, the project is not expected to generate significant traffic and no measurable impact on the adjacent intersections, streets and alley is anticipated. As conditioned, the Project will not generate traffic safety hazards that may result. Furthermore, as access to the garage is available only from the alley, and as a result, no pedestrian-vehicle conflicts or pedestrian safety hazards are anticipated.

5. The Project will be built in accordance with the City's Building Code standards and is consistent with the zoning for the area. As such, the Project is not anticipated to be detrimental to the public health, safety or general welfare.

Section 9. Based on the foregoing, the Planning Commission hereby grants the requested Tentative Parcel Map and Development Plan Review Permit, subject to the following conditions:

1. The Project shall be modified to provide roof access for fire suppression personnel access and egress from stairwell #2, located at the rear of the building. An alternative design may be approved by the Fire Chief, or designee.

2. Final plans shall include all documentation and specifications necessary for fire sprinklers and fire alarms.

3. Final plans shall show a section indicating the ramp slope leading to the subterranean garage begins after the 2.5' alley dedication.

4. Subject to review and approval by the City's Transportation Engineer, the opening of the garage shall provide adequate setbacks so as to satisfy the minimum turning radius for a typical passenger vehicle (25.8') to cover the path of the front overhang.

5. The garage gate shall be installed at a minimum distance from the alley to provide sufficient room for at least one vehicle to queue at the garage gate without obstructing traffic in the alley.

6. A warning light shall be installed at the exit ramp by the alley. Such device shall light up when a vehicle is leaving the garage so as to notice the on-coming traffic in the alley.

7. Any parabolic mirror proposed to improve visibility shall not be placed within any public right-of-way.

8. A sign shall be placed on South Maple Drive indicating the availability of guest parking located in the subterranean garage. All guest parking spaces shall be clearly designated.

9. The Architectural Commission, in its review, shall pay particular attention to building modulation and require additional articulation, as appropriate.

10. The condominium building may extend from 42 feet in height as presented to the Planning Commission to a maximum height of forty-five feet (45'), consistent with the municipal code, provided the additional height is distributed evenly among the four floors.

11. The roof overhang at the fourth floor shall be reduced, or eliminated, as deemed appropriate by the Architectural Commission.

12. The Applicant shall submit a Construction Management Plan to the Department of Community Development for review and approval prior to the issuance of a building permit. The Construction Management Plan shall include, at a minimum, the following:

12.1 Written information about the construction parking arrangement and hauling activities at different stages of construction to be

reviewed by the Engineering Division of Public Works and the Building and Safety Division of Community Development.

12.2 Information regarding the anticipated number of workers, the location of parking with respect to schedule during the construction period, the arrangement of deliveries, hauling activities, the length of time of operation, designation of construction staging area and other pertaining information regarding construction related traffic.

12.3 The proposed demolition/construction staging for the Project to determine the amount, appropriate routes and time of day heavy hauling traffic necessary for demolition, deliveries, etc. to the project site.

13. APPEAL. Decisions of the Planning Commission may be appealed to the City Council within fourteen (14) days of the Planning Commission action by filing a written appeal with the City Clerk. Appeal forms are available in the City Clerk's office. Decisions involving subdivision maps must be appealed within ten (10) days of the Planning Commission Action. An appeal fee is required.

14. RECORDATION. The resolution approving the Tentative Parcel Map and Development Plan Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within**

60 days of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant and related fees within the required 60 days, this resolution approving the Project shall be **null and void and of no further effect**. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60 day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state or local law that would affect the Project.

15. EXPIRATION. Tentative Parcel Map: The exercise of rights granted in such approval shall be commenced within two (2) years after the adoption of such resolution.

16. EXPIRATION. Development Plan Review Permit: The exercise of rights granted in such approval shall be commenced within two (2) years after the adoption of such resolution.

17. VIOLATION OF CONDITIONS: A violation of these conditions of approval may result in a termination of the entitlements granted herein.

18. This approval is for those plans submitted to the Planning Commission on December 8, 2011, a copy of which shall be maintained in the files of the City Planning Division. Project development shall be consistent with such plans, except as otherwise specified in these conditions of approval.

19. Minor amendments to the plans shall be subject to approval by the Director of Community Development. A significant change to the approved Project

shall be subject to Planning Commission Review. Construction shall be in conformance with the plans approved herein or as modified by the Planning Commission or Director of Community Development.

20. Project Plans are subject to compliance with all applicable zoning regulations, except as may be expressly modified herein. Project plans shall be subject to a complete Code Compliance review when building plans are submitted for plan check. Compliance with all applicable Municipal Code and General Plan Policies is required prior to the issuance of a building permit.

21. Prior to the issuance of building permits, the design, materials, and finish of the building and landscaping shall be subject to the review and approval of the Architectural Commission.

22. The CC&Rs will be submitted and reviewed by the City Attorney prior to recordation of the final map.

23. Approval Runs With Land. These conditions shall run with the land and shall remain in full force for the duration of the life of the Project.

24. Prior to the issuance of a building permit, all applicable Park and Recreation Facilities Tax required by the Municipal Code shall be paid.

25. The Project shall operate at all times in a manner not detrimental to surrounding properties or residents by reason of lights, noise, activities, parking or other actions.

26. The Project shall operate at all times in compliance with Municipal requirements for Noise Regulation.

27. During the construction period, street sweeping shall be conducted several times a day and as directed by the City Engineer. Dirt shall not be tracked out of the construction site.

28. The Applicant shall remove and replace all public sidewalks surrounding the Project site that are rendered defective as a result of Project construction.

29. The Applicant shall remove and replace all curbs and gutters surrounding the Project site that are rendered defective as a result of Project construction.

30. The Applicant shall comply with all applicable statutes, ordinances and regulations concerning the conversion of residential rental units into condominiums, including, but not limited to, the requirement that the applicant pay the City of Beverly Hills the condominium conversion tax, if a certificate of occupancy is issued prior to approval of the final subdivision map by the City Council. The amount of tax to be paid shall be based on the fees in place at the time of conversion.

31. The applicant shall remove all unused landings and driveway approaches. These parkway areas, if any, shall be landscaped and maintained by the adjacent property owner. This landscape material cannot exceed six to eight inches in height and cannot be planted against the street trees. Care shall be taken to not damage or remove the trees existing tree roots within the parkway area. Remove and replace all defective alley and driveway approaches surrounding the existing and proposed buildings.

32. The applicant shall protect all existing street trees adjacent to the subject site during construction of the proposed project. Every effort shall be made to retain mature street trees. No street trees, including those street trees designated on the preliminary plans, shall be removed and/or relocated unless written approval from the Recreation and Parks Department and the City Engineer is obtained.

33. Removal and/or replacement of any street trees shall not commence until the applicant has provided the City with an improvement security to ensure the establishment of any relocated or replaced street trees. The security amount will be determined by the Director of Recreation and Parks, and shall be in a form approved by the City Engineer and the City Attorney.

34. The applicant shall provide that all roof and/or surface drains discharge to the street. All curb drains installed shall be angled at 45 degrees to the curb face in the direction of the normal street drainage flow. The applicant shall provide that all groundwater discharges to a storm drain. All ground water discharges must have a permit (NPDES) from the Regional Water Quality Control Board. Connection to a storm drain shall be accomplished in the manner approved by the City Engineer and the Los Angeles County Department of Public Works. No concentrated discharges onto the alley surfaces will be permitted.

35. The applicant shall provide for all utility facilities, including electrical transformers required for service to the proposed structure(s), to be installed on the subject site. No such installations will be allowed in any City right-of-way.

36. The applicant shall underground, if necessary, the utilities in adjacent streets and alleys per requirements of the Utility Company and the City.

37. The applicant shall make connection to the City's sanitary sewer system through the existing connections available to the subject site unless otherwise approved by the City Engineer and shall pay the applicable sewer connection fee.

38. The applicant shall make connection to the City's water system through the existing water service connection unless otherwise approved by the City Engineer. The size, type and location of the water service meter installation will also require approval from the City Engineer.

39. The applicant shall provide to the Engineering Office the proposed demolition/construction staging for this project to determine the amount, appropriate routes and time of day of heavy hauling truck traffic necessary for demolition, deliveries, etc., to the subject site.

40. The applicant shall obtain the appropriate permits from the Civil Engineering Department for the placement of construction canopies, fences, etc., and construction of any improvements in the public right-of-way, and for use of the public right-of-way for staging and/or hauling certain equipment and materials related to the project.

41. The applicant shall remove and reconstruct any existing improvements in the public right-of-way damaged during construction operations performed under any permits issued by the City.

42. During construction all items in the Erosion, Sediment, Chemical and Waste Control section of the general construction notes shall be followed.

43. Condensate from HVAC and refrigeration equipment shall drain to the sanitary sewer, not curb drains.

44. Water discharged from a loading dock area must go through an interceptor/clarifier prior to discharging to the storm drain system. A loading dock is not to be confused with a loading zone or designated parking space for loading and unloading.

45. Organic residuals from daily operations and water used to wash trash rooms cannot be discharged to the alley. Examples are grocery stores, mini markets and food services.

46. All ground water discharges must have a permit (NPDES) from the Regional Water Quality Control Board. Examples of ground water discharges are; rising ground water and garage sumps.

47. Storm water runoff from automobiles going into a parking garage shall be discharged through a clarifier before discharging into the storm drain system. In-lieu of discharging runoff through a clarifier, parking lots can be cleaned every two weeks with emphasis on removing grease and oil residuals which drip from vehicles. Maintain records of cleaning activities for verification by a City inspector.

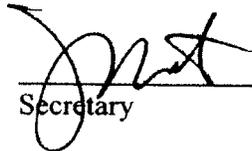
Section 10. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his/her Certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Adopted: ~~December~~ **December 8, 2011**



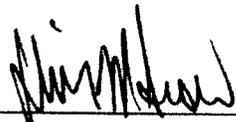
Daniel M. Yukelson
Chair of the Planning Commission of the
City of Beverly Hills, California

Attest:



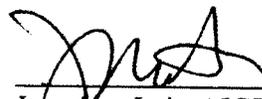
Secretary

Approved as to form:



David M. Snow
Assistant City Attorney

Approved as to content:



Jonathan Lait, AICP
City Planner C.G.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, JONATHAN LAIT, Secretary of the Planning Commission and City Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. 1626 duly passed, approved and adopted by the Planning Commission of said City at a meeting of said Commission on December 8, 2011, and thereafter duly signed by the Secretary of the Planning Commission, as indicated; and that the Planning Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES: Commissioners Furie, Rosenstein, Cole, Vice Chair Corman, and Chair Yukelson.
NOES: None.
ABSTAIN: None.
ABSENT: None.



JONATHAN LAIT, AICP
Secretary of the Planning Commission /
City Planner
City of Beverly Hills, California



Design Review Commission Report

455 North Rexford Drive
AC Meeting –February 15, 2012

Attached B:
Detailed Design Description
and Materials (Applicant Prepared)

SECTION 1 – AUTHORIZATION & APPLICANT TEAM

A Property Information

Project Address: 9221 Whitworth Drive/462. Maple Drive
Adjacent Streets: Whitworth Drive & Maple Drive

B Property Owner Information¹

Name(s): Mazliach Gamliel (President) Eyal Gamliel (CEO)
Address: 12049 Guerin St.
City: Studio City State & Zip Code: CA 91604
Phone: 818-980-1967 Fax: 818-980-8118
E-Mail eyalgamliel@aol.com

C Applicant Information [individual(s) or entity benefiting from the entitlement]

Name(s): Leslie Lippich Architect
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

D Architect / Designer Information [Employed or hired by Applicant]

Name(s): Leslie Lippich Architect Registered Architect? Yes No
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

E Landscape Designer Information [Employed or hired by Applicant]

Name(s): Susan E. Mceowen
Address: 3297 Big Oak Lane
City: Castaic State & Zip Code: CA 91384
Phone: 661-294-3753 Fax: 661-294-3765
E-Mail semceowen@yahoo.com

F Agent [Individual acting on behalf of the Applicant] NOTE: All communication is made through the Agent.

Name(s): Leslie Lippich Architect
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

G I hereby certify that I am the owner(s) of the subject property and that I have reviewed the subject application and authorize the Agent to make decisions that may affect my property on my behalf.²

Property Owner's Signature & Date



Property Owner's Signature & Date

¹ If the owner is a corporate entity, the names of two corporate officers are required from each of the following Groups:
Group A – Chairperson or president of the board; Group B – board secretary or chief financial officer.

² A signed and dated authorization letter from the property owner is also acceptable.

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application

- Staff Review
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
 - Ten (10) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

B Identify the scope of work (check all that apply):

- New construction
- Façade Remodel ONLY
- Business Identification Sign(s)
Number of signs proposed:
- Building Identification Sign(s)
Number of signs proposed:
- Sign Accommodation (explain reason for the accommodation request below):
Number of signs proposed:
- Other:
- Remodel: Int. & Ext, no floor area added
- Remodel: Int. & Ext, floor area added
- Awning(s): New Recovery
- Open Air Dining: #Tables # Chairs

C Describe the scope of work proposed including materials and finishes:

New 4 story 4 unit condominium project over one level subterranean garage. Type V-A wood frame & stucco building, with precast concrete trim.

C Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/UNITEGIS/>)

- | | | | | |
|---|---------------------------------|---------------------------------|---------------------------------|--------------------------------|
| <input checked="" type="checkbox"/> R-4 | <input type="checkbox"/> R-4X | <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4-P | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP | <input type="checkbox"/> C-3 | <input type="checkbox"/> C-3A | <input type="checkbox"/> C-3B |
| <input type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2 | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5 |

E Lot is currently developed with (check all that apply):

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below):

F Are any protected trees located on the property? (See the City's tree removal guidelines at: <http://www.beverlyhills.org/services/building/plans/tree.asp>.)

Yes No

If YES, provide the following information:

Tree Type: Heritage Tree(s) Native Tree(s) Urban Grove

Species:

Quantity/Sizes:

Reason for Removal:

G Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?

Yes No If yes, please list Architect's name:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Indicate in the chart below all applicable signage details:

	<u>Type of Sign</u> (i.e. business ID, building ID, parking, etc.)	<u>Dimensions</u> (length x width)	<u>Square Feet</u>	<u>Maximum Area Permitted by Code</u>	<u>Maximum Area Permitted w/ Sign Accommodation</u> (if applicable)
1					
2					
3					
4					
5					

C List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):

FAÇADE (List all material for all portions visible from the street)

Material: exterior plaster, precast concrete trim, stone veneer
 Texture /Finish: smooth stucco trim painted with elastomeric paint
 Color / Transparency: x25 Saddleback by Lahabra Stucco, SP 338 Sealpoint by Dunn Edwards & Mojave 20042 Country Ledgestone by Cultured Stone

WINDOWS/DOORS (Include frame, trim, glass, metal, etc.)

Material: wood
 Texture /Finish: stained
 Color / Transparency: Mahagony stain and clear glass

ROOF

Material: type "a" built up composition roofing
 Texture /Finish: cap sheet
 Color / Transparency: medium gray. (not visible from street)

CHIMNEY(S)

Material: G.I. sheet metal chimney cap
 Texture /Finish: painted
 Color / Transparency: DE6306 Gateway Bay by Dunn Edwards

COLUMNS

Material: precast concrete columns
 Texture /Finish: smooth painted
 Color / Transparency: SP 338 Sealpoint by Dunn Edwards

BALCONIES & RAILINGS

Material: wrought iron
 Texture /Finish: painted, semi
 Color / Transparency: DE6063 Nlack Walnut by Dunn Edwards

OUTDOOR DINING ELEMENTS (List all material for all outdoor dining elements.)

Material: n/a
 Texture /Finish:
 Color / Transparency:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

AWNINGS, CANOPIES

Material: n/a
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: copper
Texture /Finish: patina
Color / Transparency: natural

BUSINESS ID SIGN(S)

Material: n/a
Texture /Finish: _____
Color / Transparency: _____

BUILDING ID SIGN(S)

Material: n/a
Texture /Finish: _____
Color / Transparency: _____

EXTERIOR LIGHTING

Material: cast iron "coach" lites on the building & low silhouette landscape lighting
Texture /Finish: _____
Color / Transparency: Charcoal "coach" lites, copper & verde green

PAVED SURFACES

Material: Travertine tile pavers by C & C Stone
Texture /Finish: travertine, non-slip surface
Color / Transparency: creamy/beige

FREESTANDING WALLS AND FENCES

Material: Plaster over CMU wall
Texture /Finish: smooth, to match building
Color / Transparency: x25 Saddleback by Lahabra Stucco

OTHER DESIGN ELEMENTS

Material: n/a
Texture /Finish: _____
Color / Transparency: _____

D Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:

The landscape design fits the Italianate style of the building while using drought tolerant plant material. The use of Olives & Junipers enhance the elevations of the building. The varying heights of the plant material give the landscape visual interest as well.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)

A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

1. **Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The Maple Drive Villas units will be occupied by four owners, who are already Beverly Hills residence. One unit per floor will allow views in all directions in the spacious elegant floor plan. The architectural style will be "Italianate" which is the most popular in Southern California since 2000.

2. **Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

Having one unit per floor is less than 60% of the allowed density. The four "empty nester" owners will not create unduly noise or traffic.

3. **Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The project is high quality in exterior materials, the ledgestone will provide intimate elegance for years to come. Also the wood doors and windows are of high quality with double glazing.

4. **Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

The project conforms with all zoning, height and set back requirements of the R-4 area and is similar to the newly developed parcels in the immediate surrounding.

5. **Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

The projects size and height is within the limitation of the code. The massing & modulation exceeds the requirements and the density is less than 60% of maximum allowed.



Design Review Commission Report

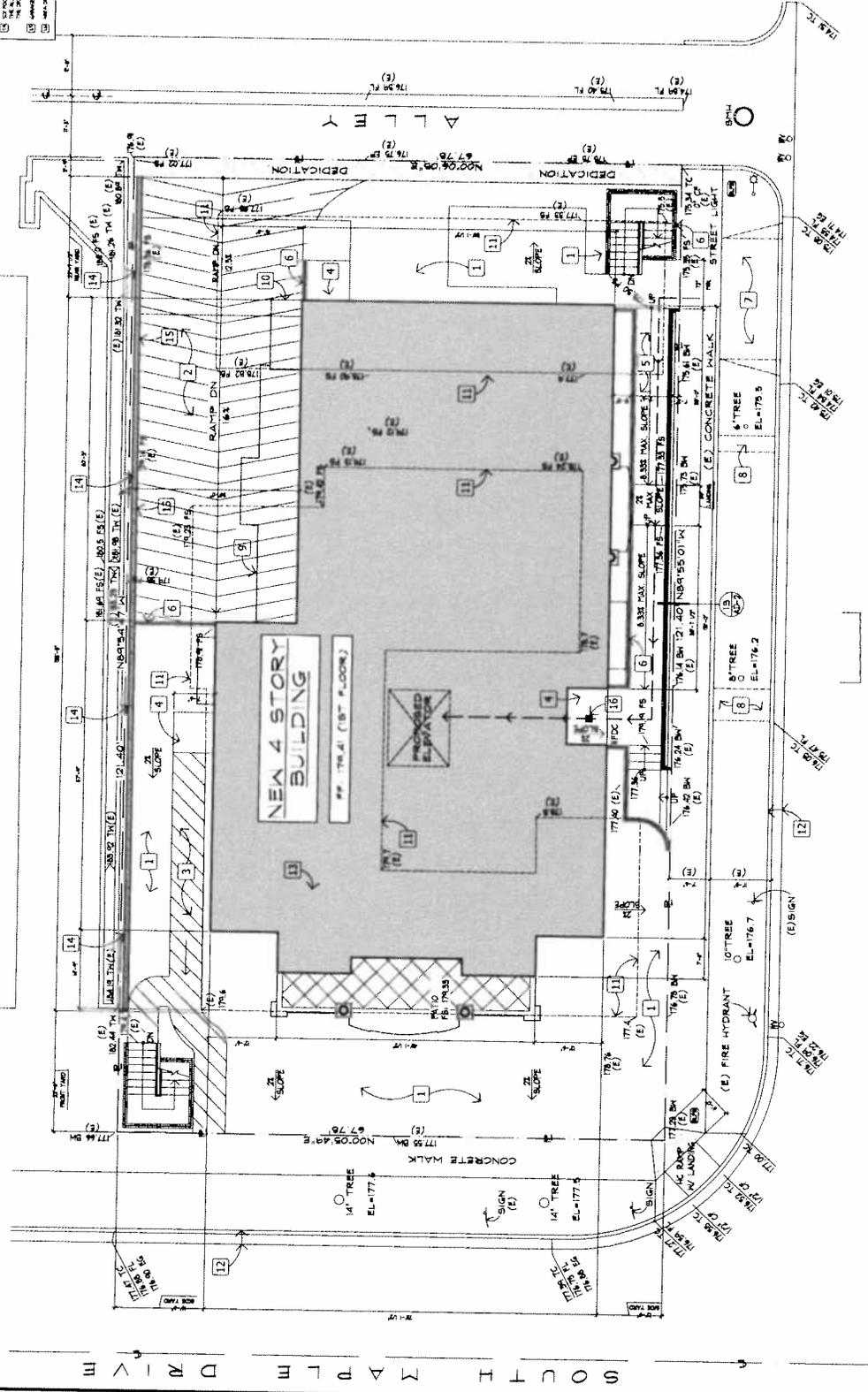
455 North Rexford Drive
AC Meeting –February 15, 2012

Attached C:

Design Plans, Cut Sheets
and Supporting Documents

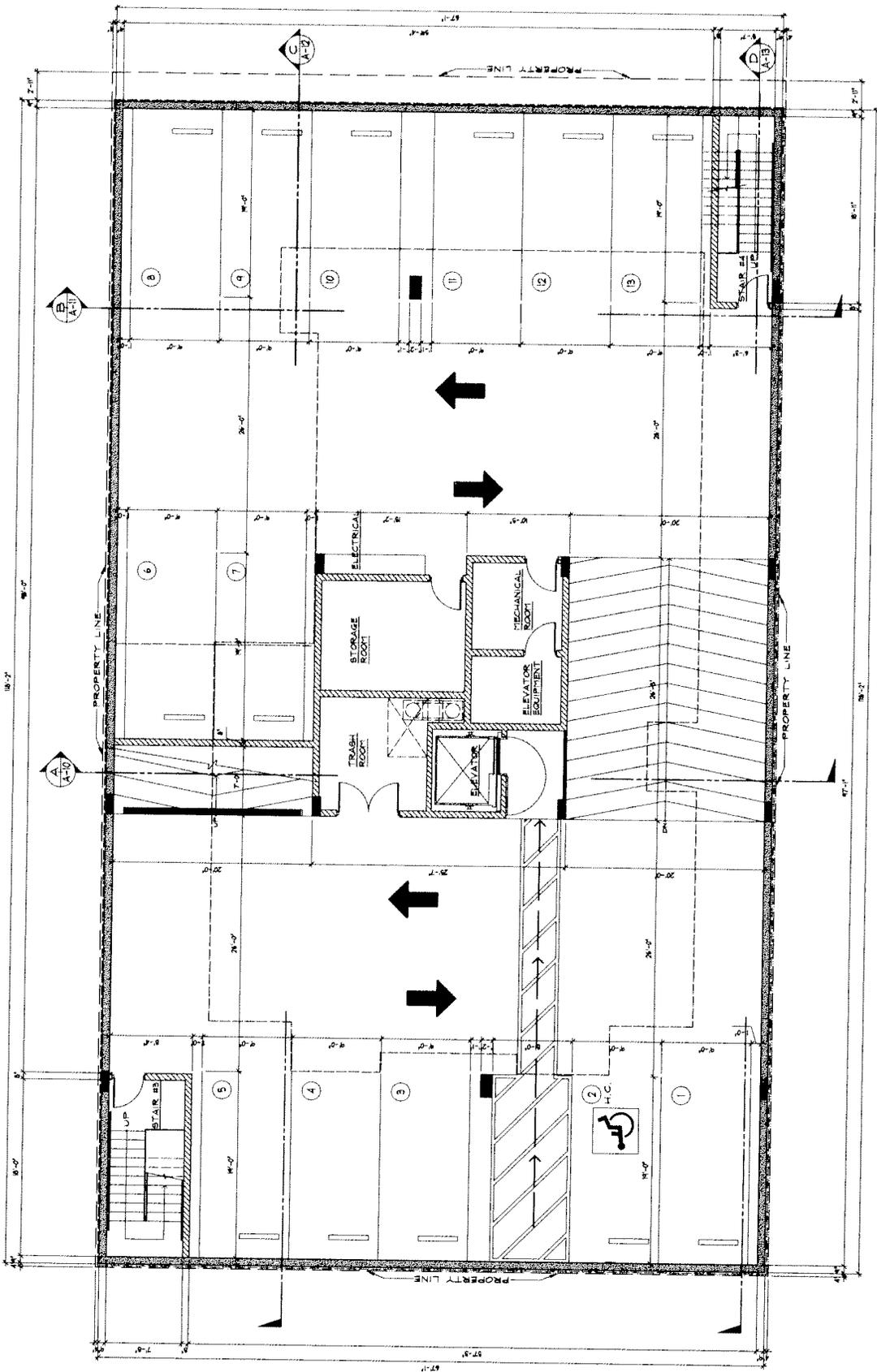
- SITE PLAN NOTES**
1. ASSUMED AND NOT TO SCALE UNLESS INDICATED OTHERWISE.
 2. DIMENSIONS SHOWN ON THIS PLAN TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON ANY OTHER DRAWING.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. EXISTING CONDITIONS ARE SHOWN IN DASHED LINES.
 5. EXISTING CONDITIONS TO BE REMOVED ARE SHOWN IN HATCHED LINES.
 6. EXISTING CONDITIONS TO BE MAINTAINED ARE SHOWN IN SOLID LINES.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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- PROJECT INFORMATION**
- OWNER: _____
 ARCHITECT: _____
 ENGINEER: _____
 CONTRACTOR: _____

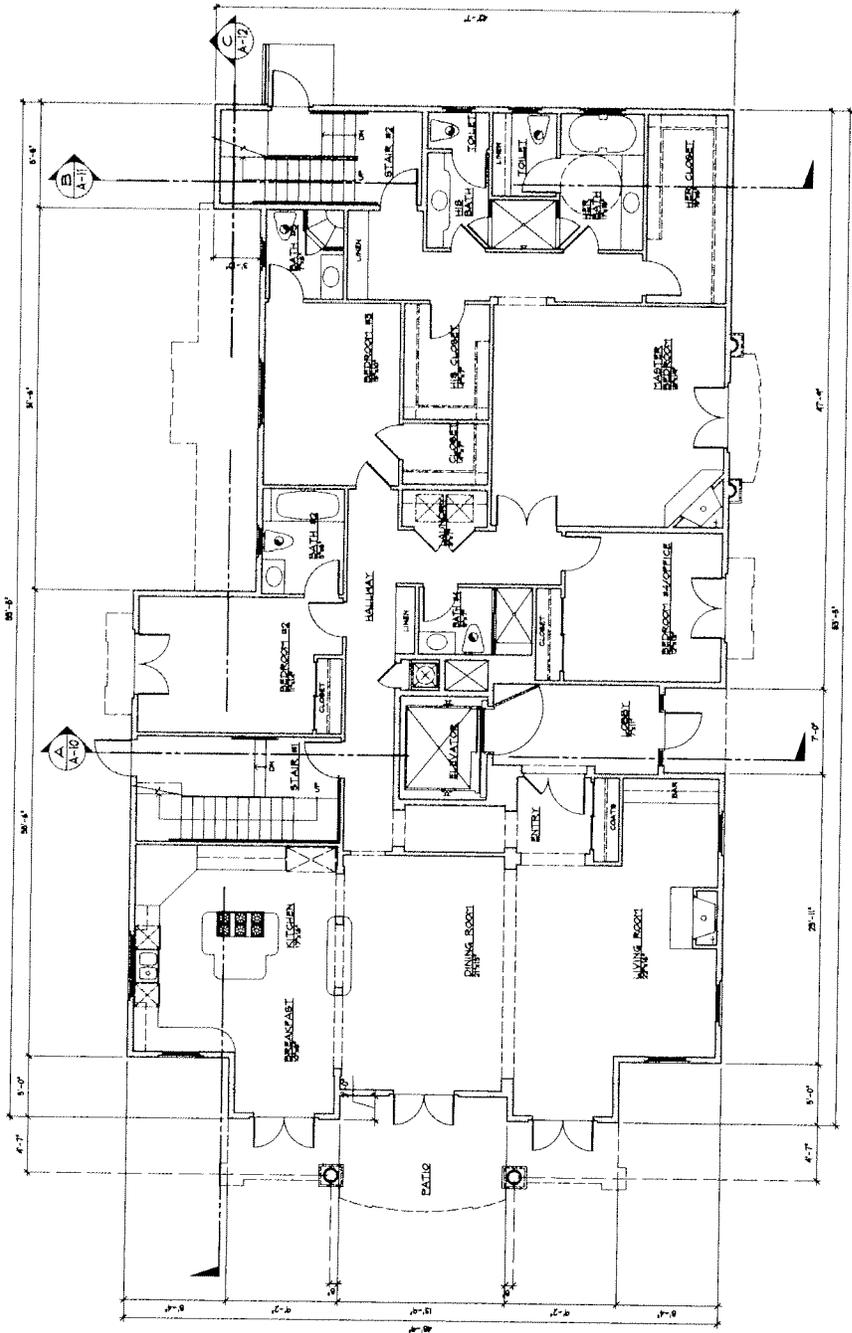


3/32" = 1'-0"

SITE PLAN

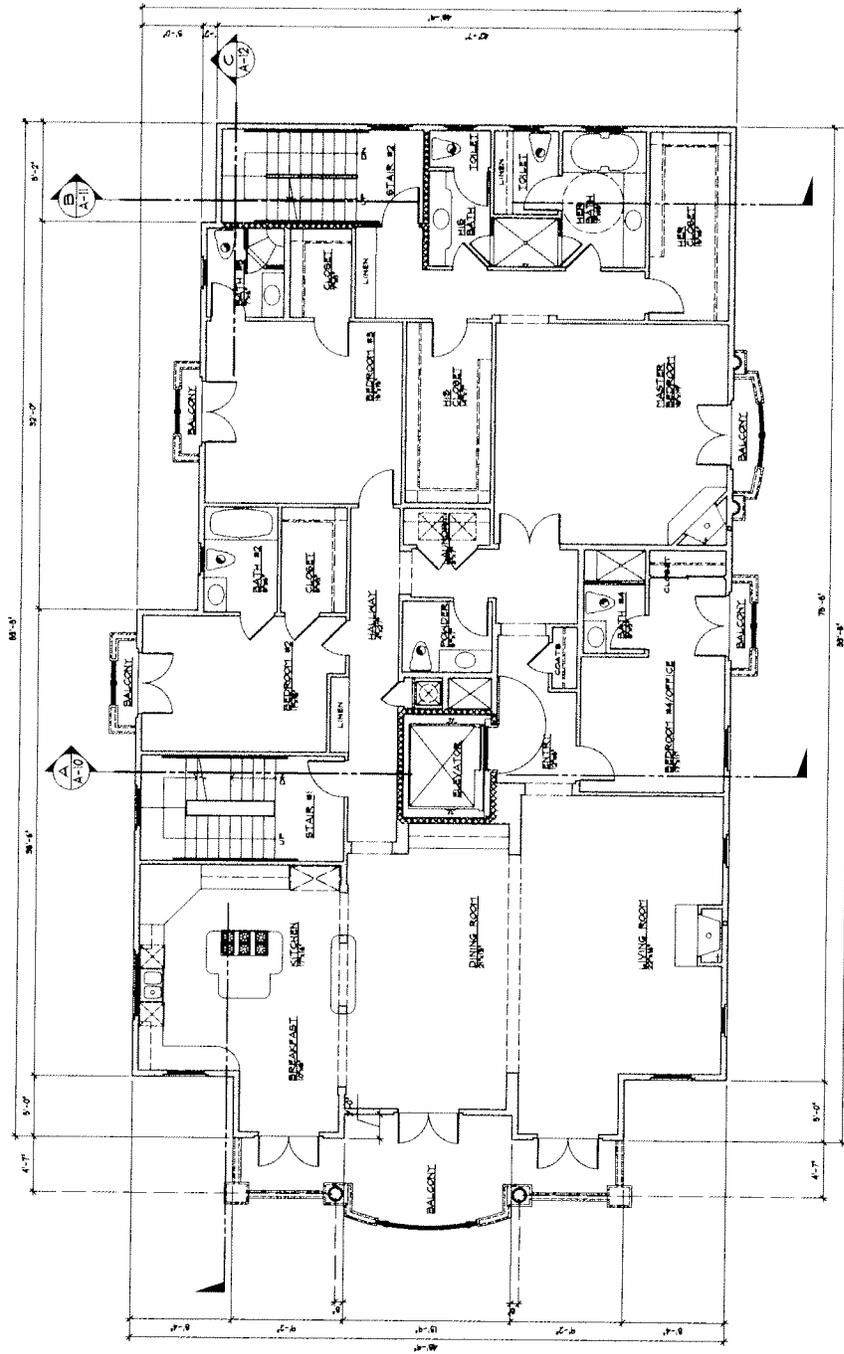


GARAGE FLOOR PLAN
 LEGEND
 6" CMU WALL
 8" CONCRETE RETAINING WALL

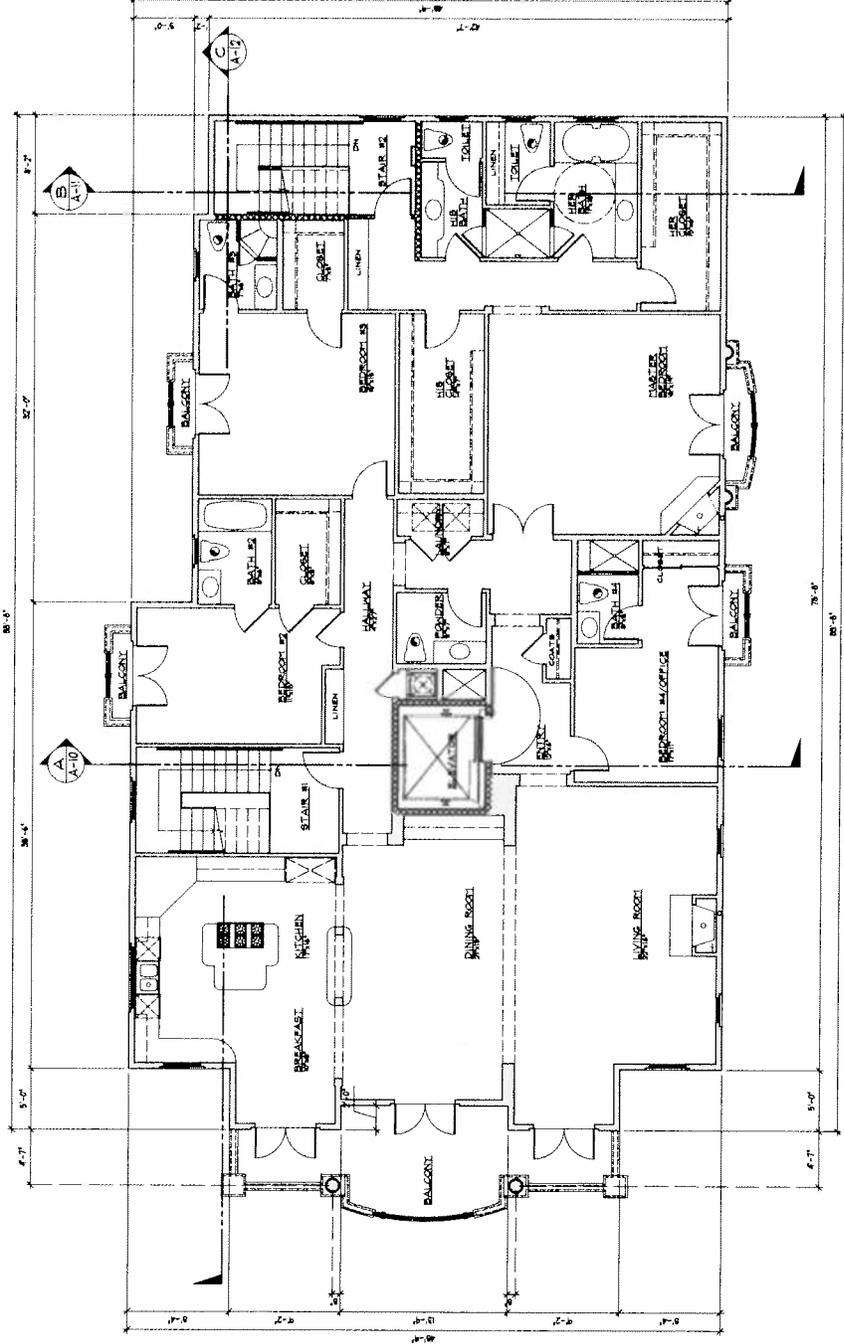


FIRST FLOOR PLAN
 3,144.50 S.F.

1/8" = 1'-0"



SECOND FLOOR PLAN
3,407 SQ. FT.

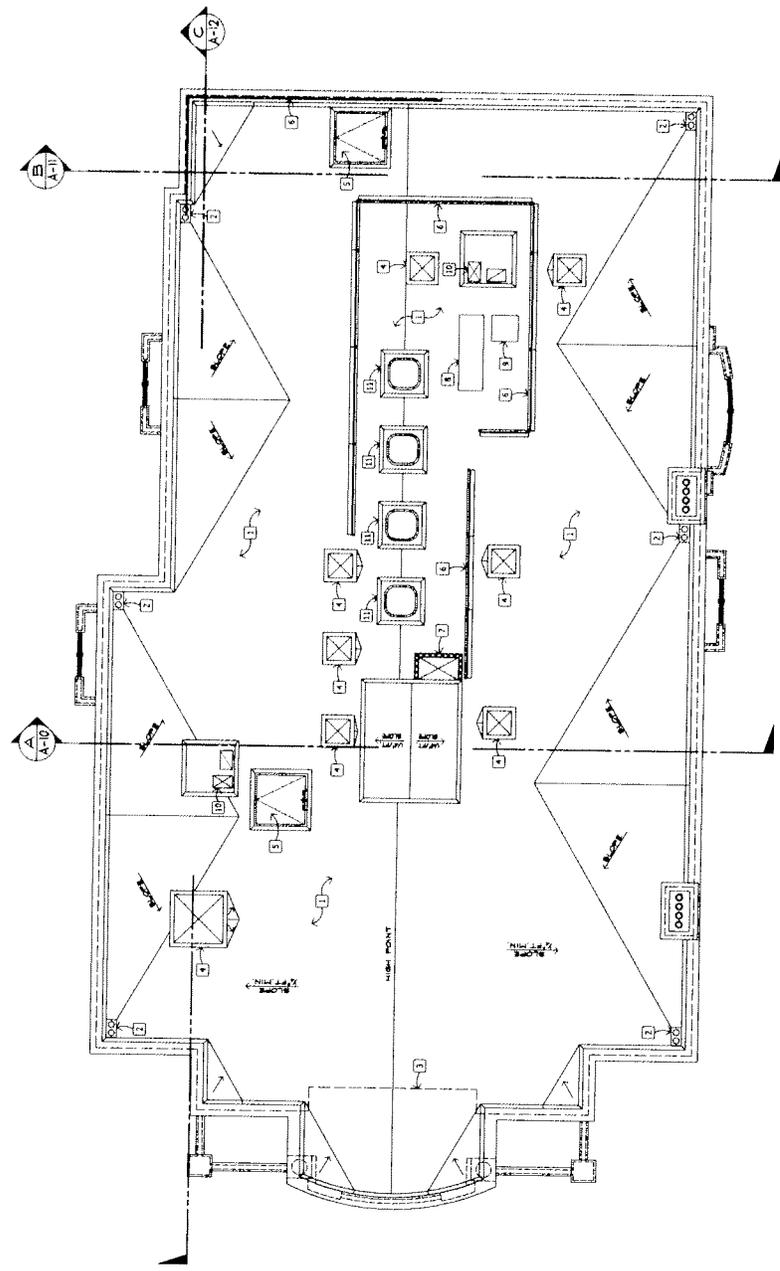


PENTHOUSE FLOOR PLAN
3,407 S.Q.F.T.

1/8" = 1'-0"

ROOF PLAN NOTES

1. ALL OF CONSTRUCTION MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE CITY OF CALIFORNIA. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE CITY OF CALIFORNIA. ALL MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT AND THE CITY OF CALIFORNIA.
2. ALL ROOFING SHALL BE PERFORMED BY A LICENSED CONTRACTOR.
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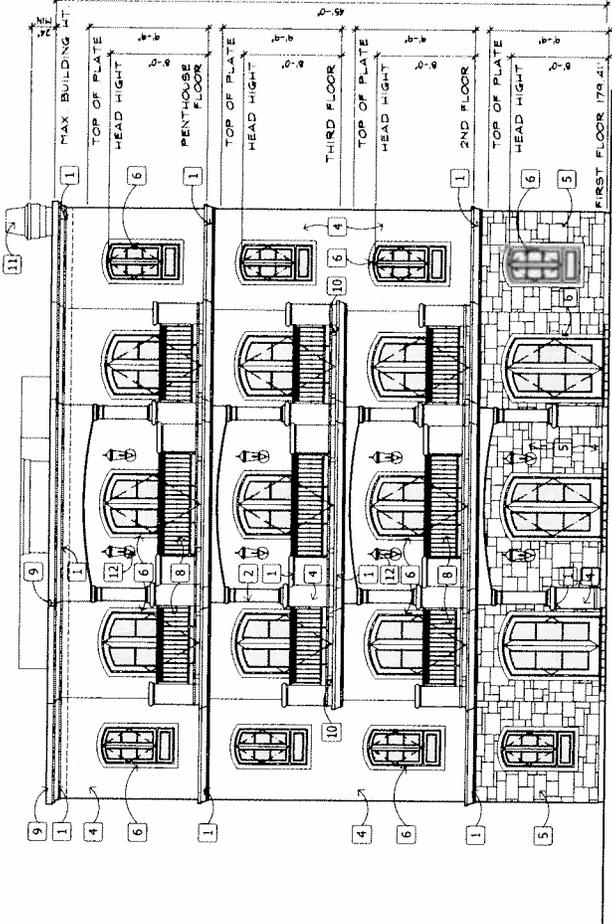


ROOF PLAN

1/8" = 1'-0"

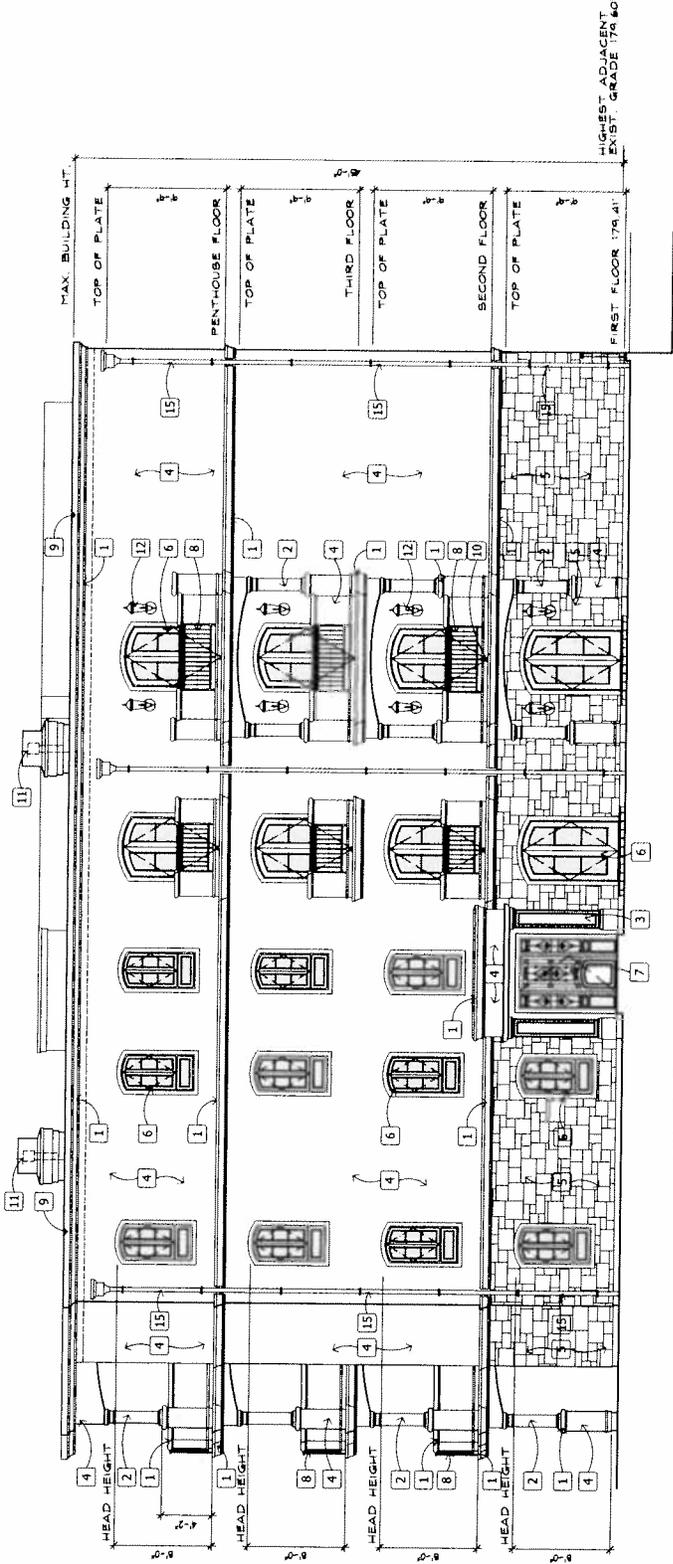
ELEVATION NOTES

- 1 PRECAST CONCRETE TRIM, COLOR: SP 138 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 2 PRECAST CONCRETE COLUMN, COLOR: SP 138 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 3 PRECAST CONCRETE PLASTER, COLOR: SP 138 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 4 SMOOTH STUCCO FINISH, COLOR: NO. 323 "SACKLEBACK" BY LA HABRA STUCCO.
- 5 COUNTRY (EGGSTONE, COLOR: 2602 "MOUNTAIN" BY CULTURED STONE, ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 6 PRECAST CONCRETE TRIM @ DOORS & WINDOWS, COLOR: SP 138 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 7 WROUGHT IRON GRILL OVER TEMPERED GLASS AT FRONT ENTRY DOOR.
- 8 WROUGHT IRON RAILS, COLOR: DE 6603 "BLACK WALNUT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 9 COPPER SHEET METAL PARAPET CAP.
- 10 COPPER SHEET METAL SCUPPERS.
- 11 REINTEGRATED COPPER SHEET METAL "CHIMNEY" CAP.
- 12 EXTERIOR LIGHT FIXTURE, COLOR: "HERITAGE" BY HUNKA GROUP.
- 13 SIX FOOT HIGH WALL CONTIGUOUS AT NORTHERLY PROPERTY LINE TO THE ALLEY.
- 14 NATURAL GRADE AT NORTHERLY PROPERTY LINE.
- 15 COPPER SHEET METAL DOWN POUTS.



WEST ELEVATION

1/8" = 1'-0"

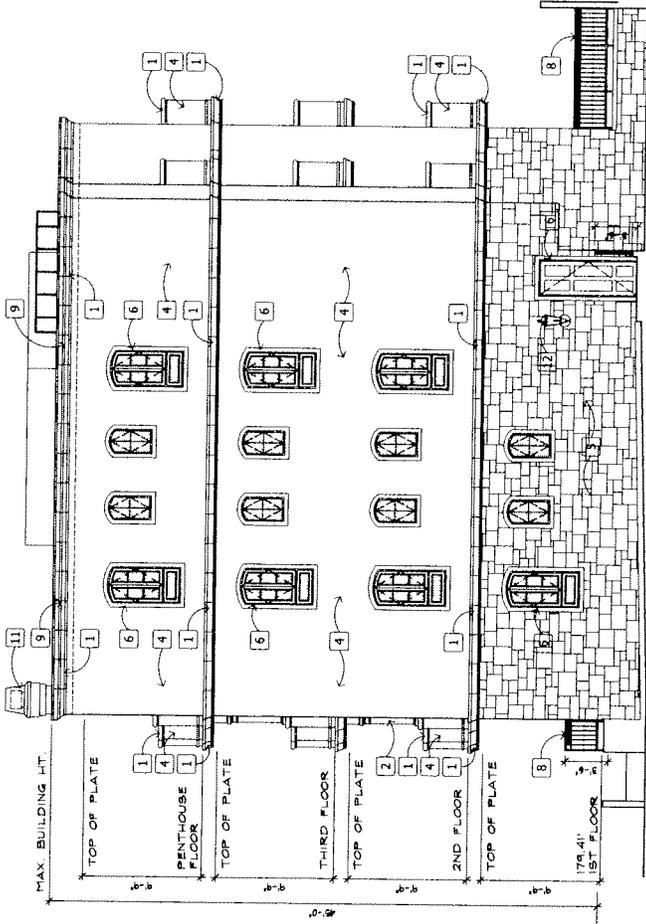


SOUTH ELEVATION

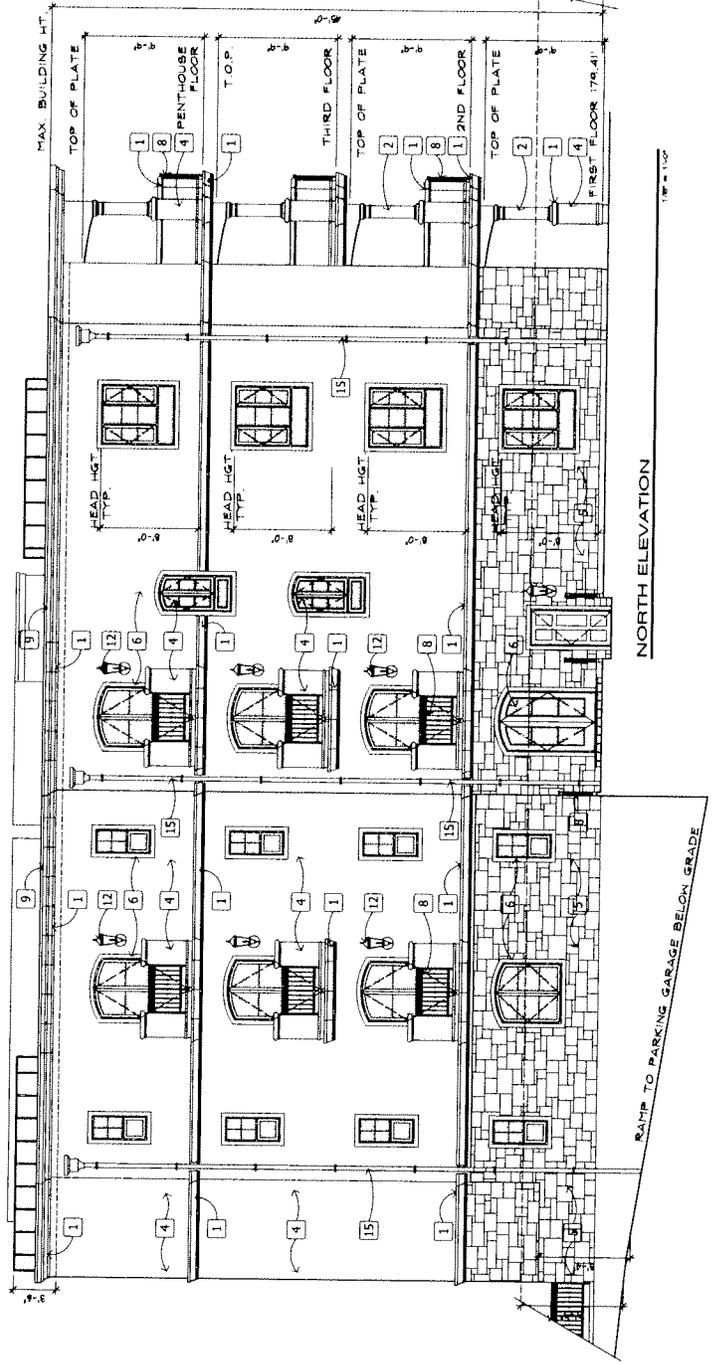
1/8" = 1'-0"

ELEVATION NOTES

- 1 PRECAST CONCRETE TRIM, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 2 PRE-CAST CONCRETE COLUMN, COLOR: SP 138 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 3 PRE-CAST CONCRETE PILLASTER, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 4 SMOOTH STUCCO FINISH, COLOR: NO. 025 "SANDLUMBER" BY LA HABRA STUCCO.
- 5 COUNTRY LEDGESTONE, COLOR: 20042 "MOHAVE" BY CULTURED STONE.
- 6 PRE-CAST CONCRETE TRIM @ DOORS & WINDOWS, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 7 WROUGHT IRON GRILL OVER TEMPERED GLASS AT FRONT ENTRY DOOR.
- 8 WROUGHT IRON RAILING, COLOR: DE 5603 "BLACK WALNUT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
- 9 COPPER SHEET METAL PARAPET CAP.
- 10 COPPER SHEET METAL CORNICE.
- 11 PREFABRICATED COPPER SHEET METAL CHIMNEY CAP.
- 12 EXTENDED LIGHT FIXTURE, COLOR: BRUSHED NIBRISTE BY MIRA GROUP.
- 13 SIX FOOT HIGH WALL CONTIGUOUS AT NORTHERLY PROPERTY LINE TO THE ALLEY.
- 14 NATURAL GRADE AT NORTHERLY PROPERTY LINE.
- 15 COPPER SHEET METAL DOWN SPOUTS.



EAST ELEVATION



NORTH ELEVATION



Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

Attached C:

Revised Detailed Design Description
and Materials (Applicant Prepared)

SECTION 1 – AUTHORIZATION & APPLICANT TEAM

A Property Information

Project Address: 9221 Whitworth Drive/462. Maple Drive
Adjacent Streets: Whitworth Drive & Maple Drive

B Property Owner Information¹

Name(s): Mazliach Gamliel (President) Eyal Gamliel (CEO)
Address: 12049 Guerin St.
City: Studio City State & Zip Code: CA 91604
Phone: 818-980-1967 Fax: 818-980-8118
E-Mail eyalgamliel@aol.com

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Name(s): Leslie Lippich Architect
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

D Architect / Designer Information [Employed or hired by Applicant]

Name(s): Leslie Lippich Architect Registered Architect? Yes No
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

E Landscape Designer Information [Employed or hired by Applicant]

Name(s): Susan E. Mceowen
Address: 3297 Big Oak Lane
City: Castaic State & Zip Code: CA 91384
Phone: 661-294-3753 Fax: 661-294-3765
E-Mail semceowen@yahoo.com

F Agent [Individual acting on behalf of the Applicant] NOTE: All communication is made through the Agent.

Name(s): Leslie Lippich Architect
Address: 4373 Oak Glen Street
City: Calabasas State & Zip Code: CA 91302
Phone: 818-591-2655 Fax: 818-591-2729
E-Mail lippicharchitect@msn.com

G I hereby certify that I am the owner(s) of the subject property and that I have reviewed the subject application and authorize the Agent to make decisions that may affect my property on my behalf.²

Property Owner's Signature & Date


Property Owner's Signature & Date

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Group A – Chairperson or president of the board; Group B – board secretary or chief financial officer.

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 - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

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- New construction
- Façade Remodel ONLY
- Business Identification Sign(s)
Number of signs proposed:
- Building Identification Sign(s)
Number of signs proposed:
- Sign Accommodation (explain reason for the accommodation request below):
Number of signs proposed:
- Other:
- Remodel: Int. & Ext, no floor area added
- Remodel: Int. & Ext, floor area added
- Awning(s): New Recovery
- Open Air Dining: #Tables # Chairs

C Describe the scope of work proposed including materials and finishes:

New 4 story 4 unit condominium project over one level subterranean garage. Type V-A wood frame & stucco building, with precast concrete trim.

C Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/UNITEGIS/>)

- R-4 R-4X R-4 R-4-P R-4X2
- R-3 RMCP C-3 C-3A C-3B
- C-5 C-3T-1 C-3T-2 C-3T-5 C-5

E Lot is currently developed with (check all that apply):

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below):

F Are any protected trees located on the property? (See the City's tree removal guidelines at: <http://www.beverlyhills.org/services/building/plans/tree.asp>.)

Yes No

If YES, provide the following information:

Tree Type: Heritage Tree(s) Native Tree(s) Urban Grove

Species:

Quantity/Sizes:

Reason for Removal:

G Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?

Yes No If yes, please list Architect's name:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Indicate in the chart below all applicable signage details:

	<u>Type of Sign</u> (i.e. business ID, building ID, parking, etc.)	<u>Dimensions</u> (length x width)	<u>Square</u> <u>Feet</u>	<u>Maximum Area Permitted</u> <u>by Code</u>	<u>Maximum Area</u> <u>Permitted w/ Sign</u> <u>Accommodation</u> (if applicable)
1					
2					
3					
4					
5					

C List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):

FAÇADE (List all material for all portions visible from the street)

Material: exterior plaster, precast concrete trim, stone veneer
 Texture /Finish: smooth stucco trim painted with elastomeric paint
 Color / Transparency: x25 Saddleback by Lahabra Stucco, SP 338 Sealpoint by Dunn Edwards & Mojave 20042 Country LedgeStone by Cultured Stone

WINDOWS/DOORS (Include frame, trim, glass, metal, etc.)

Material: wood
 Texture /Finish: stained
 Color / Transparency: Mahogany stain and clear glass

ROOF

Material: type "a" built up composition roofing
 Texture /Finish: cap sheet
 Color / Transparency: medium gray. (not visible from street)

CHIMNEY(S)

Material: G.I. sheet metal chimney cap
 Texture /Finish: painted
 Color / Transparency: DE6306 Gateway Bay by Dunn Edwards

COLUMNS

Material: precast concrete columns
 Texture /Finish: smooth painted
 Color / Transparency: SP 338 Sealpoint by Dunn Edwards

BALCONIES & RAILINGS

Material: wrought iron
 Texture /Finish: painted, semi
 Color / Transparency: DE6063 Black Walnut by Dunn Edwards

OUTDOOR DINING ELEMENTS (List all material for all outdoor dining elements.)

Material: n/a
 Texture /Finish:
 Color / Transparency:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

AWNINGS, CANOPIES

Material: sunbrella fabric awning
Texture /Finish: fire retardant & UV resistant fabric
Color / Transparency: black

DOWNSPOUTS / GUTTERS

Material: copper
Texture /Finish: patina
Color / Transparency: natural

BUSINESS ID SIGN(S)

Material: n/a
Texture /Finish:
Color / Transparency:

BUILDING ID SIGN(S)

Material: n/a
Texture /Finish:
Color / Transparency:

EXTERIOR LIGHTING

Material: cast iron "coach" lites on the building & low silhouette landscape lighting
Texture /Finish:
Color / Transparency: Charcoal "coach" lites, copper & verde green

PAVED SURFACES

Material: Travertine tile pavers by C & C Stone
Texture /Finish: travertine, non-slip surface
Color / Transparency: creamy/beige

FREESTANDING WALLS AND FENCES

Material: Plaster over CMU wall
Texture /Finish: smooth, to match building
Color / Transparency: x25 Saddleback by Lahabra Stucco

OTHER DESIGN ELEMENTS

Material: n/a
Texture /Finish:
Color / Transparency:

D Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:

The landscape design fits the Italianate style of the building while using drought tolerant plant material. The use of Olives & Junipers enhance the elevations of the building. The varying heights of the plant material give the landscape visual interest as well.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)

A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

1. **Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The Maple Drive Villas units will be occupied by four owners, who are already Beverly Hills residence. One unit per floor will allow views in all directions in the spacious elegant floor plan. The architectural style will be "Italianate" which is the most popular in Southern California since 2000.

2. **Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

Having one unit per floor is less than 60% of the allowed density. The four "empty nester" owners will not create unduly noise or traffic.

3. **Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The project is high quality in exterior materials, the ledgestone will provide intimate elegance for years to come. Also the wood doors and windows are of high quality with double glazing.

4. **Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

The project conforms with all zoning, height and set back requirements of the R-4 area and is similar to the newly developed parcels in the immediate surrounding.

5. **Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

The projects size and height is within the limitation of the code. The massing & modulation exceeds the requirements and the density is less than 60% of maximum allowed.

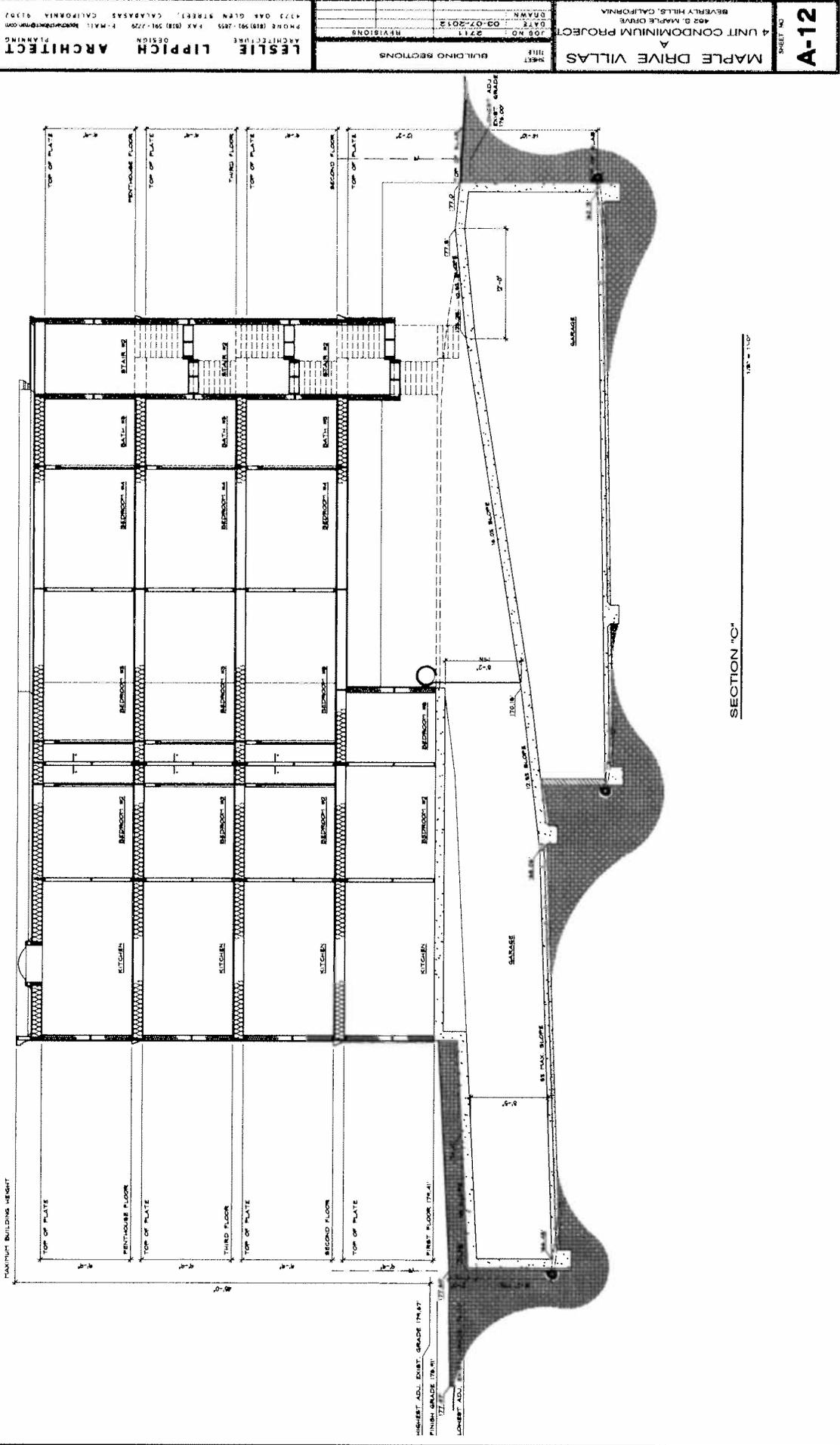


Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

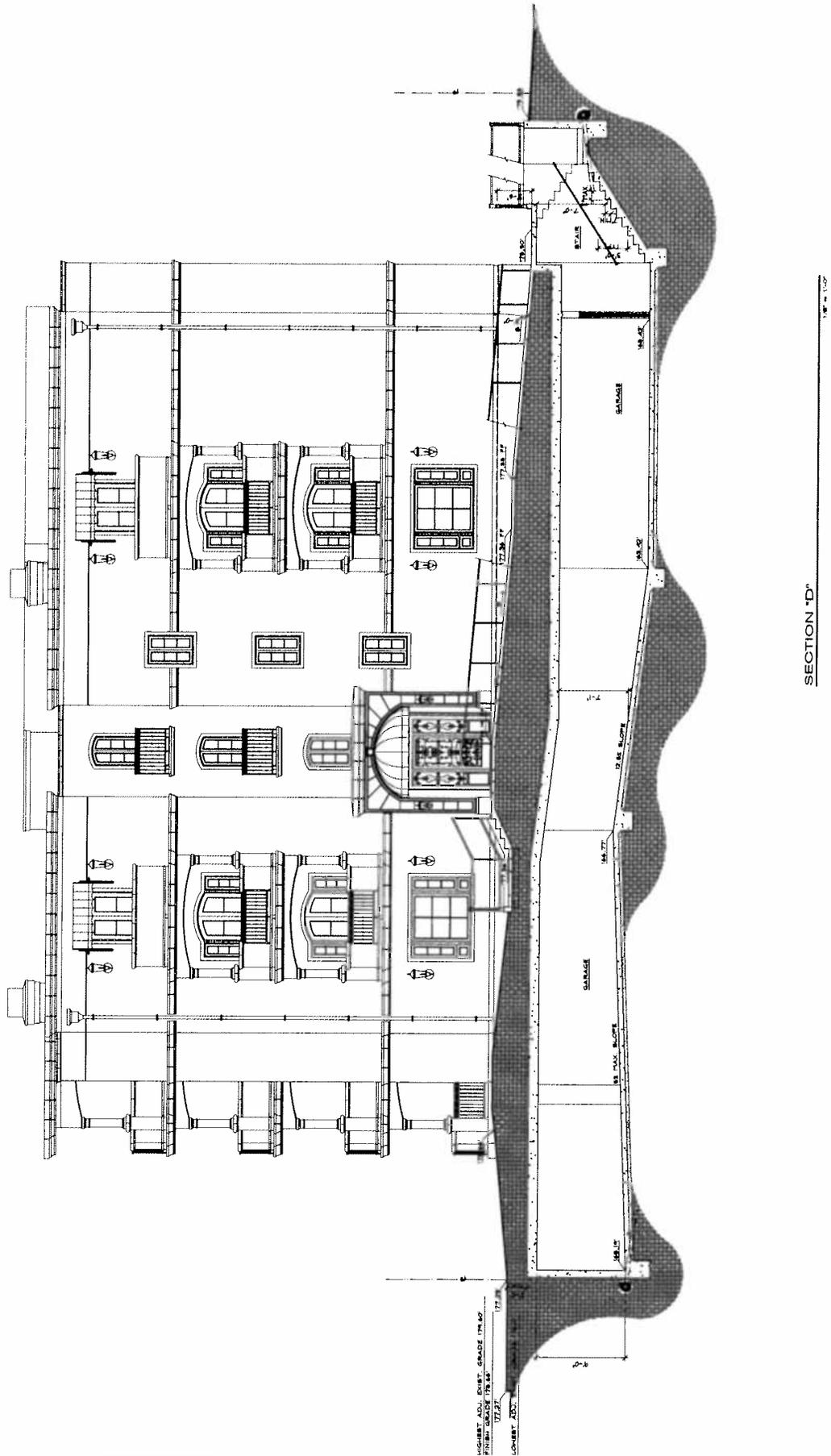
Attached D:

Revised Design Plans, Cut Sheets
and Supporting Documents



DATE	03-07-2013
DRAWN	
JOB NO.	2711
REVISIONS	
TITLE	BUILDING SECTIONS

LESLIE LIPPICH ARCHITECT
ARCHITECTURE
DESIGN
PLANNING
4373 OAK GLEN STREET, CALABASAS CALIFORNIA 91302
PHONE (818) 591-2655 FAX (818) 591-2729 E-MAIL: lel@lelarch.com

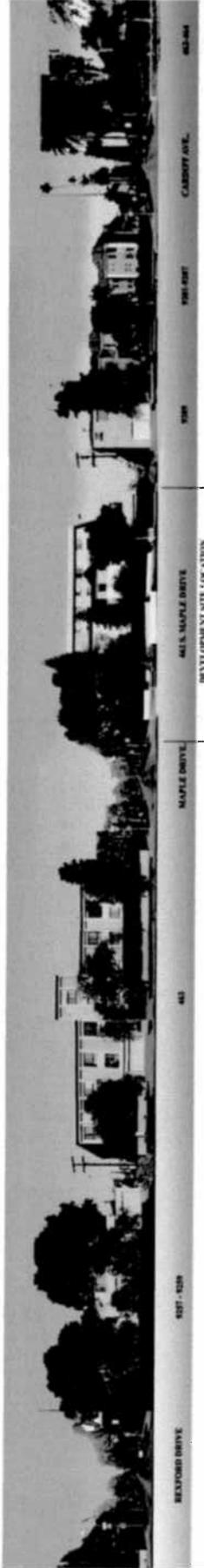


SECTION "D"

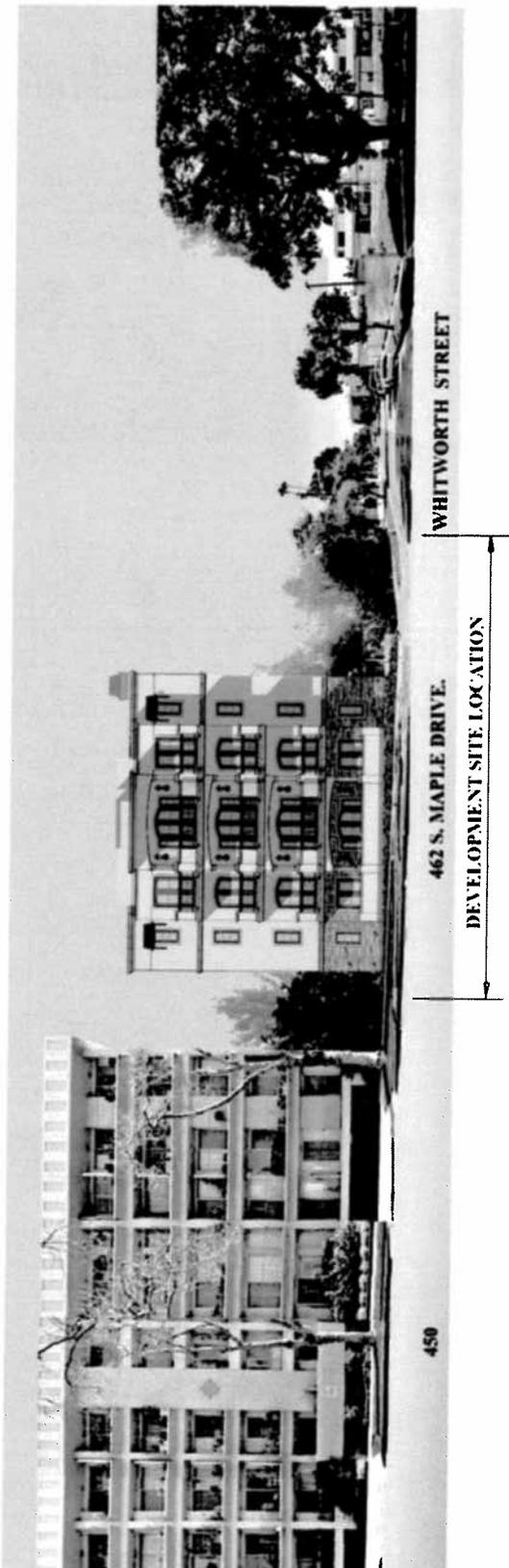
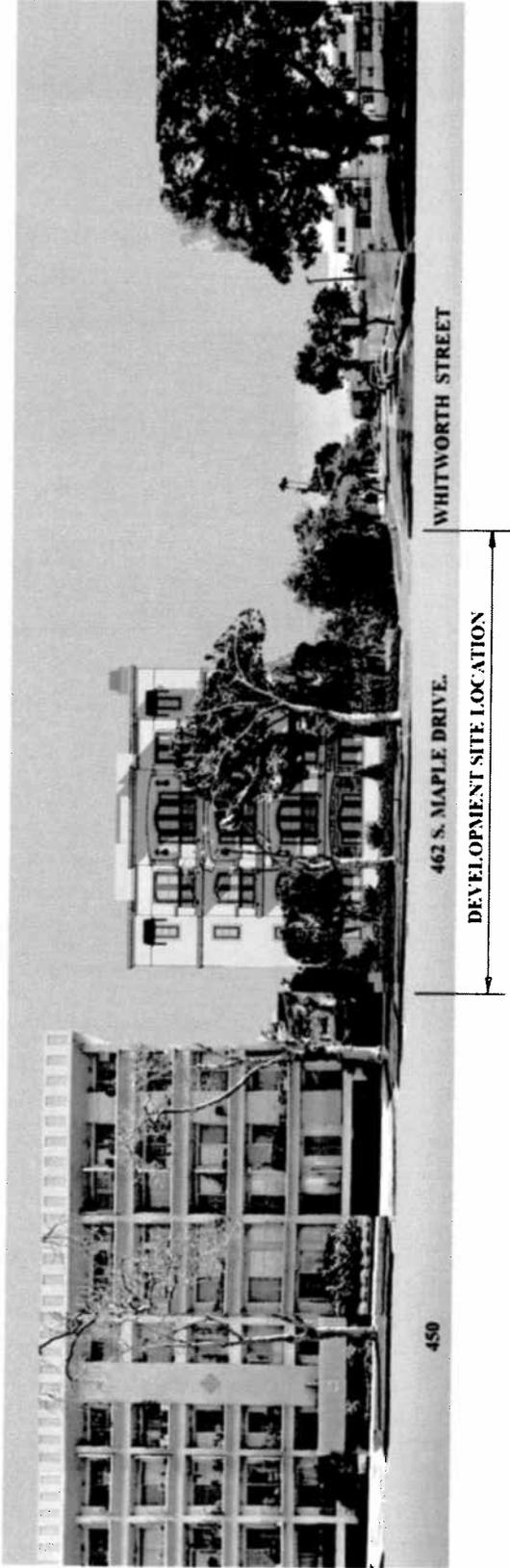
HIGHEST ADJ. EXIST. GRADE 176.80
FINISH GRADE 176.88
177.27
LOWEST ADJ.

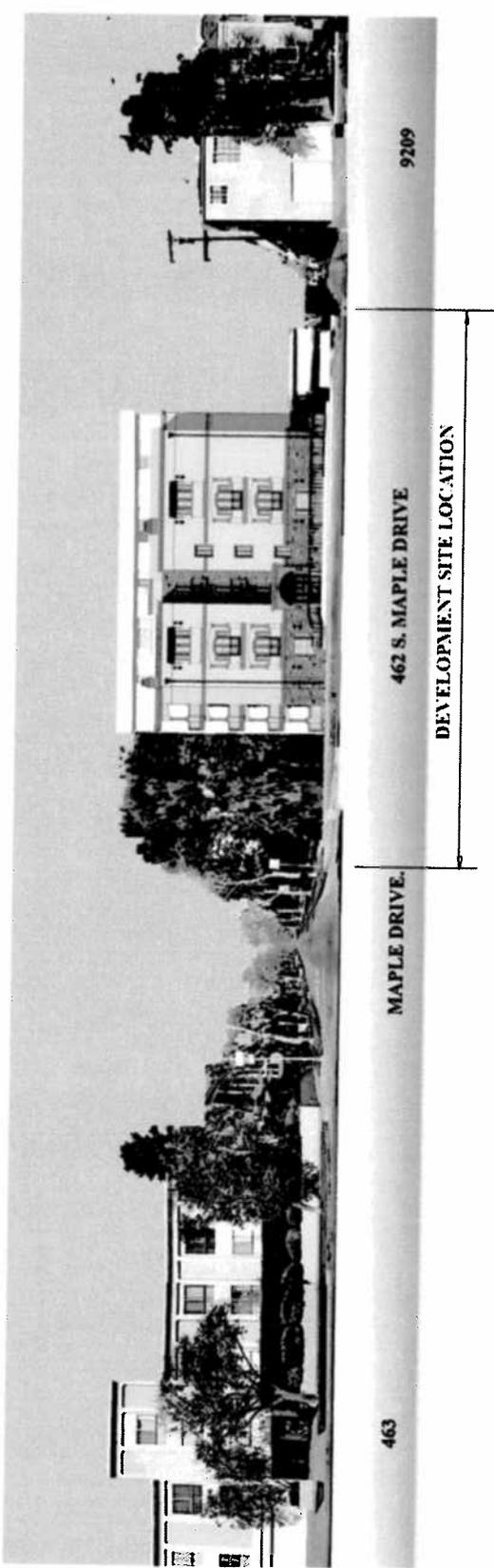
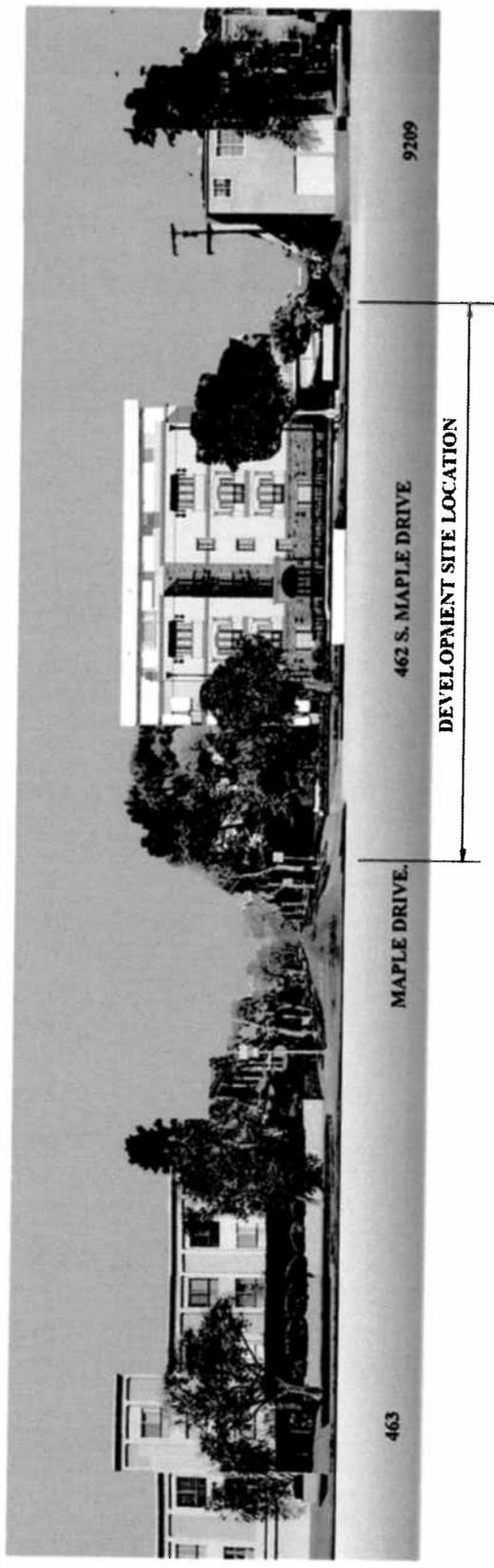
JOB NO.	2713
DATE	03-07-2012
DESIGNER	
REVISIONS	
DATE	
BY	
DATE	
BY	

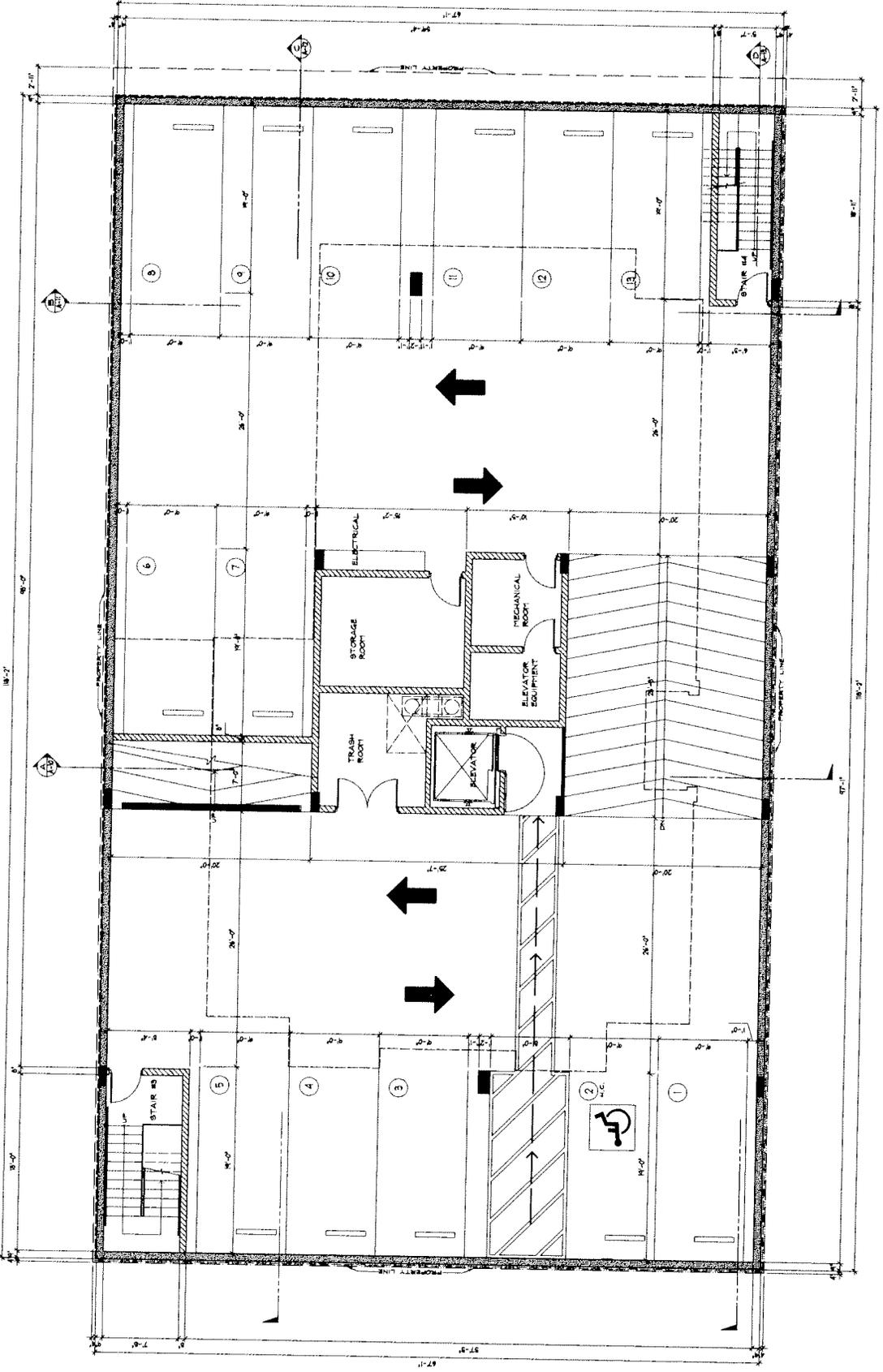
WHITWORTH STREET - NORTH ELEVATION



MAPLE DRIVE - NORTH ELEVATION

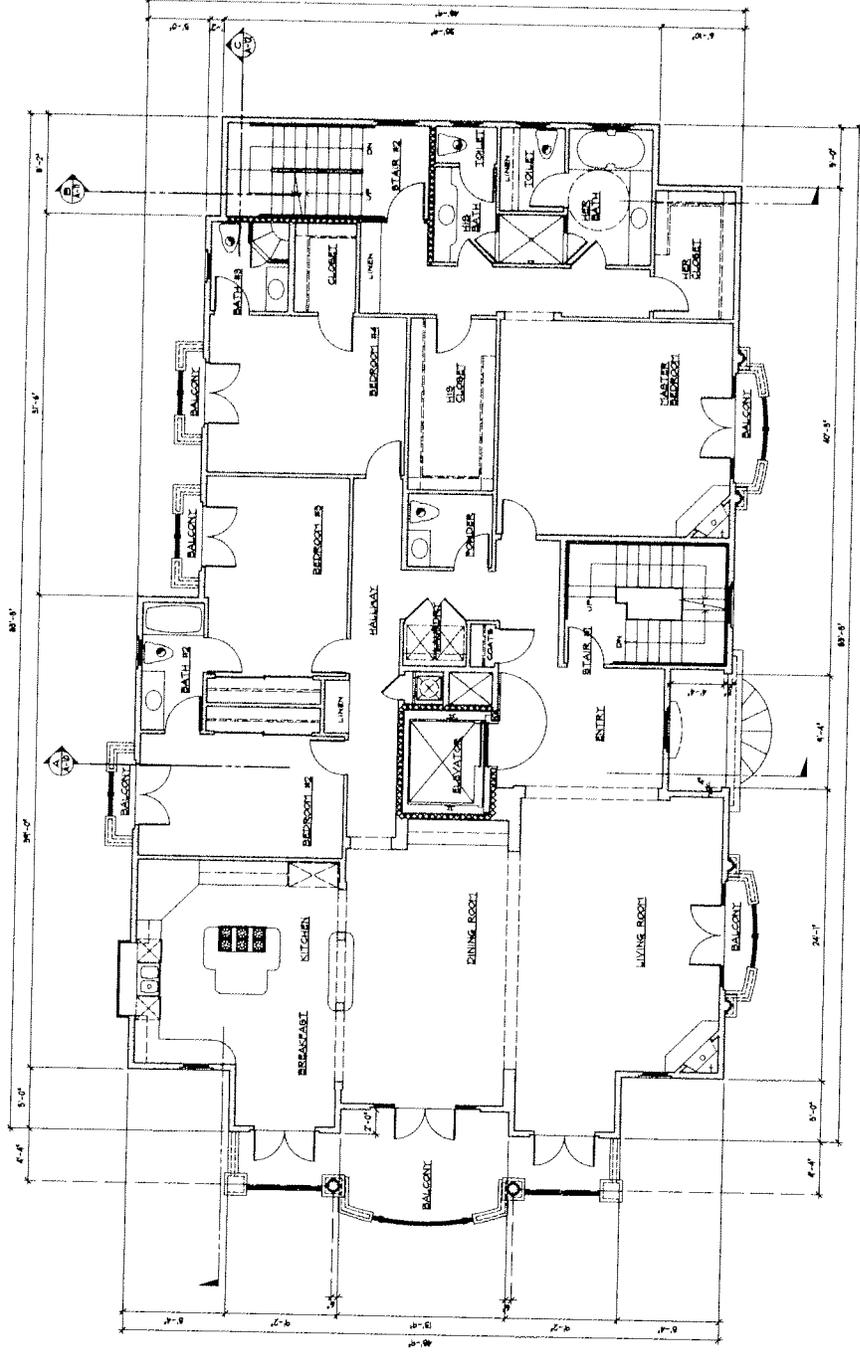






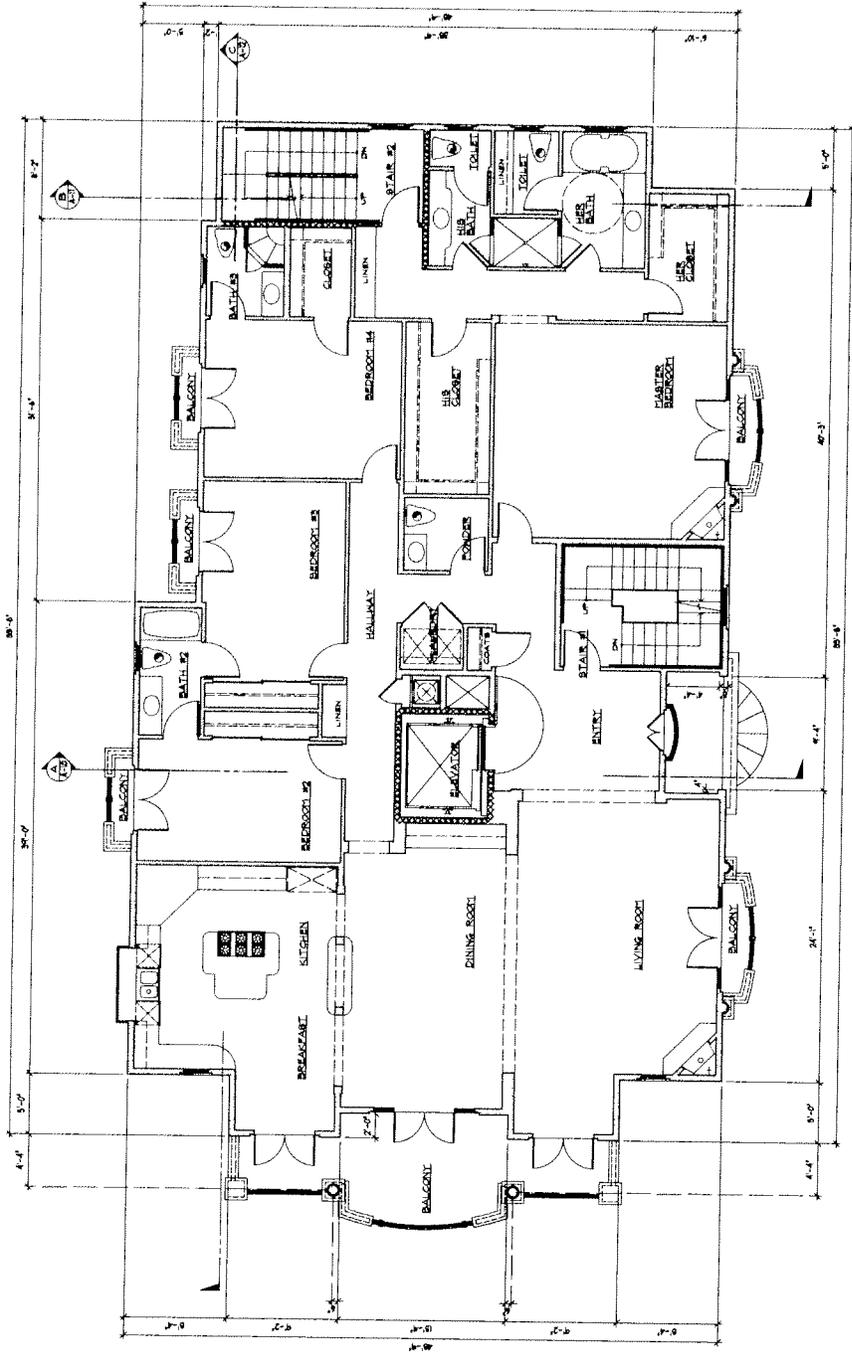
GARAGE FLOOR PLAN

LEGEND
 6" CMU WALL
 SHOTCRETE RETAINING WALL



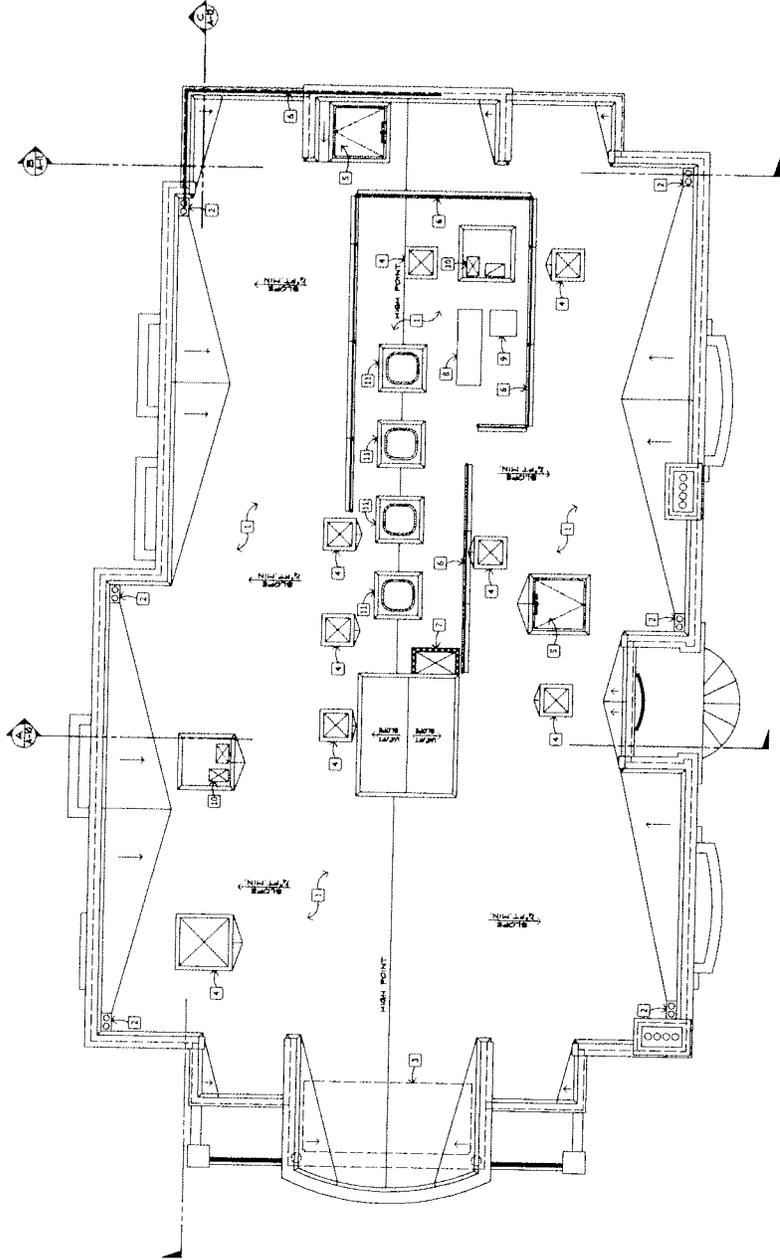
SECOND FLOOR PLAN
3,314 SQ.F.

1/8" = 1'-0"



THIRD FLOOR PLAN
 3,314.60 SQ. FT.

- ROOF PLAN NOTES**
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE, AS AMENDED.
 - 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
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 - 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
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 - 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.
 - 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.



ROOF PLAN

SCALE = 1/8" = 1'-0"

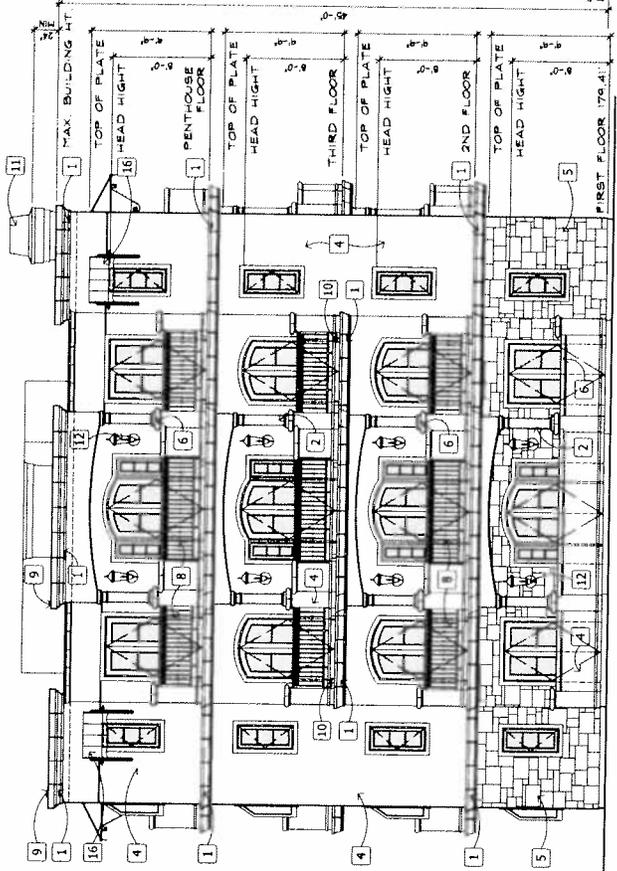
ELEVATION NOTES

- 1 PRE-CAST CONCRETE FIN. COLOR: SF 338 "SEAPOINT". ELASTOMERIC SEMI-GLOSS PAINT BY DUNNEDWARDS.
- 2 PRE-CAST CONCRETE COLUMN. COLOR: SF 338 "SEAPOINT". ELASTOMERIC SEMI-GLOSS PAINT BY DUNNEDWARDS.
- 3 PRE-CAST CONCRETE PILLASTER. COLOR: SF 338 "SEAPOINT". ELASTOMERIC SEMI-GLOSS PAINT BY DUNNEDWARDS.
- 4 COUNTRY LESTONIC. COLOR: 2042 "MOJAVE" BY CULTURED STONE.
- 5 PRE-CAST CONCRETE CAP @ TOP OF PERS & BALCONY WALL. COLOR: SF 338 "SEAPOINT". ELASTOMERIC SEMI-GLOSS PAINT BY DUNNEDWARDS.
- 6 WOODGRIT IRON GRILL OVER TEMPERED GLASS AT FRONT ENTRY DOOR.
- 7 WROUGHT IRON RAILING. COLOR: DR 583 "BLACK WALNUT". ELASTOMERIC SEMI-GLOSS PAINT BY DUNNEDWARDS.
- 8 COPPER SHEET METAL PARAPET CAP.
- 9 COPPER SHEET METAL SCUPPERS.
- 10 PREFABRICATED COPPER SHEET METAL CROWN CAP.
- 11 EXTENSOR LIGHT FIXTURE. COLOR: 884-94 "HERITAGE" BY NEMA GROUP.
- 12 SIX FOOT HIGH WALL CONTINUOUS AT NORTHERLY PROPERTY LINE TO THE ALLEY.
- 13 NATURAL GRADE AT NORTHERLY PROPERTY LINE.
- 14 COPPER SHEET METAL DOWN SPACER.
- 15 DIMBELLA FABRIC FINISH (FIRESEY). COLOR: NO. 8008-0000 "BLACK" BY SUPERIOR FINISH (FIRE RESISTANT & UV RESISTANT).

LESLIE LIPPICH ARCHITECTURE
 DESIGN PLANNING
 4373 OAK GLEN STREET, CARLEBASAS, CALIFORNIA 91107
 PHONE (818) 961-2855 FAX (818) 961-2228
 E-MAIL: LESLIE@LESLIEARCHITECTURE.COM

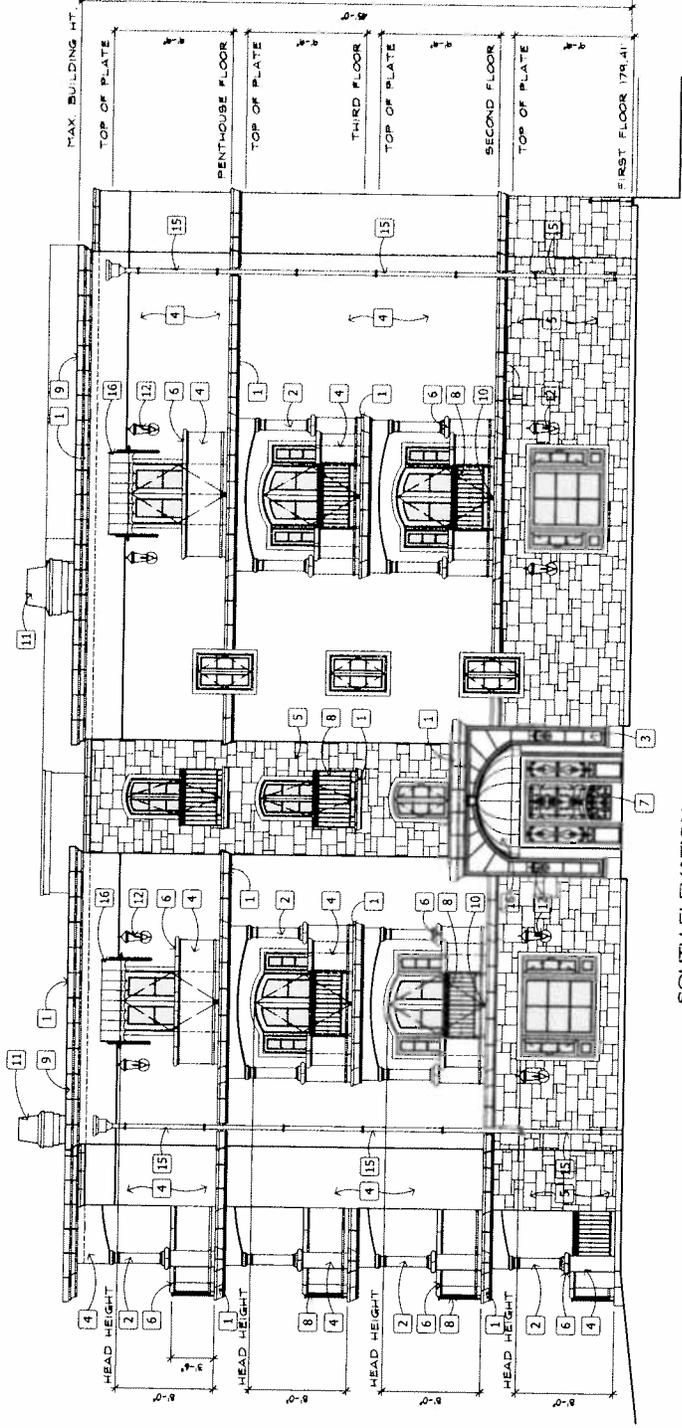
REVISIONS
 DATE: 03-07-2012
 DRAWN: N.W.M.
 CHECKED: J.M.M.
 PROJECT: 4 UNIT CONDOMINIUM PROJECT
 SHEET: EXTERIOR ELEVATIONS
 TITLE: MAPLE DRIVE VILLAS
 402 S. MAPLE DRIVE
 BEVERLY HILLS, CALIFORNIA

MAPLE DRIVE VILLAS
 4 UNIT CONDOMINIUM PROJECT
 SHEET NO. A-8



WEST ELEVATION

HIGHEST ADJACENT EXIST. GRADE 179.60
 FIRST FLOOR 179.41



SOUTH ELEVATION

HIGHEST ADJACENT EXIST. GRADE 179.60
 FIRST FLOOR 179.41

ELEVATION NOTES

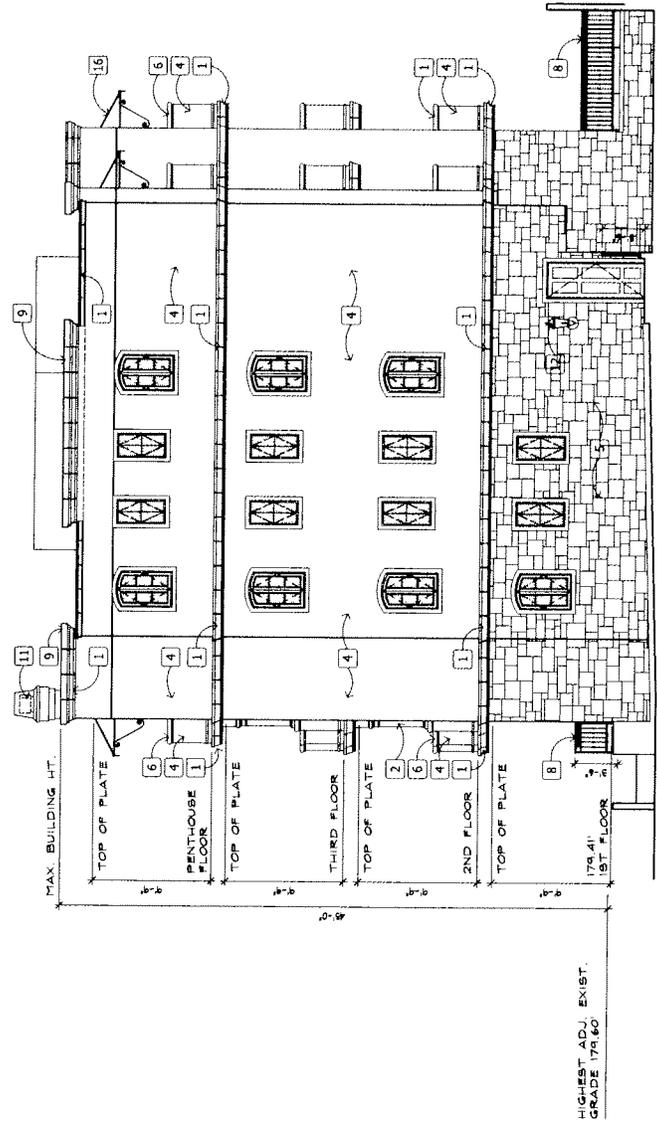
1. PRECAST CONCRETE TRIM, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
2. PRE-CAST CONCRETE COLUMN, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
3. PRE-CAST CONCRETE PULSTUR, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
4. SMOOTH STUCCO FINISH, COLOR: NO. 215 "SADDLEBROW" BY LA HABRA STUCCO.
5. COUNTRY LEDGESTONE, COLOR: 2042 "MCJAVE" BY CULTURED STONE.
6. PRE-CAST CONCRETE CAP ON TOP OF BRICK BALCONY WALL, COLOR: SP 338 "SEALPOINT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
7. WROUGHT IRON GRILL OVER TEMPERED GLASS AT FRONT ENTRY DOOR.
8. WROUGHT IRON RAILING, COLOR: DE 660 "BLACK WALNUT", ELASTOMERIC SEMI-GLOSS PAINT BY DUNN-EDWARDS.
9. COPPER SHEET METAL PARAPET CAP.
10. COPPER SHEET METAL COPPERS.
11. PREFABRICATED COPPER SHEET METAL GUTTER CAP.
12. EXTERIOR LIGHT FIXTURE, COLOR: BRUSH "VERDE" BY ROMA GROUP.
13. SIX FOOT HIGH WALL CONTIGUOUS AT NORTHERLY PROPERTY LINE TO THE ALLEY.
14. NATURAL GRADE AT NORTHERLY PROPERTY LINE.
15. COPPER SHEET METAL DOWN SPOUTS.
16. SANGRIA FABRIC ANGING (STREETS), COLOR: NO. 82008-000 "BLACK", BY SUPERIOR AWNING, (FIRE RETARDANT & UV RESISTANT).

LESLIE LIPPICH ARCHITECTURE ARCHITECTS DESIGN PLANNING
 PHONE (818) 391-2855 FAX (818) 391-2279
 4727 OAK GLEN STREET, CALIFORNIA 91302
 E-MAIL: leslie@lelippich.com

REVISIONS
 DATE 03-07-2012
 JOB NO. 2713
 SHEET TITLE EXTERIOR ELEVATIONS

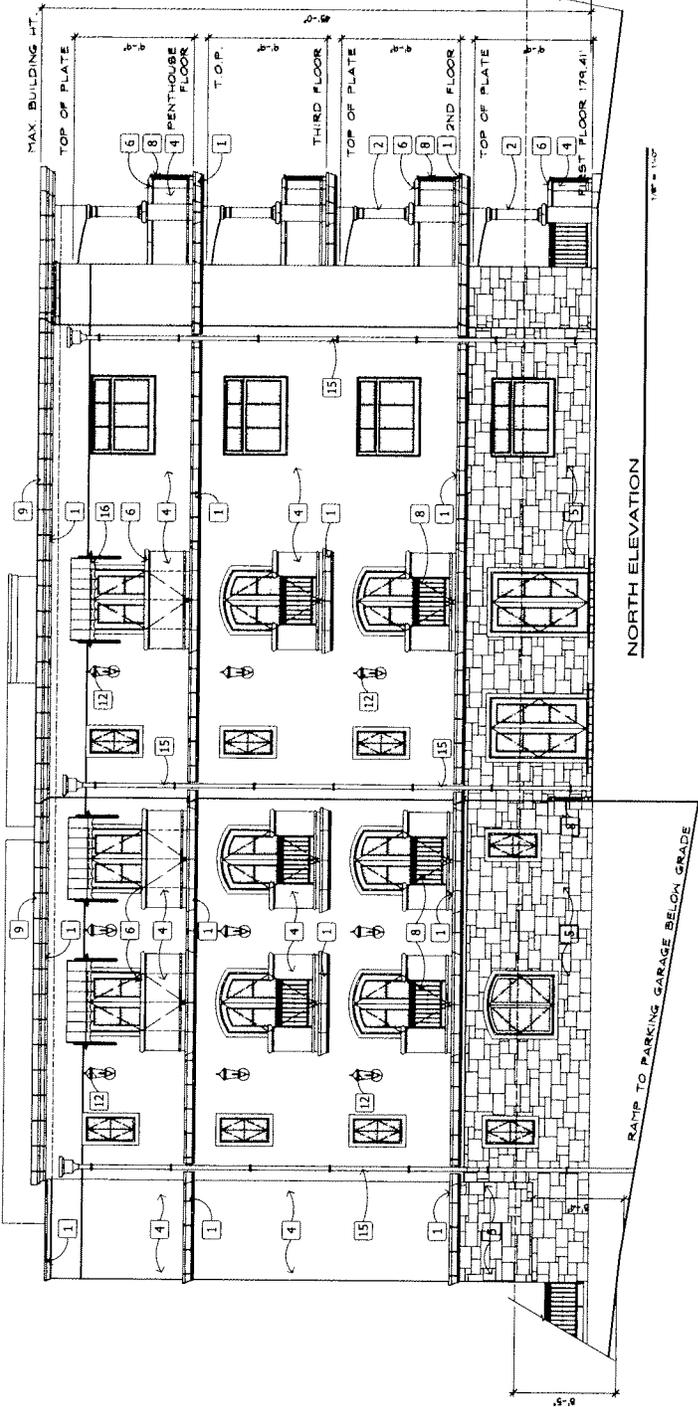
MAPLE DRIVE VILLAS
 4 UNIT CONDOMINIUM PROJECT
 462 S. MAPLE DRIVE
 BEVERLY HILLS, CALIFORNIA

A-9
 SHEET NO.



EAST ELEVATION

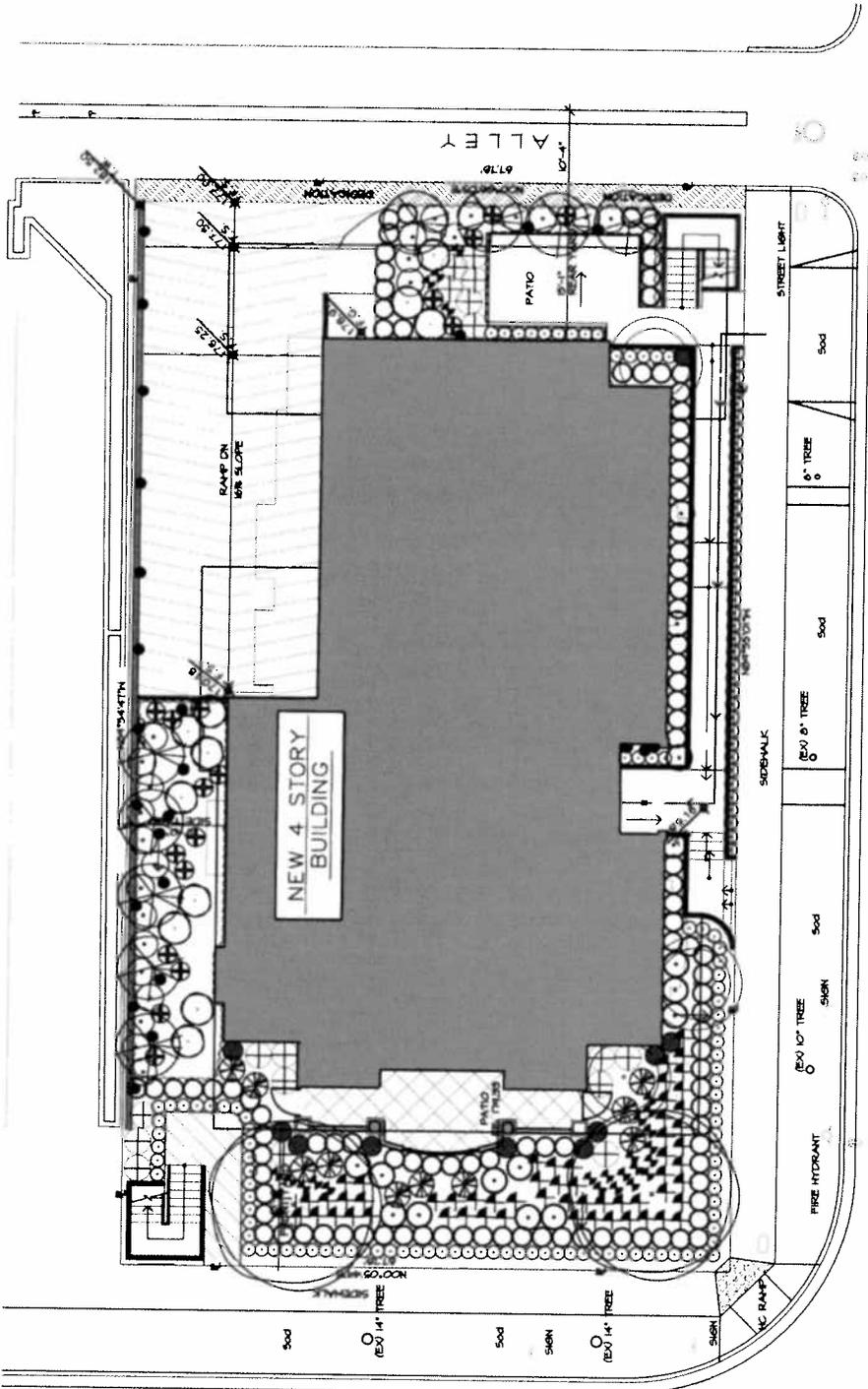
1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"

SOUTH MAPLE DRIVE



PLANTING PLAN

SCALE: 3/32" = 1'-0"

Plant Material Legend	Symbol	Botanical/Common Name	Qty.	Size	Comments	Miscote III
Tree	○	Black Bay	4	24"-Box		low
	○	Heliconia maculata	5	36"-Box		low
	○	Olea e. Nilssonii Olive	2	36"-Box		low
	○	Abutilon hybrid Chinese Lantern	11	5'-Gal		mod
	○	Agave attenuata 'Alamo' Lily-of-the-valley	36	1'-Gal		mod
	○	Yucca filifera 'Blue Bird' Little Olive	144	5'-Gal		low
	○	Yucca filifera 'Blue Bird' Little Olive	11	5'-Gal		low
	○	Yucca filifera 'Blue Bird' Little Olive	10	15'-Gal		low

WHITWORTH DRIVE

- Hydrangea macrophylla
- Ligustrum x 'Suzanne River'
- Sakurame River Privet
- Bortherococcus truncatata
- Buxium M
- Phlox paniculata
- Philadelphus coronarius
- Rose pink bedding
- Pink Bedding Rose
- Philadelphus L. 'Bark Ball'
- Gold Ball Forsythia
- Zantedeschia aethiopica
- Calla Lily
- Compositae jantenschlagiana
- Compositae Balthasar
- Maritima Sod
- Sod
- Walk on bark - off planters



OWNER: MAPLE CONDOS LLC
 12016 1/2 GUERIN ST.
 BEVERLY HILLS, CA. 90210
 818-980-1067

PROJECT: MAPLE DRIVE VILLAS
 7 UNIT CONDOMINIUM
 462 S. MAPLE DR.
 BEVERLY HILLS, CA.

SHEET TITLE: PLANTING PLAN

L-1

462 S. MAPLE

THE OFFICE OF
 SUSAN E. MCGOWEN
 LANDSCAPE ARCHITECT 218
 A CALIFORNIA LICENSED PROFESSIONAL
 12016 1/2 GUERIN ST.
 BEVERLY HILLS, CA 90210
 818-980-1067
 www.susanemcgowen.com



Design Review Commission Report

455 North Rexford Drive
AC Meeting – March 21, 2012

Attached E:
Approval Resolution

RESOLUTION NO. AC-XX-XX

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW A NEW FOUR-STORY CONDOMINIUM BUILDING ON THE PROPERTY LOCATED AT 375 NORTH BEVERLY 9221 WHITWORTH DRIVE (PL1202054).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Leslie Lippich, AIA, applicant on behalf of the property owner, Maple Drive Villas LLC (Mazliach Gamliel – President, Eyal Gamliel-CEO), (Collectively the “Applicant”), has applied for architectural approval of a new four-story condominium building to be located at 9221 Whitworth Drive.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been environmentally reviewed pursuant to provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, *et seq.* (“CEQA”), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*), and the City’s Local CEQA Guidelines (hereafter the “Guidelines”), and the City’s environmental guidelines, and a Class 2 Categorical Exemption has been issued in accordance with the requirements of Section 15302 of the

Guidelines for construction associated with replacement or reconstruction of existing structures.

Additionally, the Project qualifies for a Class 3 Categorical Exemption in accordance with the requirements of Section 15303 of the Guidelines for constructions association with new multi-family residential structures of not more than six dwellings units in an urbanized area. Therefore, the Project will not result in significant environmental impact.

Section 5. The Architectural Commission conducted a duly noticed public hearing on March 21, 2012 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environmental less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a "character contributing building": in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a "character contributing building" under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.

7. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Special Conditions

8. No special conditions are proposed for this project.

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: March 21, 2012

Shena Rojemann, Commission Secretary
Community Development Department

Fran Cohen, Chair
Architectural Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, SHENA ROJEMANN, Secretary of the Architectural Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. AC-XX-XX duly passed, approved, and adopted by the Architectural Commission of said City at a meeting of said Commission on March 21, 2012 and thereafter duly signed by the Secretary of the Architectural Commission, as indicated; and that the Architectural Commission of the City consists of seven (7) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

SHENA ROJEMANN
Secretary to the Architectural
Commission/Associate Planner
City of Beverly Hills, California



NOTICE OF ACTION

CITY OF BEVERLY HILLS

REQUEST: *Minor Accommodation* to allow the extension of a legally nonconforming side setback so that a second story addition may be constructed in-line with the existing footprint of a single family residential property with a legally nonconforming side setback located in the Central Area of the City.

**PROJECT :
ADDRESS** *716 Alta Drive*

APPLICANT: Vladi Tomalevski
2332 Cotner Ave.
Los Angeles, CA 90064
(310) 914-5577

**PROPERTY
OWNER:** Kamran Samooha
9915 Anthony Place
Los Angeles, CA 90210

**PROJECT
PLANNER;** Ryan Gohlich
Associate Planner

ACTION: **APPROVED, SUBJECT TO THE ATTACHED CONDITIONS AND
REQUIRED FINDINGS**

Approved by

Handwritten signature of Jonathan Lait in black ink.

Jonathan Lait, AICP, City Planner

1/31/11
Date

Decisions made by the Director of Community Development may be appealed to the City Council within fourteen (14) days of the Director's action by filing a written appeal with the City Clerk. Appeal forms are available in the City Clerk's office. (Note: Appeal Fee Required.)

Minor Accommodation
716 Alta Drive
January 31, 2011

PROJECT DESCRIPTION AND AREA CHARACTERISTICS

The property is located on the east side of the 700 block of Alta Drive in the Central Area of the City, and is surrounded by single-family residential development. The property is currently developed with a two-story single-family home.

The proposed project includes the addition of approximately 515 square feet to the first and second floors of the existing residence. Approximately 63 square feet of the addition area, located along the south elevation of the structure, would be located over a portion of the existing house with a legally nonconforming side setback. Because this 63 square feet of the addition does not conform to current setback requirements, a Minor Accommodation is required to allow for the extension of the legally nonconforming side setback. The addition will have a maximum height of 26 feet measured from average grade, and will be architecturally consistent with the theme of the existing structure.

ENVIRONMENTAL ASSESSMENT

The project has been reviewed pursuant to the California Environmental Quality Act (CEQA), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 et seq.), and the City's Local CEQA guidelines. A Class 1 (15301(a) Categorical Exemption (Minor Alterations to Existing Residential Structures) has been issued in accordance with the requirements of Section 15062 for the additions and alterations to the primary residential structure.

PUBLIC NOTICE AND COMMENTS

A Notice of Pending Decision was mailed on December 22, 2010 to all property owners and residential occupants within three hundred feet (300') of the exterior boundaries of the project site. In addition, a notice was posted on the site facing Alta Drive. In assessing the project staff also conducted a site visit at the neighboring property to the south to determine whether the project would result in impacts.

REQUIRED FINDINGS

Minor Accommodation

In accordance with Article 24 of the Beverly Hills Municipal Code (BHMC), a legally nonconforming side setback may be extended (10-3-2406) with the approval of a Minor Accommodation Permit if the reviewing authority finds that the project will not have a substantial adverse impact on or be detrimental to the following:

1. *The scale and massing of the streetscape;*

The proposed addition would be located at the rear portion of the main residence at the second story level, and at a distance of approximately 97 feet from the front property line. The total height of the proposed addition would be 26 feet measuring from the average grade, which would match the existing height of the residence. The height of the proposed addition would exceed the standard nonconforming side setback height requirement of 14 feet by 12 feet. The total area of the addition requiring the Minor Accommodation is approximately 63 square feet, and a minimum of a 5 foot 9 inch setback is provided for the area under review. Because the addition is consistent with the architectural style of the residence, and would not be visible from the street, the addition is not anticipated to have an adverse impact on the scale and massing of the streetscape as viewed from Alta Drive.

2. *The neighbors' access to light and air;*

The portion of the proposed addition requiring the Minor Accommodation would be located 5 feet 9 inches from the side property line with a maximum height of 26 feet. The addition is located toward the rear of the residence and is located adjacent to the neighboring residence, but not adjacent to the rear yard space of any neighboring properties. Existing trees and hedges separate the two properties, and results in the addition being minimally visible from the neighboring property. Additionally, the portion of the addition requiring the Minor Accommodation totals approximately 63 square feet. Due to the limited size of the portion of the project requiring the Minor Accommodation, as well as the separation from the neighbor's rear yard area and existing vegetation, no adverse impact to the neighbors' access to light and air is anticipated.

3. *Neighbors' Privacy;*

The proposed addition will create added height along the south side property line; however, the addition is located adjacent to the neighboring residence and not adjacent to the neighbor's rear yard area. Additionally, existing, dense landscaping along the side property line aides in screening the project from the adjacent property. Because of the

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location of the addition in relation to the neighboring property and the screening created by the existing landscaping, no adverse impact to the neighbors' privacy is anticipated.

4. *The Garden Quality of the City;*

The proposed project does not include any modifications to existing landscaping. The existing landscaping is mature and appropriately scaled with the design of the house. Because no changes will be made, the project is not anticipated to adversely impact the garden quality of the city.

Conditions of Approval

1. The second-floor windows along the south elevation of the residence may be replaced, but shall not be increased in size beyond the existing dimensions of 3'6" x 3'6".
2. The project shall be constructed in substantial compliance with the plans approved by the City on January 31, 2011.
3. Any modifications to the approved plans shall be returned to staff for further review and assessment.
4. All existing trees and hedges along the south elevation of the residence, as shown on the approved landscape plan, shall be maintained throughout the life of the project, and replaced if damaged or removed as a result of construction. Further, all such landscaping shall be maintained in accordance with the provisions of the Beverly Hills Municipal Code.