



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 285-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, November 5, 2015

Subject: **522 NORTH RODEO DRIVE (PL1528436)**

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Ben Borukhim – bb|A Studios

Recommendation: Conduct public hearing and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The proposed style is identified by the applicant as Italian Renaissance; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

The proposed style is generally consistent with the Italian Renaissance architectural style; however, it could use some refinement to further enhance the internal compatibility. Specifically, the front entry appears disproportionately large and should be reduced in scale to more appropriately fit the façade. Architecturally appropriate elements, such as those found in the applicant-provided inspiration photographs, should flank either side of the reduced entry to enhance the sense of arrival and to bring a more refined focus to the entry. Additionally, the number of doors on the front façade appears excessive and should be reduced in quantity (alternatives have been provided as Options 1 & 2).

Project-specific conditions have not been proposed as part of this analysis; however, the Commission may wish to consider the comments during the course of their review and propose project-specific conditions deemed necessary to make the findings required for approval.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City's Master Architect List nor has it been listed on the City's Historic Resource Survey, it does not warrant further review as a potential historical resource.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

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It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet and the block face of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 23, 2015; the site was posted on Monday, October 26, 2015. To date staff has not received comments in regards to the submitted project.



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Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
 - Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

We have used visual cues that consciously echo the style of the Italian Renaissance era. Buildings in the era are usually characterized by facades that are commonly symmetrical and essentially flat. However, we have articulated our entry to sit proud of the building, complemented by consecutive modulation recessing the other masses of the building back. Our use of trims, wrought iron details, stonework and other details add a subtle elegance to the building without overloading the front facade with too many decorative elements.

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|---------------------------------|----------------------------------|---------------------------------|
| <input type="checkbox"/> R-1 | <input type="checkbox"/> R-1.5X2 | <input type="checkbox"/> R-1.8X |
| <input type="checkbox"/> R-1X | <input type="checkbox"/> R-1.6X | |
| <input type="checkbox"/> R-1.5X | <input type="checkbox"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 80' x 146.15' Lot Area (square feet): 12,028 s.f.
 Adjacent Streets: Carmelita Ave & parkway

E Lot is currently developed with (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Single-Story Residence | <input type="checkbox"/> Two-Story Residence |
| <input type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____	_____	_____
Native:	_____	_____	_____
Urban Grove:	_____	_____	_____

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes , please list Architect’s name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	28'-0"	25'-6"	28'-0"
Roof Plate Height:	22' (23' w/ FYS averaging)	23'-0"	23'-0"
Floor Area:	6,311 s.f.	3696	6305
Rear Setbacks:	31.845'	59'	38'
Side Setbacks:	S/E 7'-6"	S/E 7'-6"	S/E 7'-6"
	N/W 7'-6"	N/W 7'-6"	N/W 11'-6"
Parking Spaces:		2	6

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco / Jerusalem Gold Limestone

Texture /Finish: Smooth / Honed

Color / Transparency: French Vanilla by La Habra / Cream & Gold

WINDOWS (Include frame, trim, glass, metal, etc)

Material: _____

Texture /Finish: _____

Color / Transparency: _____

DOORS (Include frame, trim, glass, metal, etc)

Material: Wood/alum clad

Texture /Finish: stained

Color / Transparency: hampton walnut

PEDIMENTS

Material: N/A

Texture /Finish: _____

Color / Transparency: _____

ROOF

Material: Boral - 2 piece mission clay tiles

Texture /Finish: _____

Color / Transparency: Red

CORBELS

Material: N/A

Texture /Finish: _____

Color / Transparency: _____

CHIMNEY(S)

Material: N/A

Texture /Finish: _____

Color / Transparency: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: Wrought Iron
Texture /Finish: Black
Color / Transparency: Black

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: vinyl
Texture /Finish: painted
Color / Transparency: weathered brown

EXTERIOR LIGHTING

Material: Hinkley Sconce Light - Clifton Beach - 2268AP
Texture /Finish: Brass
Color / Transparency: Brass

PAVED SURFACES

Material: Travertine
Texture /Finish: Tumbled
Color / Transparency: Walnut

FREESTANDING WALLS AND FENCES

Material: Pre-cast to match house
Texture /Finish: _____
Color / Transparency: _____

OTHER DESIGN ELEMENTS

Material: Pre-cast moldings
Texture /Finish: smooth
Color / Transparency: Swiss Coffe

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

We approached our landscape design as a guide towards how the property is experienced. We've planted numerous trees to add to the garden like quality of the city and to provide privacy for the residence. The entry path guides the user through the entry gates and forces you to perceive the house through various focal points. We used vegetation indigenous to Southern California as well as those from the Italian gardens.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development’s design exhibits an internally compatible design scheme.

Internally, this project stays true to the basic elements of the Itinerate style with a predominantly flat facade, decorated eaves, arched entry door, and so on. We've articulated our entry to stand proud while the rest of the house consecutively steps back, maintaining symmetry along the way. Our use of trims, wrought iron details, stonework and other details add a subtle elegance to the building without overloading the front facade with too many decorative elements.

2. Describe how the proposed development’s design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

Though Italianate Architecture is mostly flat, our house is modulated, stepping back as the house spans out, minimizing mass and scale. Furthermore, the house is not your typical box. We have large amounts of modulation in the front and especially on the sides. This will allow much light, air and privacy for our neighbors. Our Landscape concept also create layers of different plantings indigenous to both Southern California and the Mediterranean. We are also providing more than the required number of trees to help add to the landscape quality of the city.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

The existing house has little to no landscaping along with a garage that faces the street. The roof line is also nothing special, just a long sloped asphalt shingle roof. Our proposed house will bring an elegant home into an otherwise neglected property.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Rather than focus all of the mass of the building to the front to maximize the rear yard, the owners are willing to cut out chunks of the house and modulate the side yards far more than typical houses in the area to allow for natural light, air and landscaping for privacy.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

The 500 block of Rodeo is an eclectic mix of houses, all but a few are two story residences built right upto the front setback lines with almos flat facades. Among these, the ones that seems to fit into the neighborhood are the ones that embrace the landscaping guidelines the city has put forth. By adding to the garden like quality of the city, we are ensuring that landscape concept is what creates continuity between the different existing homes and future developments, regardless of the style of the home.

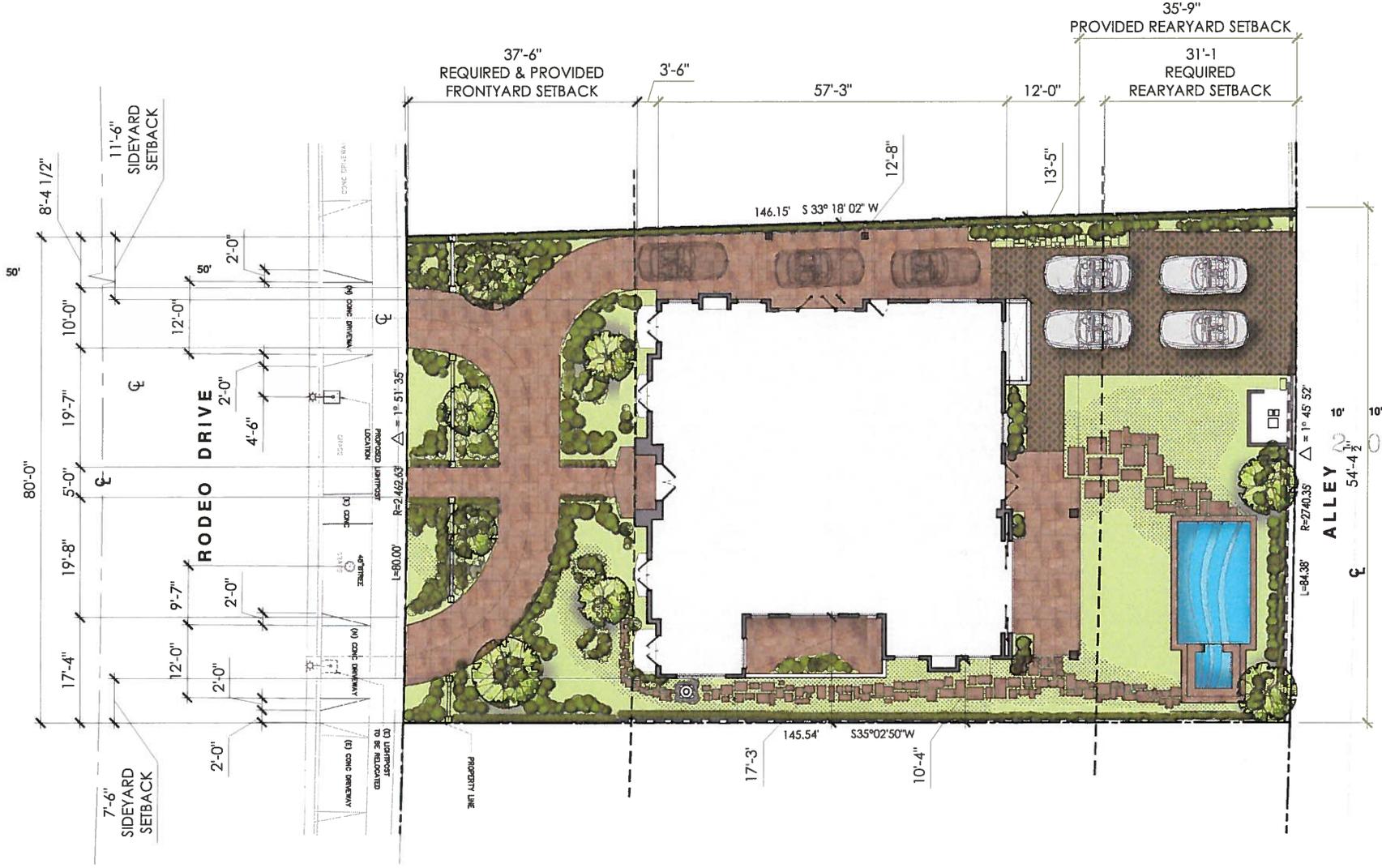


Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment B
Project Design Plans



SHEET A1.1

SCALE: SCALE 1/16" = 1'-0"

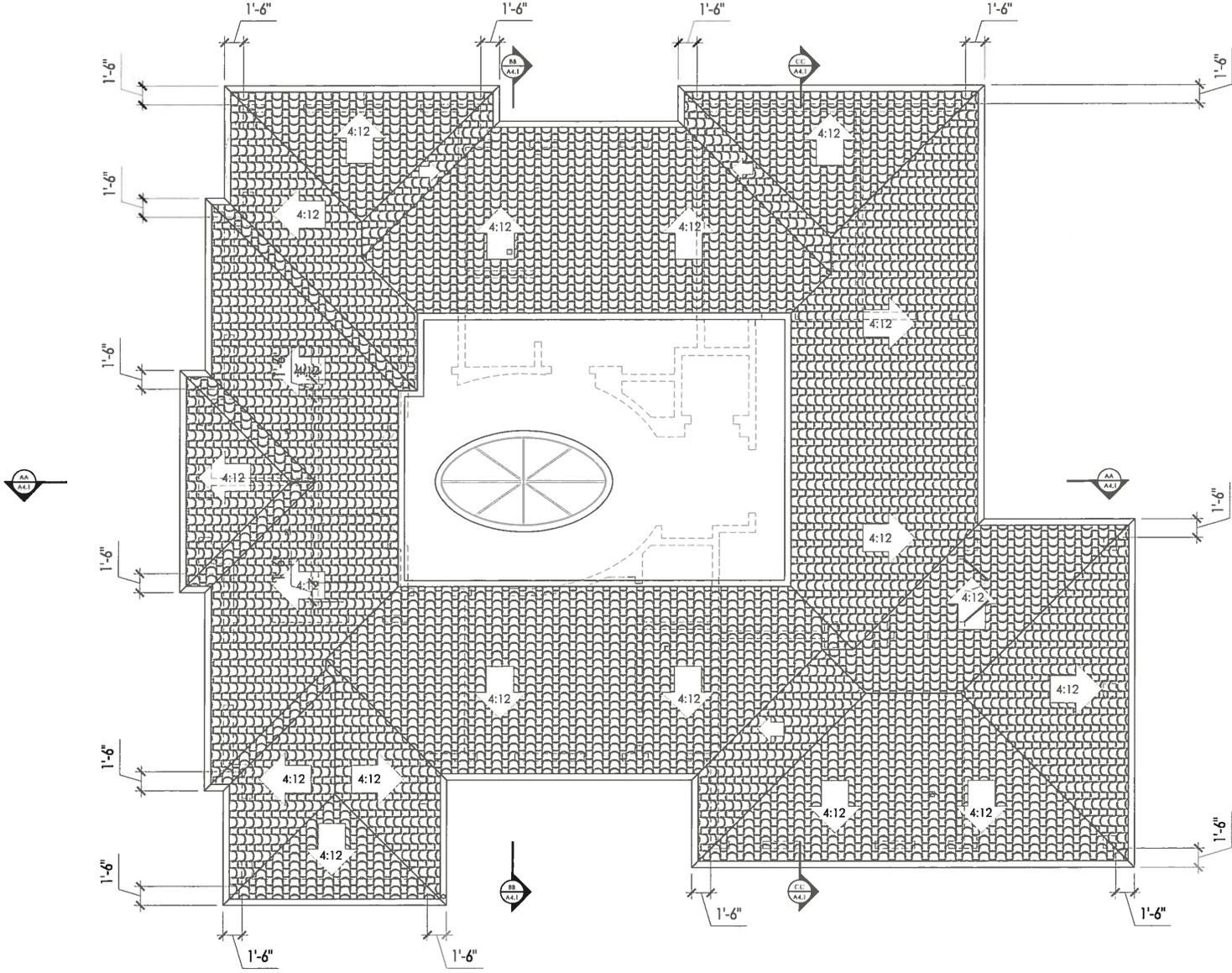
bB A STUDIOS, INC

604 WILSHIRE BLVD, SUITE 1235
 LOS ANGELES, CA 90048
 tel: 310.441.1111
 web: www.bbastudios.com
 email: info@bbastudios.com

	Required	Proposed
FRONTYARD SETBACK	: 35'-0"	: 35'-0"
REARYARD SETBACK	: 31'-1"	: 38'-0"
SIDEYARD SETBACK (E)	: 9'-0" (1st 38')	: 5'-0" Thereafter
SIDEYARD SETBACK (W)	: 5'-0"	: 7'-6"
LOT AREA	: 12,028 Sq. Ft.	
MAXIMUM FLOOR AREA	: 6,311 Sq. Ft.	

PRIVATE RESIDENCE

522 N. RODEO DR



SHEET A2.3

SCALE: 1/8"=1'-0"

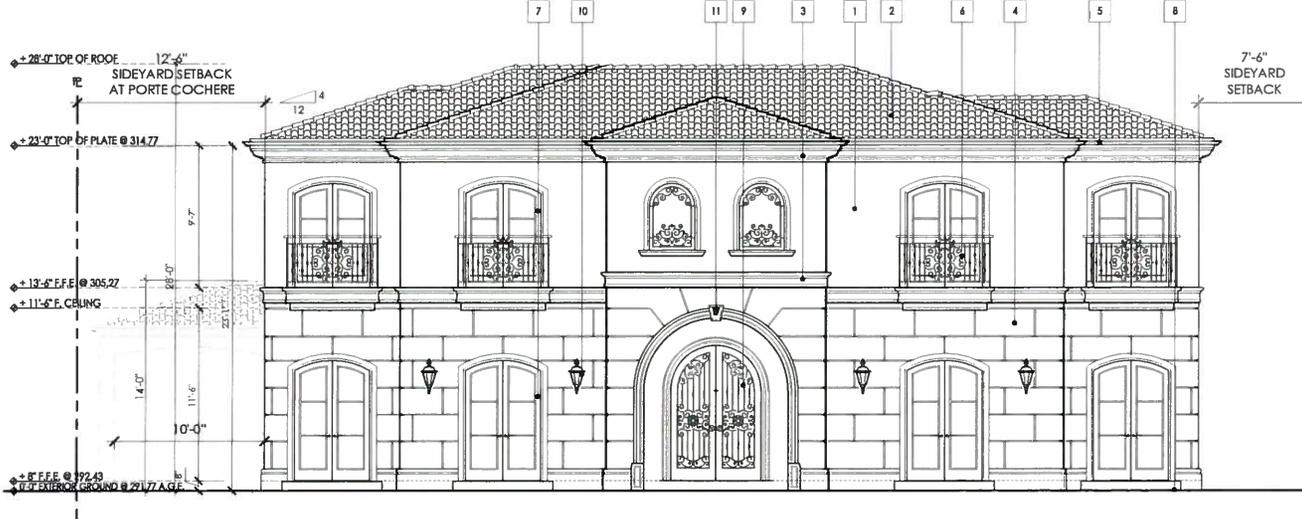
bbA STUDIOS, INC

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 LOS ANGELES, CA 90008
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 web: www.bbAstudios.com
 email: info@bbAstudios.com

- * ROOF PLAN
- * ROOF NOTES :
 - * CLASS-A FIRE RETARDANT LIGHTWEIGHT CONCRETE ROOF TILE BY BOPAL U.S. TILE
 - * ROOFTOP MECHANICAL EQUIPMENT MUST BE FULLY SCREENED.

PRIVATE RESIDENCE

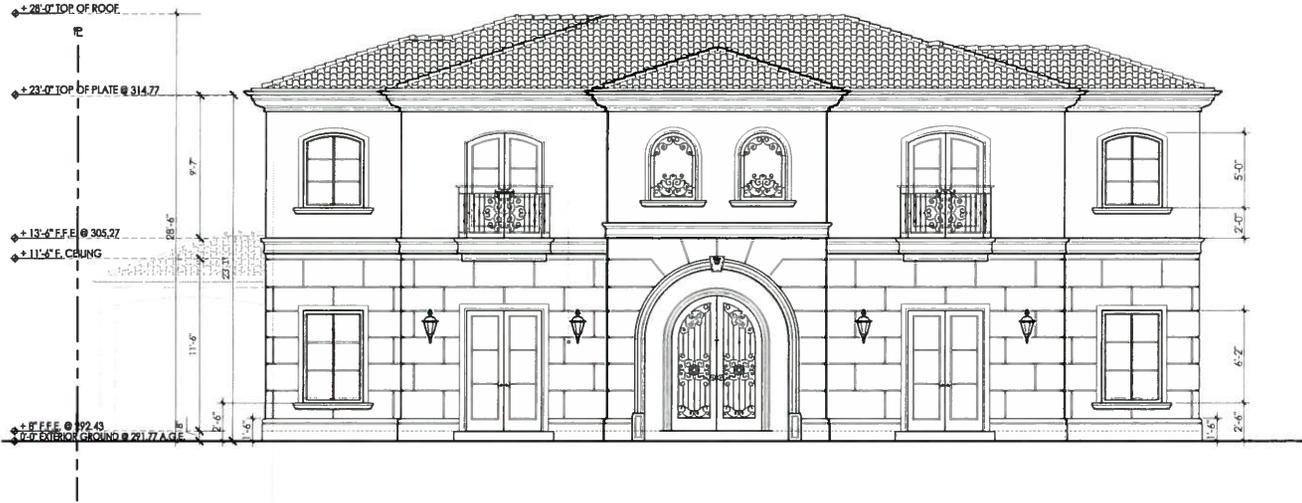
522 N. RODEO DR



1 PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEYNOTES:

1	STUCCO BY LA HABRA	SMOOTH	LA HABRA COLOR: X-55 FRENCH VANILLA
2	ROOF TILE	SMOOTH	2 PIECE MISSION TILE RED - BY BORAL
3	PRE-CAST MOLDINGS BY PARAMOUNT PRECAST	SMOOTH	SWISS COFFEE
4	LIMESTONE	SMOOTH	JERUSALEM GOLD
5	GUTTER	PRE-FORMED METAL	PAINTED TO MATCH DUNN EDWARDS #DEC756
6	BALCONY/RAILINGS	WROUGHT IRON	PAINTED TO MATCH DUNN EDWARDS #DEC756
7	WIN. + DRS. FRAME	WOOD	STAINED TO MATCH DARK WALNUT
8	OUTDOOR PAVER	TUMBLER TRAVERTINE	WALNUT
9	9' ENTRY DOOR	SOLID WOOD W/ GLASS/DECORATIVE METAL	STAINED TO MATCH DARK WALNUT
10	SCONCE LIGHT	SOLID BRASS	CLIFTON BEACH-COPPER BRONZE BY HINKLEY
11	KEYSTONE	SMOOTH	SWISS COFFEE



1 PROPOSED WEST ELEVATION - OPTION 1
SCALE: 1/8" = 1'-0"

SHEET A3.1

SCALE: 1/8" = 1'-0"

PROPOSED ELEVATIONS

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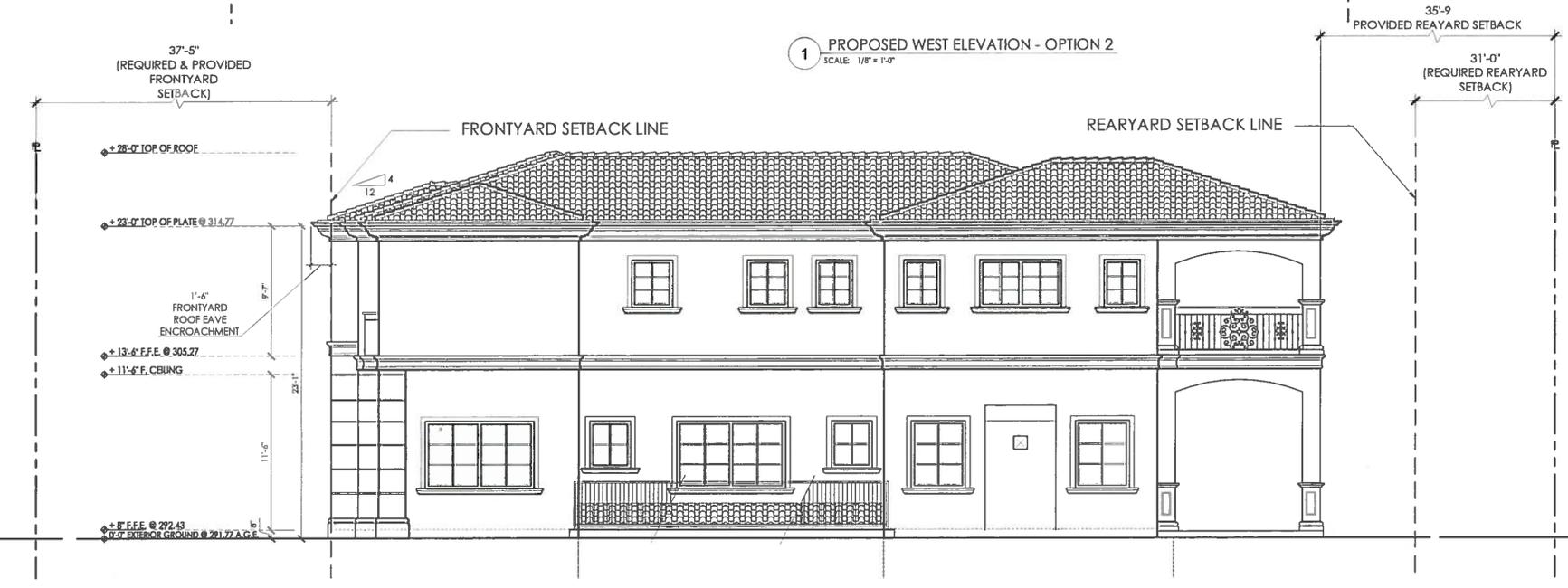
PRIVATE RESIDENCE
522 N. RODEO DR

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1 PROPOSED WEST ELEVATION - OPTION 2
SCALE: 1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SHEET A3.1

SCALE: 1/8" = 1'-0"

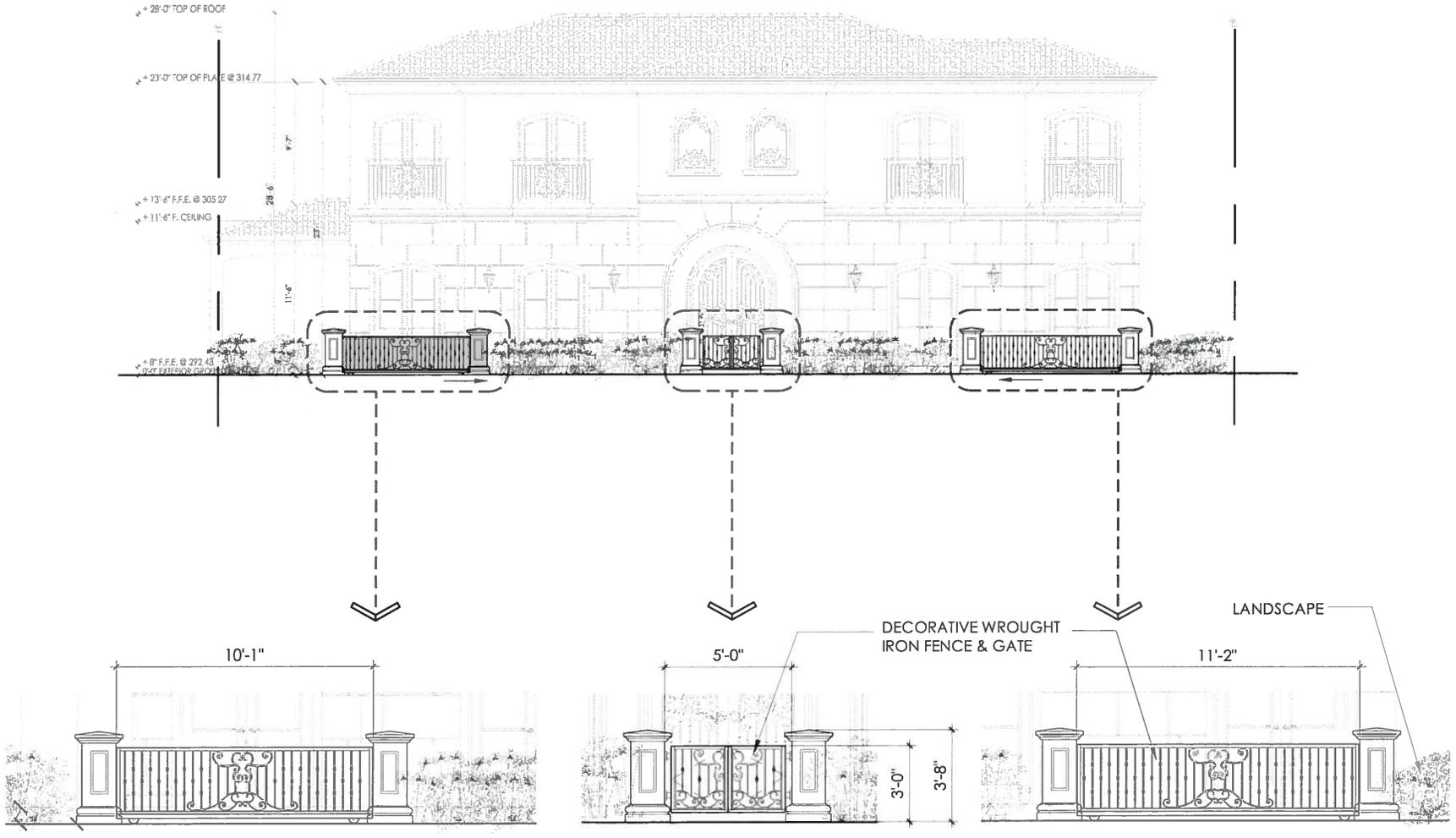
PROPOSED ELEVATIONS

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PRIVATE RESIDENCE
522 N. RODEO DR

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SHEET A3.4

SCALE: 1/4"=1'-0"
FENCE & GATE ELEVATION

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PRIVATE RESIDENCE
522 N. RODEO DR



1 VIEW-1 (WITH TREES)
SCALE: 1/8" = 1'-0"



2 VIEW-1 (WITHOUT TREES)
SCALE: 1/8" = 1'-0"

SHEET A8.5

SCALE: 1/11.5
• STREETScape PHOTO MONTAGE

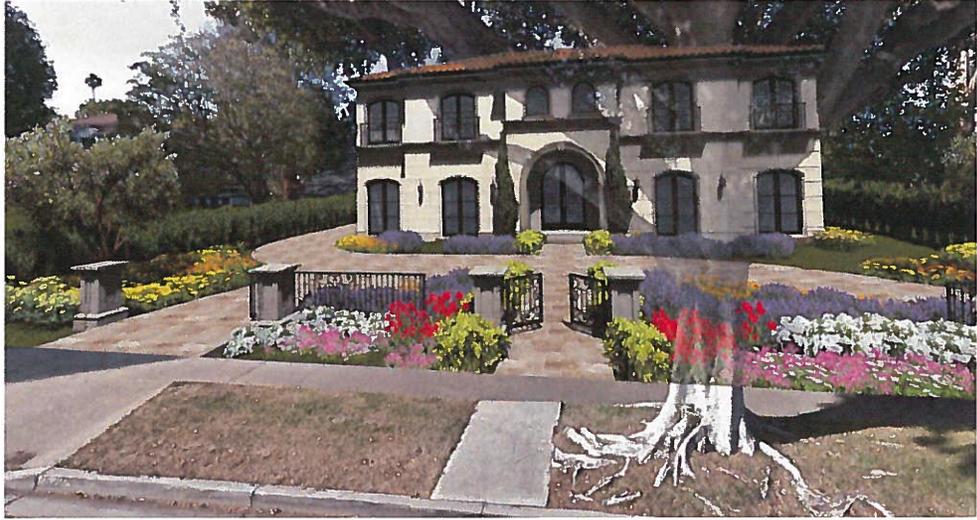
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PRIVATE RESIDENCE
522 N. RODEO DR



1 VIEW-2 (WITH TREES)
SCALE: 1/8" = 1'-0"



2 VIEW-2 (WITHOUT TREES)
SCALE: 1/8" = 1'-0"

SHEET A8.6

SCALE: 1/11.5

• STRESCAPE PHOTO MONTAGE

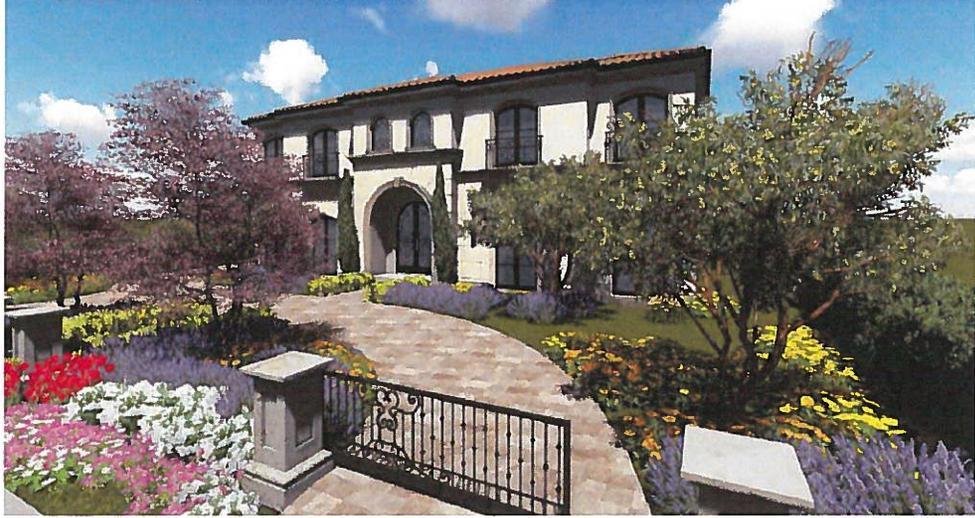
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PRIVATE RESIDENCE
522 N. RODEO DR



1 PERSPECTIVE VIEW - 1
SCALE:



2 PERSPECTIVE VIEW - 2
SCALE:

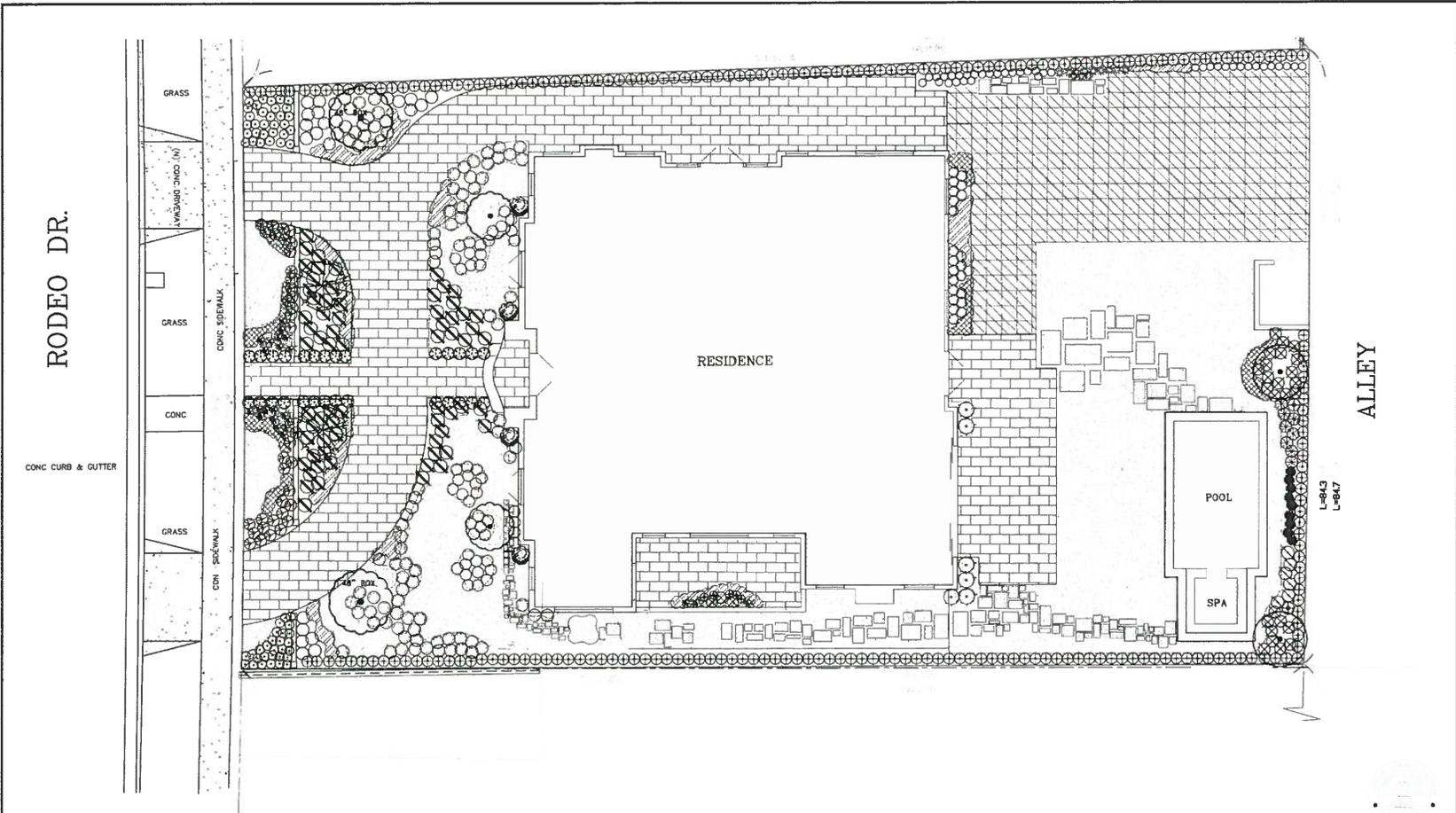
SHEET A8.6

SCALE: 1/11"=1'-0"
• PERSPECTIVE RENDERINGS

bbA STUDIOS, INC

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email info@bbAstudios.com

PRIVATE RESIDENCE
522 N. RODEO DR



PLAN MAT RIALS LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY	SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY	SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY	SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY
TREES															
	ROBINIA X AMBIGUA 'DAHDENSIS'	36" BOX	2		FICUS NITIDA	15 GAL	218		HEPERALOE PARVIFLORA	5 GAL	8		ROSA SPP	5 GAL	36
	IDAHO LOCUST	48" BOX	2		INDIAN LAUREL	15 GAL	4		VARIEGATED HEBE	5 GAL	9		LAVENDULA ANGUSTIFOLIA	5 GAL	67
	PRUNUS CERASIFERA	36" BOX	2		CUPRESSUS SEMPERVIRENS	5 GAL	8		SENECIO WICKHAMII	5 GAL	12		ALLIUM UNFOLIUM	5 GAL	8
	PURPLE PLUM TREE	36" BOX	2		HEBE SPECIES 'RED EDGE'	5 GAL	8		ANKOZANTHOS SPP	1 GAL	7		SEDUM DIVERGENS	1 GAL	107
	ULMUS PARVIFOLIA	36" BOX	2		NANDINA DOMESTICA	1 GAL	28		PACIFIC SEDUM 'STONECROP'	1 GAL	50		BUXUS SEMPERVIRENS	1 GAL	28
	CHINESE ELM	36" BOX	2		ADAPANTHUS AFRICANUS	1 GAL	121		ERIOGONUM UMBELLATUM	1 GAL	50		ROSA 'NOARE'	1 GAL	25
					LILI-PUFF-HILL	1 GAL	121		SULPHUR BUCKWHEAT	1 GAL	50		RED FLOWER CARPET	1 GAL	25
													SOD	2225 sq ft	
													SYMONIA SPECIES SILVER CARPET	FLATS @ 12" O.C.	1200 sq ft
													ANNUAL COLOR	FLATS @ 6" O.C.	150 sq ft
													GAZANIA 'WOODMALLOW'	FLATS @ 12" O.C.	250 sq ft
													TRAILING GAZANIA		

HOLD HARMLESS AND INDEMNIFICATION CLAUSE
 CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING ANY CITY, FEDERAL AND STATE PERMITS AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER/HANDLER/OWNER OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

CONSTRUCTION NOTES:
 1. THE PROJECT SHALL COMPLY WITH SDM, CDC, CMC, CPC, AND SDM (C)1.
 2. THE PROJECT SHALL COMPLY WITH ALL CITY ORDINANCES.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 4. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 6. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 7. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 8. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 9. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.
 10. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL CITY ORDINANCES.



REVISIONS	DATE



RODEO DRIVE RESIDENCE
 522 N. RODEO DRIVE
 BEVERLY HILLS, CA 90210

PLANTING PLAN

DATE:	04-20-2015
DRAWN BY:	PLD
JOB NO.:	
SCALE:	PER PLAN

SHEET NO.
LP.1
 1 OF 8 SHEETS



• PLUM TREE



• IDAHO LOCUST



• CHINESE ELM



• PRUNUS CAROLINIANA



• KANGAROO PAWS



• SULPHUR BUCKWHEAT



• RED YUCCA



• HEBE (VARIEGATED)



• HEBE RED EDGE



• ONE LEAF ONION



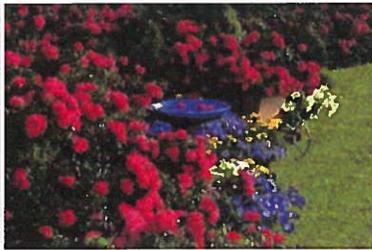
• AGAPANTHUS



• ANNUAL COLOR



• ICEBERG ROSE



• CARPET ROSE (RED)



• PACIFIC SEDUM STONECROP



• ISLAND BUSH POPPY



• CALIFORNIA POPPIES



• NANDINA DOMESTICA



• DYMONDIA SILVER CARPET (GROUND COVERS)



• LAVENDER



• RHAPHIOLEPIS PINK (DWARF)



• FICUS NITIDA



• BOXWOOD



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-15

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 522 NORTH RODEO DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Ben Borukhim, bB|A Studios, agent, on behalf of Joseph and Mehran Eshtiaghpour, property owner (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 522 North Rodeo Drive which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City’s Master Architect List nor has it been listed on the City’s Historic Resource Survey, it does not warrant further review as a potential

historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **November 5, 2015**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project Specific Conditions

No project-specific conditions.

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
7. **Covenant Recording.** This resolution approving an R-1 Design Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a

waiver from the 60-day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **November 5, 2015**

Ryan Gohlich, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission