



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 285-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, November 5, 2015

Subject: **143 NORTH CARSON ROAD (PL1528441)**

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Omar Santillan – Amit Apel Design Inc.

Recommendation: Conduct public hearing and provide the applicant with design guidance.

REPORT SUMMARY

The applicant is requesting review and approval of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The proposed style is identified by the applicant as Modern International; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

While the design expresses a contemporary style, the overall aesthetic appears overly busy in its execution. The projecting steel bands compete with the front entry, which is subsequently diminished in an undesirable manner. Additionally, the scale of the railings and steel elements appear heavy and should be refined so as not to overwhelm the overall design and to incorporate a necessary hierarchy to the various architectural elements. It should be noted that the plans identify the railings as a wood material whereas the material board identifies them as a steel material; further clarification should be provided on the preferred material.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Prior to the filing of the Design Review application, the existing single family residence on the site was reviewed and found to be a potential historic resource designed by a party listed on the City's Master Architect list (Pacific Ready-Cut Homes). Pursuant to BHMC §10-3-3218, any work involving a change in

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the city's list of master architects shall be subject to a thirty (30) day holding period prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). Since no action was initiated to designate the subject property within the 30-day holding period, the subject property is not considered to be a historic resource in the City of Beverly Hills and the processing of the pending demolition permit may proceed.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet and the block face of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 23, 2015; the site was posted on Monday, October 26, 2015. To date staff has not received comments in regards to the submitted project.



Design Review Commission Report

455 North Rexford Drive

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Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

The proposed architecture style is Modern International Style. This style is achieved by the implementation of minimalistic and rectangular architectural forms which are seen throughout the design. Facade composition is asymmetrical which establishes strong but yet pleasing architectural language. All wall surfaces are smooth white and gray typical of modern but wood surfaces are also used to create a sense of warmth into the design. Decorative details are very minimal other the overhang projections. Flat roof is proposed in this design, typical of modern homes. Aluminum and stainless steel are used to give the modern sleek contemporary look.

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|--------------------------------------|-------------------------------|------------------------------|
| <input checked="" type="radio"/> R-1 | <input type="radio"/> R-1.5X2 | <input type="radio"/> R-1.8X |
| <input type="radio"/> R-1X | <input type="radio"/> R-1.6X | |
| <input type="radio"/> R-1.5X | <input type="radio"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 50' x 130' Lot Area (square feet): 6,500.00
 Adjacent Streets: WILSHIRE BLVD & CLIFTON WY

E Lot is currently developed with (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Single-Story Residence | <input type="checkbox"/> Two-Story Residence |
| <input type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes , please list Architect’s name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:
 N/A

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	25'	14'	25'
Roof Plate Height:	22'	22'	22'
Floor Area:	4,100.00		4,087.00
Rear Setbacks:	30'	29'	30'
Side Setbacks:	S/E 9' N/W 5'	S/E 11'-8" N/W 4'	S/E 9' N/W 5'
Parking Spaces:	4	2	4

C List the specific materials and finishes for all the architectural features of the project (Be Specific):
FAÇADE (List all material for all portions visible from the street)

Material: STUCCO TexSton-Carrera™
Texture /Finish: SMOOTH
Color / Transparency: WHITE-SMO-SDS15

WINDOWS (Include frame, trim, glass, metal, etc)
Material: Thermally Improved Aluminum, Milgard Manufacturing, Inc.
Texture /Finish: Smooth
Color / Transparency: Dark Gray

DOORS (Include frame, trim, glass, metal, etc)
Material: Wood Panel and Stainless Steel Oikos Door
Texture /Finish: Smooth
Color / Transparency: Wood mahogany and Gray

PEDIMENTS
Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

ROOF
Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

CORBELS
Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

CHIMNEY(S)
Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: Steel
Texture /Finish: Smooth
Color / Transparency: Dark Gray

BALCONIES & RAILINGS

Material: Steel (Cable railings by Hanse Architectural Systems.
Texture /Finish: Smooth
Color / Transparency: GRAY

TRELLIS, AWNINGS, CANOPIES

Material: Steel
Texture /Finish: Smooth
Color / Transparency: Dark Gray

DOWNSPOUTS / GUTTERS

Material: Aluminum
Texture /Finish: Painted
Color / Transparency: DARK Gray

EXTERIOR LIGHTING

Material: Aluminum construction with white mitered glas
Texture /Finish: smooth
Color / Transparency: Dark gray and white

PAVED SURFACES

Material: Concrete Pavers (Pavestone)
Texture /Finish: Sierra Blend RumbleBeige /Creamstone
Color / Transparency: Beige /Cream

FREESTANDING WALLS AND FENCES

Material: Wood and steel
Texture /Finish: smooth
Color / Transparency: Wood mahogany, dark gray steel

OTHER DESIGN ELEMENTS

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

Landscape uses a classical plant palette, complimentary to the character of the neighborhood and architecture. A 48" box Palo verde in the front provides canopy and scale at time of planting. Plants were selected for climate appropriateness, drought tolerance and seasonal color and beauty.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development’s design exhibits an internally compatible design scheme.

The proposed development suggests a seamless transition of the the street-scape, to the landscape, and to the proposed dwelling. Colors and textures of the landscape will blend with the colors and textures of the proposed design. Such as wood facade and smooth white/gray plaster . Moreover, coherence will be established by the proportions of the architectural mass and the landscape scale.

2. Describe how the proposed development’s design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

The minimalistic look will bled with the current street scape. The sleek architectural style is not overwhelming or overpowering rather the facade composition was articulated is such as way that reduces the effect of appearing massive. Also glass openings make the design appeared lighter. Wood panel are use to make sure the design preserves warmth and home effect and not of commercial building.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

Sleek design and modern composition will enhance the appearance of the neighborhoods trough the choice of materials such as white/gray smooth plaster and wood paneling which gives the contemporary home look that is very attractive.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

All windows facing the neighbors are strategically located to give privacy. All bathroom windows facing neighbors will have obscure glass treatment and the windows at stair will be 5' away from the first landing. No balconies are facing side neighbor and the balcony at the back elevation only faces the backyard.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

Base on the street scape analysis the proposed design style ties and integrates to the neighborhood. It will enhance the the current street block. The scale is well proposition and is balance compared to other current dwellings along the street.

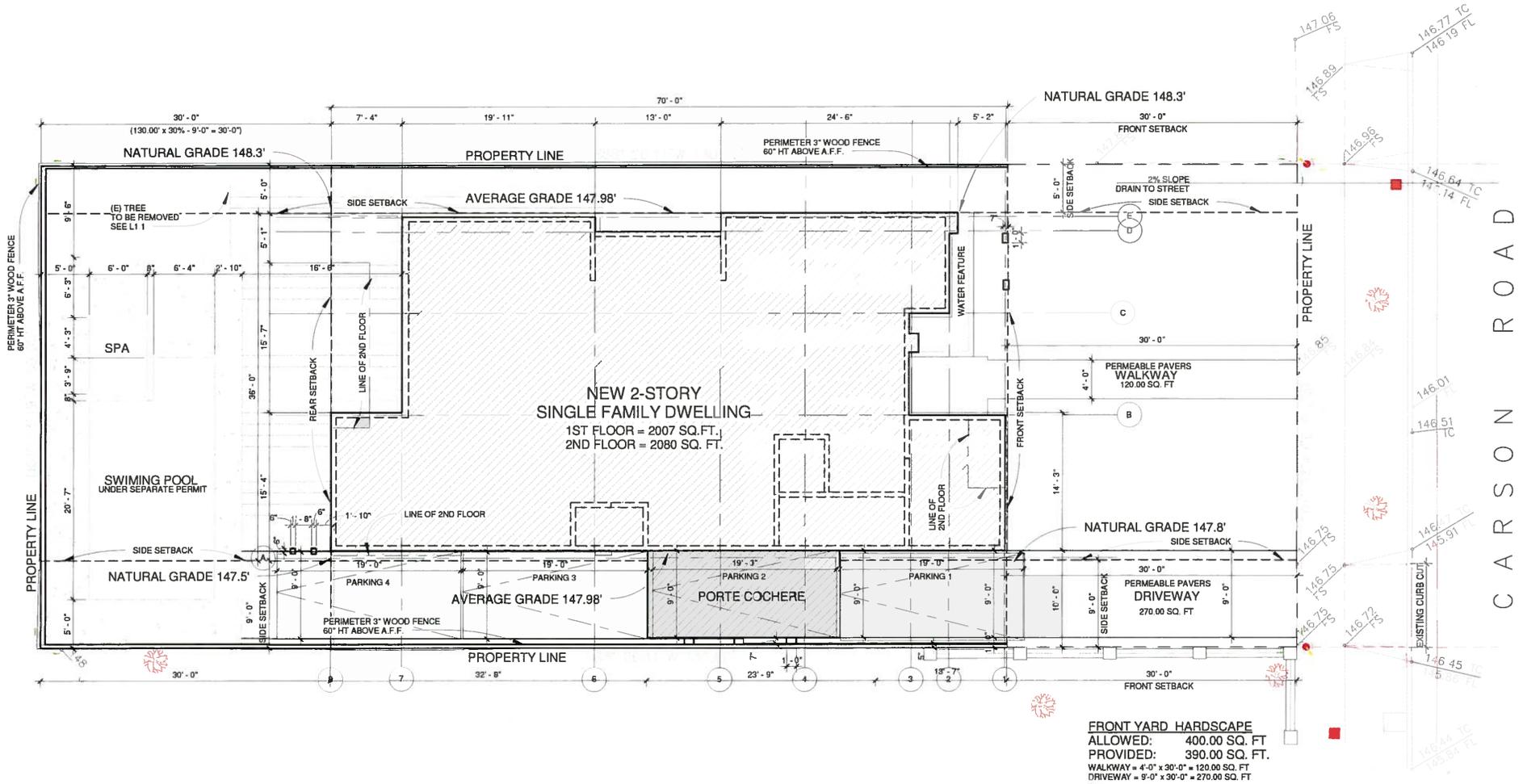


Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment B
Project Design Plans



Project Name: CARSON PROJECT
 Date: 9/28/2015 6:32:06 PM
 Scale: 1" = 10'-0"
 Proj. Number: 15-0018

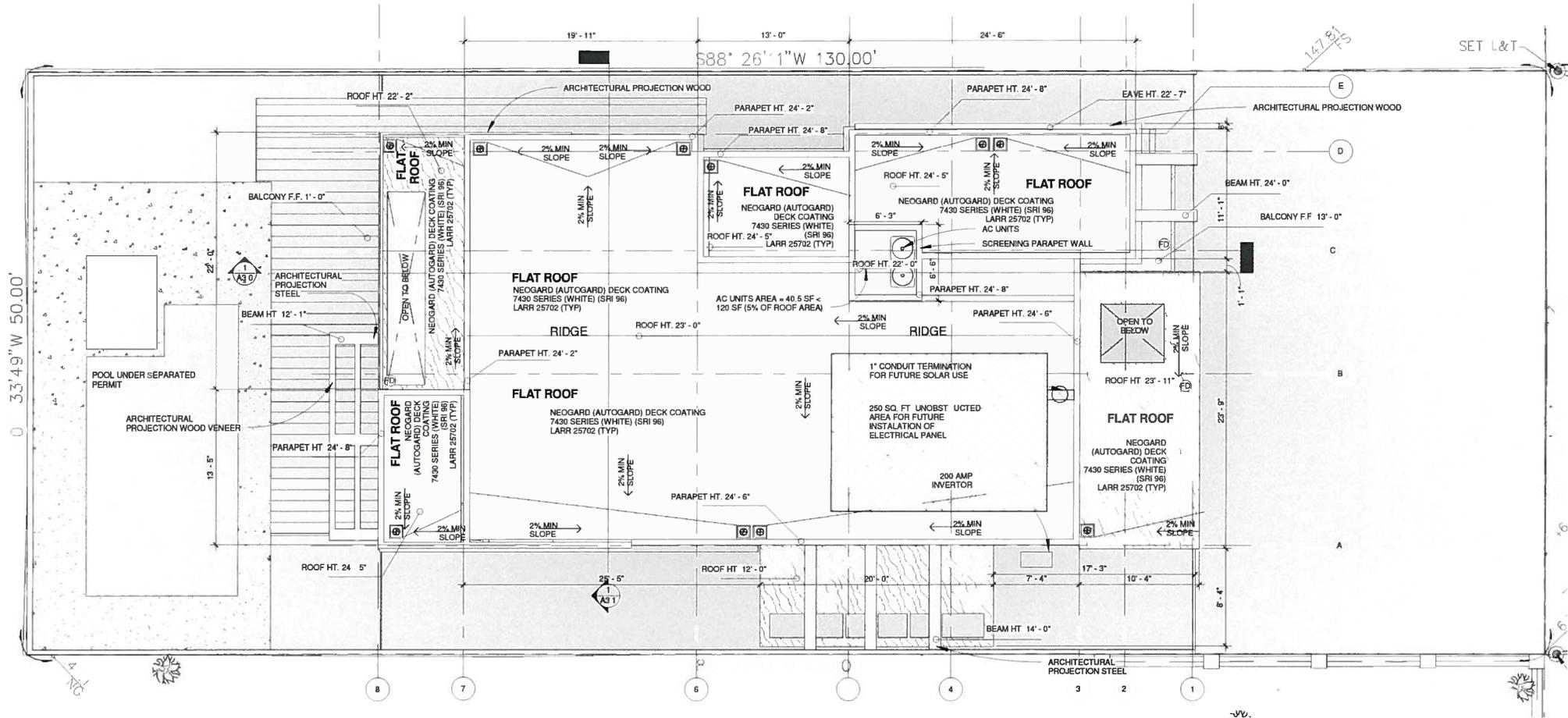
PLOT PLAN



AMIT APEL DESIGN INC.
 6411 INDEPENDENCE AVE.
 Woodland Hills, CA. 91367
 Ph. 818.346.9828 Fax 310.919.3001
 www.apel.design.com
 apel.design.4u@aol.com



A1.0



1 ROOF PLAN
1/8" = 1'-0"

ROOF PLAN

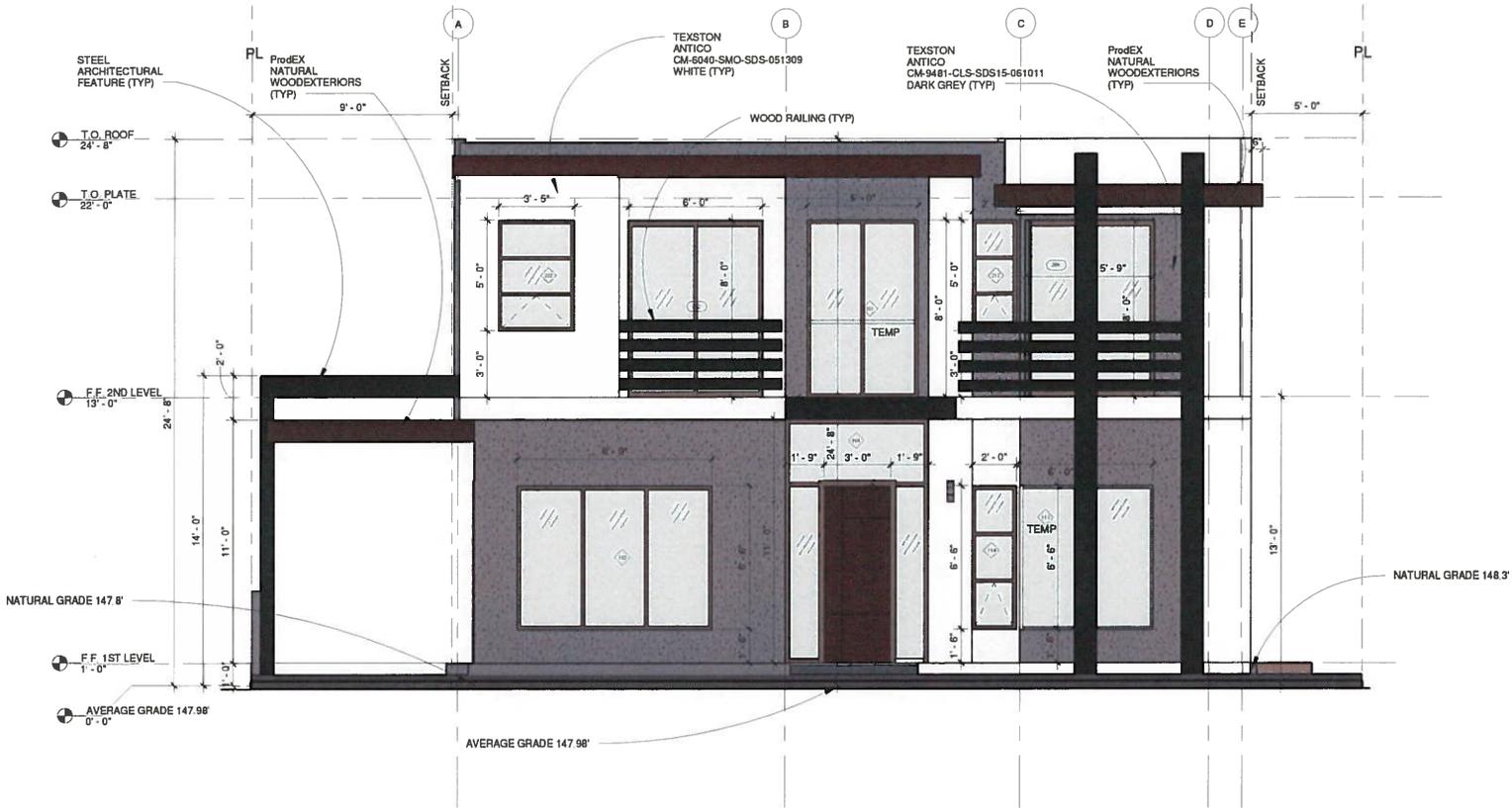


Project Name: CARSON PROJECT
 Date: 10/13/2015 4:51:15 PM
 Scale: 1/8" = 1'-0"
 Proj. Number: 15-0018

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 6411 INDEPENDENCE AVE.
 Woodland Hills, CA. 91367
 Ph. 818.346.9828 Fax 310.919.3001
 www.apel.design.com
 apel.design4u@aol.com



A1.3



1 EAST ELEVATION
3/16" = 1'-0"

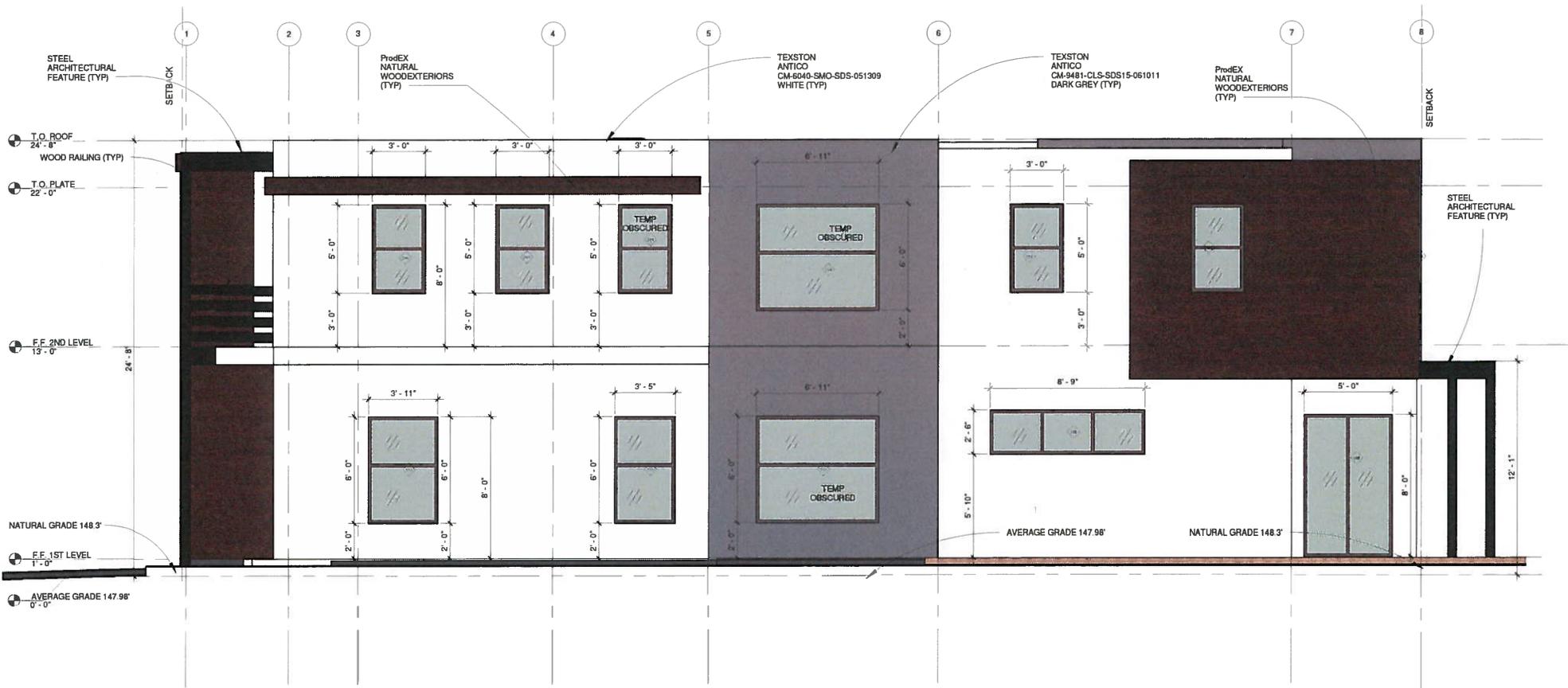
Project Name: CARSON PROJECT
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 Scale: 3/16" = 1'-0"
 Proj. Number: 15-0018

EAST ELEVATION

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 6411 INDEPENDENCE AVE.
 Woodland Hills, CA. 91367
 Ph. 818.346.9828 Fax 310.919.3001
 www.apeldesign.com
 apeldesign4u@aol.com



A2.1



1 NORTH ELEVATION
3/16" = 1'-0"

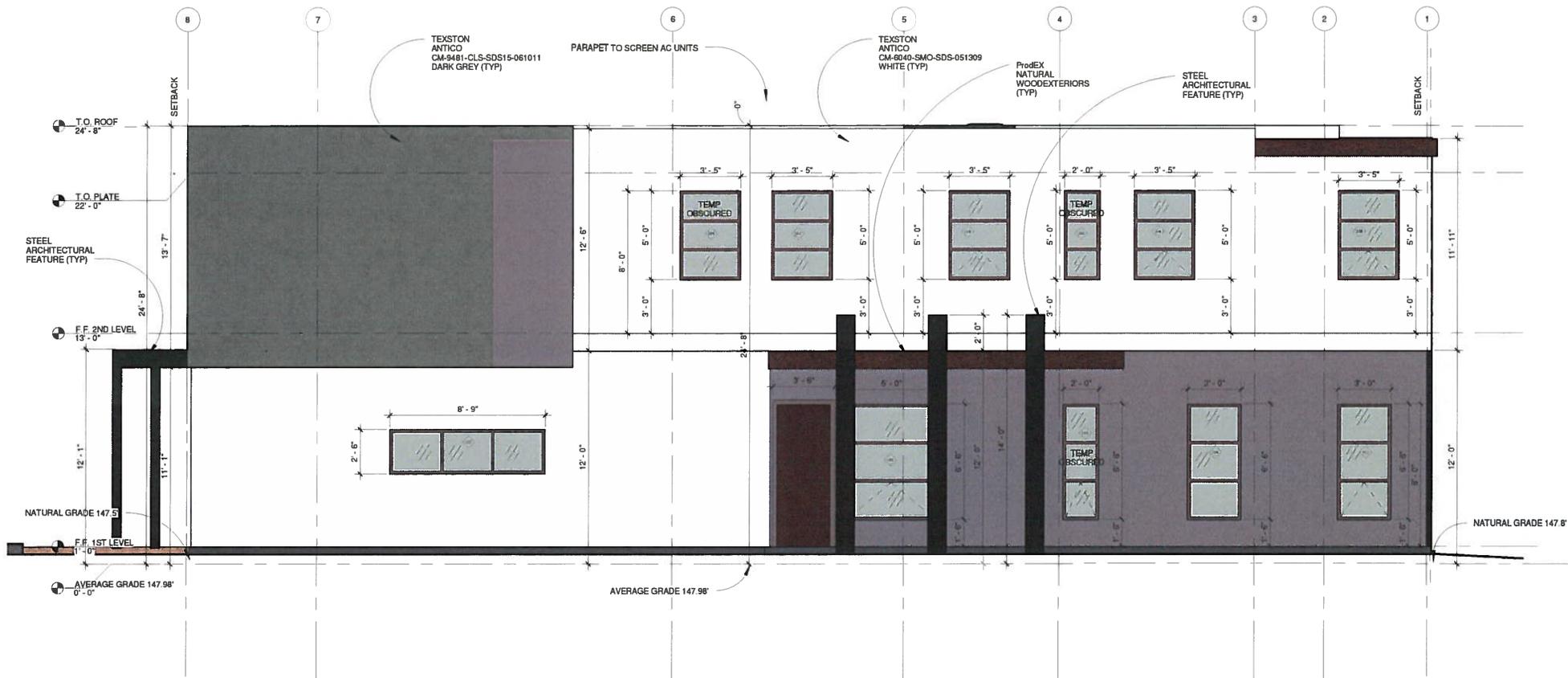
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 Scale: 3/16" = 1'-0"
 Proj. Number: 15-0018

NORTH ELEVATION

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 6411 INDEPENDENCE AVE.
 Woodland Hills, CA, 91367
 Ph. 818.346.9828 Fax 310.919.3001
 www.apeldesign.com
 apeldesign4u@aol.com



A2.2



1 SOUTH ELEVATION
3/16" = 1'-0"

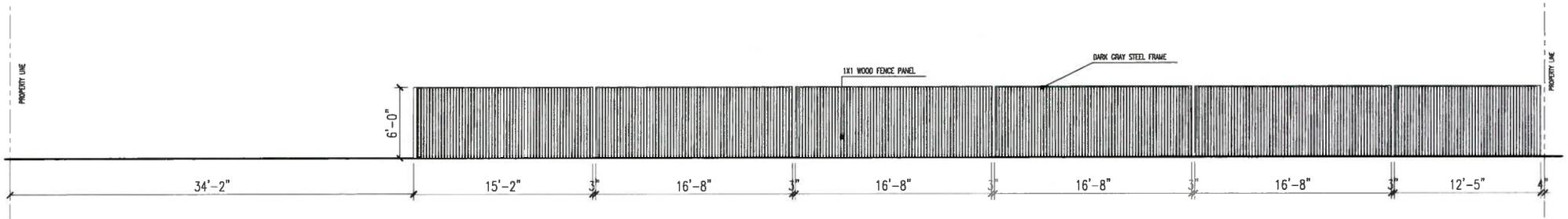
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 Proj. Number: 15-0018

SOUTH ELEVATION

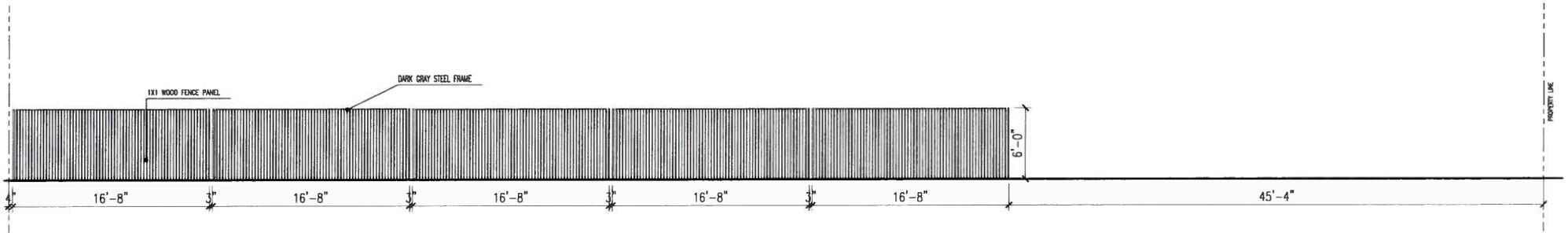
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 6411 INDEPENDENCE AVE.
 Woodland Hills, CA. 91367
 Ph. 818.346.9928 Fax 310.919.3001
 www.apeldesign.com
 apeldesign4@aol.com



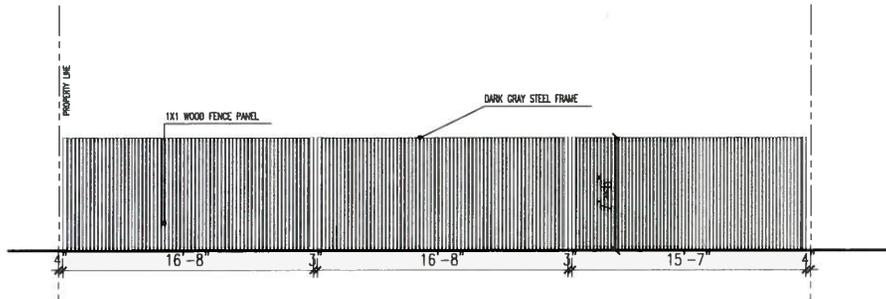
A2.4



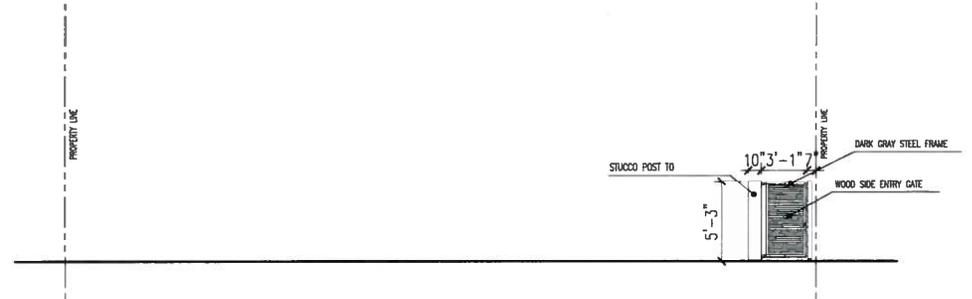
FENCE @ SIDE NORTH ELEV
SCALE 1/8"=1'-0"



FENCE @ SIDE SOUTH ELEV
SCALE 1/8"=1'-0"



FENCE @ REAR WEST ELEV
SCALE 1/8"=1'-0"



FENCE @ FRONT EAST ELEV
SCALE 1/8"=1'-0"

PROJECT # 15-0018



APN	
DATE	
SCALE	
PROJECT	

REVISIONS	
NO.	DESCRIPTION

6411 Independence Ave.
Woodland Hills, CA, 91367
PH: 818.344.2020 FAX: 818.344.2021
WWW.APELDESIGN.COM

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15-0018



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01-03
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REVISIONS	

CARSON PROJECT
 143 N. Carson Rd
 Beverly Hills, CA 90211

6411 Independence Ave.
 Woodland Hills, CA., 91367
 Ph. 818 346 9826 | Fax 310 919 3001
 www.apelidesign.com | info@apelidesign.com

Street Photo Montage

A6.0



PROJECT NO. **15-0018**



ANET APEL DESIGN INC.

DATE	APRIL
BY	ANET APEL
REVISIONS	
DATE	DESCRIPTION

SCALE
 1/8" = 1'-0"
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NO.	DESCRIPTION

CARSON PROJECT

143 N. Carson Rd
 Beverly Hills, CA 90211

6411 Independence Ave.
 Woodland Hills, CA., 91367
 Ph. 818.346.9828 | Fax 310.919.3001
 www.apeldesign.com | info@apeldesign.com

Front View RENDER

A6.1



15-0018



APN

 OS

SCALE

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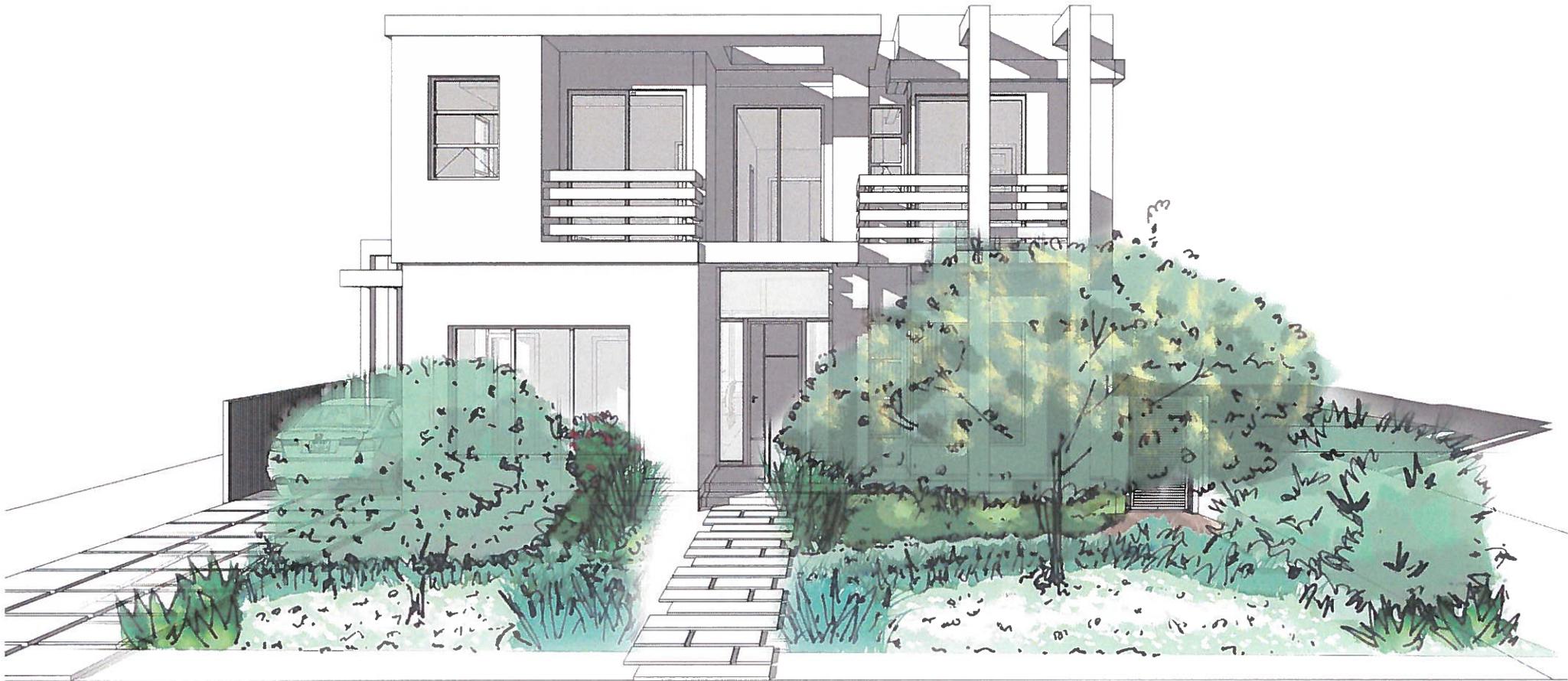
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NO.	DESCRIPTION

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 Beverly Hills, CA 90211

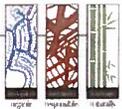
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 Woodland Hills, CA, 91367
 Ph: 818.346.9828 | Fax: 310.918.3001
 www.apdesign.com | info@apdesign.com

Front East Elevation

A6.4



stout
design. build



FRONT VIEW RENDER
July 17, 2015

143 Carson Rd, Beverly Hills, CA 90211

Trees and Shrubs for Screening



Acacia podalyrifolia
Pearl Acacia



Parkinsonia 'Desert Museum'
Palo Verde



Rhamnus variegata
Variegated Buckthorn



Acacia viscidula



Geijera parviflora
Australian willow



Cordyline 'Torbay Dazzler'

Shrubs, Perennials, Grasses, Groundcover & Succulents



Leucadendron 'Safari Sunset'
Safari Conebush



Agave 'Blue Flame'



Senecio serpens
Blue Chalksticks



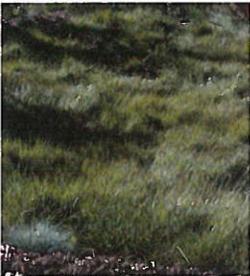
Asparagus densiflorus 'Myers'
Asparagus fern



Aeonium 'Salad Bowl'



Sedum angelina



Agrostis pallens
Bent Grass



Anigozanthos 'Harmony'



Lomandra 'Breeze'
Spiny-headed Rush



Cerastium tomentosum
Snow in Summer



Westringia 'grey box'
Compact coast rosemary



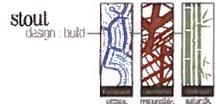
Euphobia 'black bird'



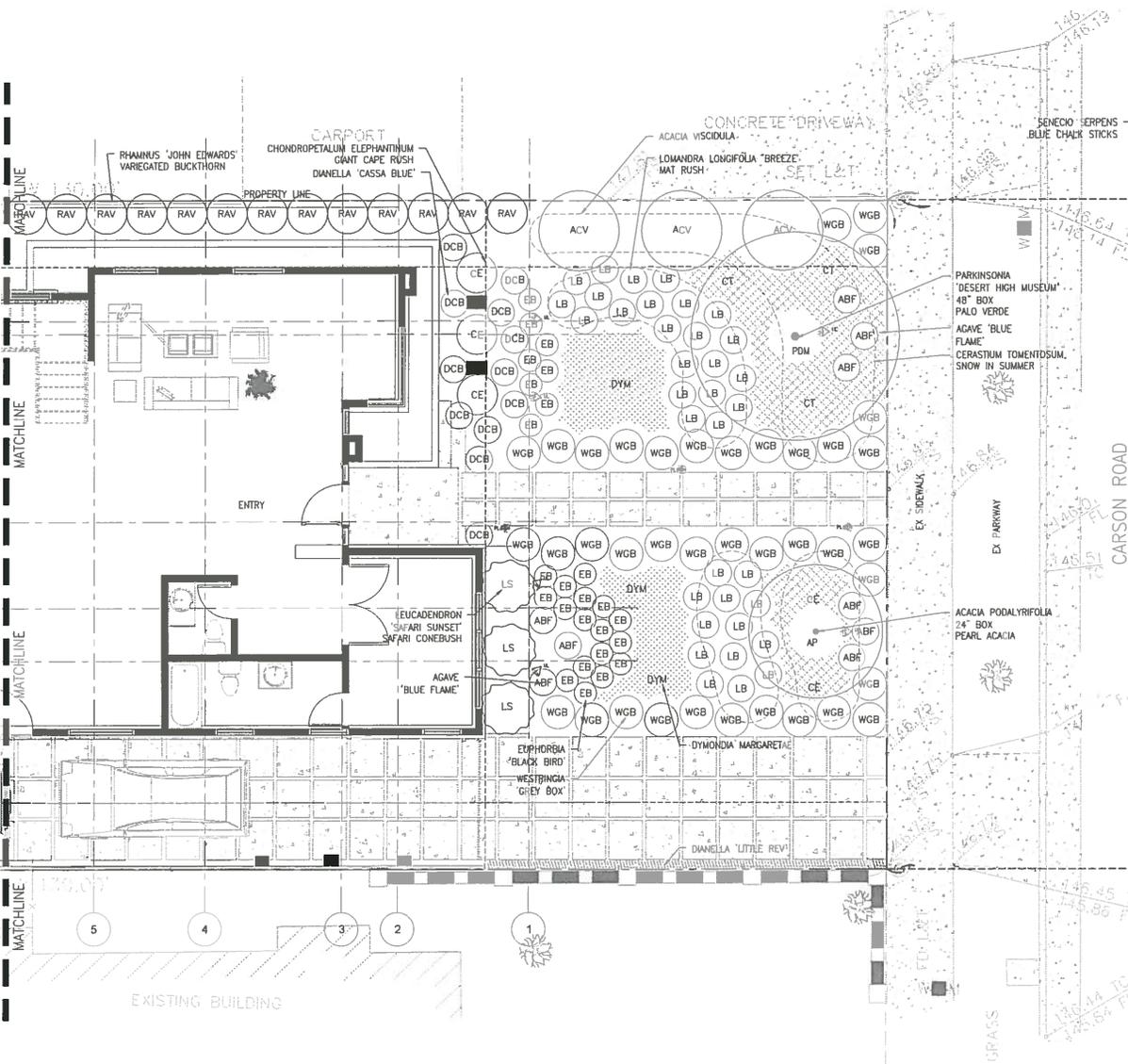
Dianella 'Cassa Blue'



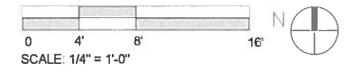
Dymondia margaretae
Silver Carpet



**PLANT PALLETTE
OCTOBER 9, 2015**



SYM.	QTY	SIZE	SPECIES/CULTURAL NO.	COMMON NAME	H	W	PLANT FACTOR	EVERGREEN	EXPOSURE	FLOWER COLOR	BLOOM
Trees											
AP	1	24"	Acacia podalyrifolia	Peart Acacia	12-20'	15-20'	low	Yes	full sun	yellow	winter/spring
CTD	1	15 gal	Corylina 'Torrey Giant'		20'	8-10'	low	Yes	sun to part shade	white	spring
EP	5	15 gal	Geijera parviflora	Australian yellow	20-30'	15-20'	low	Yes	full sun	NA	NA
PDM	1	48" box	Parkinsonia x Desert Museum 'M.B.	Palo verde	25'	25'	low	Yes	full sun	yellow	spring
Large Shrubs											
ACV	3	5 gal	Acacia vicioides		6-9'	4-6'	low	Yes	full sun to part shade	yellow	late spring
LS	3	5 gal	Leucadendron 'Safari Sunset'	Safari conebush	8-10'	6-8'	low	Yes	full sun	red and yellow	winter/spring
RAV	56	5 gal	Rhamnus aurea variegata	Variegated Italian buckthorn	15'	6'	low	Yes	sun/part shade		
Medium & Small Shrubs & Perennials											
AH	20	1 gal	Angozanthos 'Harmony'	Kangaroo paw	4-6'	18-24"	med	Yes	full sun to part shade	white	spring
AD	6	1 gal	Asparagus densiflorus 'Myers'	Asparagus fern	2'	1-2'	low	Yes	part shade	white	spring
DYM	5	dirt flat	Dymondia marginata	Silver carpet	<1'	spread	low	Yes	sun to part shade	yellow	summer
EB	25	1 gal	Euphorbia 'Black Bird'		1-2'	1-2'	low	Yes	sun	yellow	spring
WGB	36	1 gal	Weeping Grey box	cherry coast rosemary	2-3'	2-3'	low	Yes	sun or shade	white	year round
Succulents											
A	9	6"	Aeonium urbicum 'Safari Bow'	Safari bowl	1-2'	dwarfing	low	Yes	sun to part shade	yellow	spring
AM	9	3 gal	Agave 'Blue Flame'		2-3'	spread	low	Yes	full sun	yellow/green	infrequent
SA	2	flat	Sedum angelicum		4-6"	8"	low	Yes	sun to part shade		mid-summer
BS	3	flat	Senecio serpens	Blue Chalksticks	1'	2-3"	low	Yes	full sun	white	summer
Grasses, Rushes & Sedges											
DCB	12	1 gal	Dianella 'Lasse blue'		1-2'	1-2'	low	Yes	sun or shade	purple	spring-summer
	17	plug 18-18"	Dianella 'Little Rev'		2-3'	1-2'	low	Yes	sun or shade	purple	spring-summer
CE	4	1 gal	Chondropetalum elephantinum	Large Cape Rush	3-5'	4-6'	low	Yes	sun or shade	NA	NA
LB	55	1 gal	Lomandra longifolia 'Breeze'	Spiry-headed mat rush	2-3'	2-4'	low	Yes	sun to part shade	yellow	summer
Ground Covers											
CT	10	flat	Cerastium tomentosum	Snow-in-summer	8-8"	1'	low	Yes	full sun	white	best in summer
Lawn											
165	sq ft	sod	Agrostis pallens	Bent grass	4-6"		low	with water	sun to part shade	NA	NA






Stout Design Build
 12405 Venice Blvd #352
 Los Angeles, Ca 90066
 (310) 876-1018
 www.stoutdesignbuild.com

Project:
Apel - Carson
 143 Carson Road
 Beverly Hills, CA 90211

PLANTING PLAN - FRONT

Submittal Date:
 July 17, 2015

Sheet Number:
 L3.0



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-15

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 143 NORTH CARSON ROAD.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Omar Santillan, Amit Apel Design Inc., agent, on behalf of Amar Construction, property owner (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 143 North Carson Road which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Prior to the filing of the Design Review application, the existing single family residence on the site was reviewed and found to be a potential historic resource designed by a party listed on the City's Master Architect list (Pacific Ready-Cut Homes). Pursuant to BHMC §10-3-3218, any work involving a change in design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the city's list of master architects shall be subject to a thirty (30) day holding period prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). Since no action was initiated to designate the subject property within the 30-day holding period, the subject property is not considered to be a historic resource in the City of Beverly Hills and the processing of the pending demolition permit may proceed.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **November 5, 2015**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including

existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as

conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project Specific Conditions

No project-specific conditions are proposed.

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the

commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.

7. **Covenant Recording.** This resolution approving an R-1 Design Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60-day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.
9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **November 5, 2015**

Ryan Gohlich, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission