



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 285-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, November 5, 2015

Subject: **341 SOUTH CANON DRIVE**
A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Ginna Nguyen – Relativity Architects

Recommendation: Conduct public hearing and provide the applicant with design guidance.

REPORT SUMMARY

The applicant is requesting review and approval of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The proposed style is identified by the applicant as Mediterranean Modern; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

The overall design appears overly simplistic, lacks dimensionality and visual interest, and the boxy form is not articulated with architecturally appropriate modulation. The design could benefit from primary, secondary, and tertiary elements to create a more internally compatible design scheme that would positively enhance the streetscape of South Canon Drive and express a more coherent Mediterranean Modern architectural style.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Prior to the filing of the Design Review application, the existing single family residence on the site was reviewed and found to be a potential historic resource designed by a party listed on the City's Master Architect list (Dickason Building Co.). Pursuant to BHMC §10-3-3218, any work involving a change in design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the city's list of master architects shall be subject to a thirty (30) day holding period

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). Since no action was initiated to designate the subject property within the 30-day holding period, the subject property is not considered to be a historic resource in the City of Beverly Hills and the processing of the pending demolition permit may proceed.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet and the block face of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 23, 2015; the site was posted on Thursday, Monday, October 26, 2015. To date staff has not received comments in regards to the submitted project.



Design Review Commission Report

455 North Rexford Drive

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Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
 - Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

The proposed architectural style is Mediterranean Modern with refined elements, such as hidden downspouts and dark bronze aluminum framed windows and entrance door. A warm wooden gate which compliments the wooden path leading to the homes' entrance contrasts with the smooth, white stucco finish for an inviting and refined style. Recesses throughout all four facades create a rhythm of light-filled nooks that maintain privacy yet create an open environment.

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|---|--|---|
| <input checked="" type="radio"/> R-1 | <input checked="" type="radio"/> R-1.5X2 | <input checked="" type="radio"/> R-1.8X |
| <input checked="" type="radio"/> R-1X | <input checked="" type="radio"/> R-1.6X | |
| <input checked="" type="radio"/> R-1.5X | <input checked="" type="radio"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 51' x 122' Lot Area (square feet): 6,070 Sq. Ft.
 Adjacent Streets: Gregory Wy and Olympic Blvd

E Lot is currently developed with (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Single-Story Residence | <input type="checkbox"/> Two-Story Residence |
| <input type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes , please list Architect’s name: James Dickason

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

None

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	28'-0"		28'-0"
Roof Plate Height:	22'-0"	22'-0"	22'-0"
Floor Area:	3,928 SF		3,890 SF
Rear Setbacks:	36.48'		36.48'
Side Setbacks:	S/E 14'-0" COMBINED	S/E	S/E 5'-0"
	N/W 14'-0" COMBINED	N/W	N/W 9'-0"
Parking Spaces:	4		4

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco
 Texture /Finish: Smooth / Matte
 Color / Transparency: White / Opaque

WINDOWS (Include frame, trim, glass, metal, etc)

Material: Double-Pane Glass with Aluminum Frame
 Texture /Finish: Aluminum / Anodized
 Color / Transparency: Dark Bronze / Opaque frame with clear glass

DOORS (Include frame, trim, glass, metal, etc)

Material: Solid Wood with Double-Pane Glass
 Texture /Finish: Smooth / Stained
 Color / Transparency: Dark Bronze Anodized Aluminum Opaque frame with frosted glass

PEDIMENTS

Material: N/A
 Texture /Finish:
 Color / Transparency:

ROOF

Material: Spanish Clay tile (2 piece C-tile)
 Texture /Finish: Smooth / Matte
 Color / Transparency: Red / Opaque

CORBELS

Material: N/A
 Texture /Finish:
 Color / Transparency:

CHIMNEY(S)

Material: Stucco
 Texture /Finish: Smooth / Matte
 Color / Transparency: White / Opaque

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: N/A- Downspouts and gutters will be concealed within wall cavity and will not be
Texture /Finish: exposed to street facade
Color / Transparency: _____

EXTERIOR LIGHTING

Material: N/A- Front facade lighting will be recessed downlights; light fixtures will not be
Texture /Finish: visible from street
Color / Transparency: _____

PAVED SURFACES

Material: Concrete
Texture /Finish: Smooth
Color / Transparency: Natural gray

FREESTANDING WALLS AND FENCES

Material: Ipe Wood
Texture /Finish: Smooth / No Finish
Color / Transparency: Warm brown / Opaque

OTHER DESIGN ELEMENTS

Material: Landscape will incorporate horizontal wooden planks to create path for entry
Texture /Finish: Smooth / No finish
Color / Transparency: Color to match closely to gates / Opaque

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

The landscape utilizes drought-tolerant plants and refined hardscape to create a Mediterranean style garden that compliments the home's aesthetic. Two fruitless olive trees frame a wooden pathway that lead to a recessed entry door. This pathway is slightly offset to balance the architectural symmetry. Blue fescue, hens n' chicks and lavender are some of the plants that elegantly sit below the trees in the front yard, adding softness and color.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development’s design exhibits an internally compatible design scheme.

The house is developed around a central axis that runs from the sidewalk to the front of the house via wooden pathway, through the middle of the house via a main corridor, and extends out to the back yard through the hardscape. The ridge of the roof follows this axis. Recessed doors and light wells rhythmically articulate the home on every facade, breaking up the mass of the structure while bringing in light and views to the well-landscaped garden throughout. Windows follow the same proportion on every facade, aiding the rhythm.

2. Describe how the proposed development’s design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

This residence integrates well into the surrounding style of its street and neighborhood by maintaining the same scale of massing as nearby homes, and by utilizing the materials of smooth white stucco and spanish clay tile roof. The recessed windows, entry and light wells that puncture the house reduce the sense of scale, and the front yard garden is beautifully featured against the white facade. The most noticeable feature of this residence will be the sculptural olive trees set against the refined facade. Diminished from view is the length of the driveway and the parking areas, which allow the beauty of the landscape and the architecture to shine.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

This proposed development will enhance the neighborhood by providing a residence that stands with elegance and refinement. Not overbearing and not overly ornate, the purity of the materials and of the Mediterranean Modern aesthetic lend well to creating a positive yet not pretentious architectural statement. The landscape and the architecture of the development blend well together, and provide an aesthetic respite along the street front. The strong relationship between the interior and the exterior, along with the emphasized central axis, produce a residence with character, culture and class.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Privacy from the street is well provided by placing olive trees in the front of most of the street-facing windows. Although a South-facing stairwell is composed of glass, the glass is opaque in the areas that would intersect with sight-lines from the adjacent neighbor. The stairwell is also recessed back from the setback line, providing further privacy. On the North facade, the drive way and parking areas provide a buffer from the adjacent house, and the light-well and small upstairs deck are also recessed. Landscape and a side yard fence further maintain privacy for both the owner and the neighbors.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

The street on which this development sits is a mix of single-and two-story homes that feature both mixed and pure architectural styles, mostly of Mediterranean influence. Following that lead, this development uses the proportions of Tuscan villas and the tones of Spanish materials in a modern way. By adapting the iconic materials of the Beverly Hills landscape into a refined and contemporary home, both the owner and the neighborhood benefit from an harmonious statement of classic style and contemporary living.

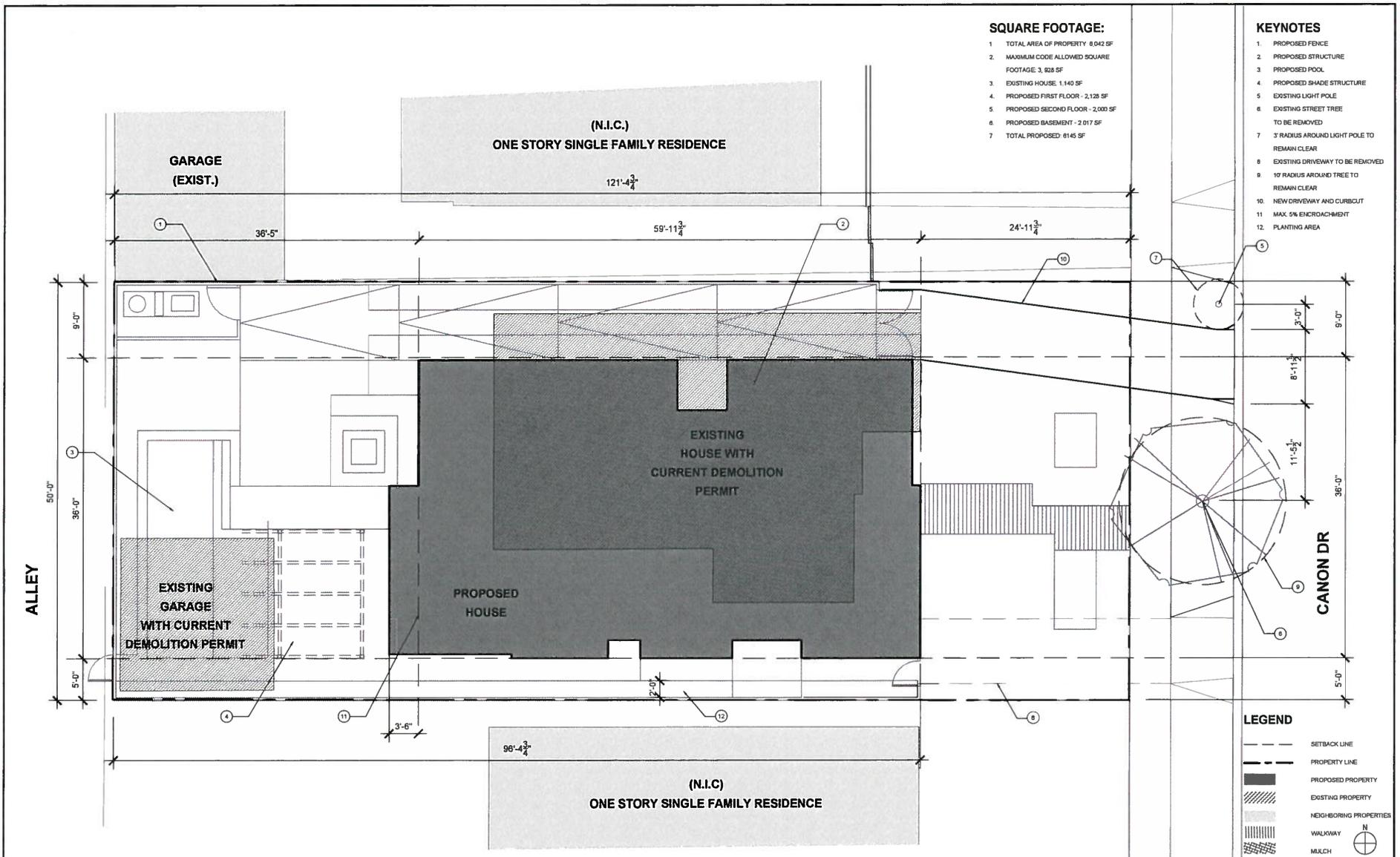


Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment B
Project Design Plans



PROJECT NAME **Canon Residence**
 341 S Canon Dr,
 Beverly Hills, CA 90212

Relativity ARCHITECTS

6056 Harold Way
 Hollywood, CA 90028
 310.573.4300
 213.232.3664 fx

reference/title: PLOT PLAN
 date: 10/19/15

SHEET
A100
 scale: 3/32"=1'-0"

PLANTING KEY TREES

SYMBOL	ABBR.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	GEI PAR	1	36" BOX STD	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	L
	OLE SWA	2	48" BOX MULTI	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	L
	FIG MIS	1	24" BOX ESPALIER	FIG 'MISSION'	MISSION FIG	NA

SUCCULENTS/GROUNDCOVERS

SYMBOL	ABBR.	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	ECH IMB	55 SF	4" POTS @ 6" O.C.	ECHEVERIA IMBRICATA	HENS 'N' CHICKS	L
	FES GLA	171 SF	4" POTS @ 6" O.C.	FESTUCA GLAUCA	BLUE FESCUE	L
	LAWN	320 SF	SOD	MARATHON SOD	MARATHON SOD	H
	DYM MAR	40 SF	FLATS SOLID	DYMONDIA MARGARATAE	DYMONDIA	L
	STA BYZ	120 SF	4" POTS @ 9" O.C.	STACHYS BYZANTINA	LAMB'S EARS	M
		79 SF		SHREDDED WOOD MULCH		
		75 SF		MEXICAN BEACH PEBBLES		

SHRUBS/PERENNIALS/VINES

SYMBOL	ABBR.	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
	DIE BIC	12	5 GAL	DIETES BICOLOR	FORTNIGHT LILY	L
	FIC PUM	14	1 GAL STAKED	FICUS PUMILA	FIG IVY	M
	LAV GRO	73	5 GAL	LAVANDULA INTERMEDIA 'GROSSO'	FRENCH LAVENDER	L
	LIR GIG	39	1 GAL	LIRIOPE GIGANTEA	GIANT LIRIOPE	M
	PEN ORI	29	5 GAL	PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	L
	PHO TEN	1	5 GAL	PHORMIUM TENAX 'MAORI CHIEF'	NEW ZEALAND FLAX	L
	PIT CRA	22	5 GAL	PITTOSPORUM CRASSIFOLIUM 'COMPACTUM'	COMPACT PITTOSPORUM	M
	PIT SIL	20	24" BOX	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN PITTOSPORUM	M

HERB GARDEN

SYMBOL	ABBR.	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WUCOLS
		65 SF	4" POTS	HERB GARDEN	PLANTS TO BE SELECTED BY OWNER	NA

NOTES
 1. MINIMUM OF 2" OF SHREDDED WOOD MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, OR CREEPING OR ROOTING GROUNDCOVERS
 2. SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT
 3. 65 SF OF HERB GARDEN PERMANENTLY AND SOLELY DEDICATED TO EDIBLE PLANTS
 - - - - - HYDROZONE PER IRRIGATION DESIGN PLAN



DYM MAR



STA BYZ



GEI PAR OLE SWA FIG MIS DIE BIC FIC PUM LAV GRO LIR GIG PEN ORI PHO TEN PIT CRA PIT SIL ECH IMB FES GLA LAWN

meg rushing coffee

landscape architecture & design #4747

732 S Mansfield Ave. #211
 Los Angeles, CA 90036
 310-387-5891
 mrc@design.com

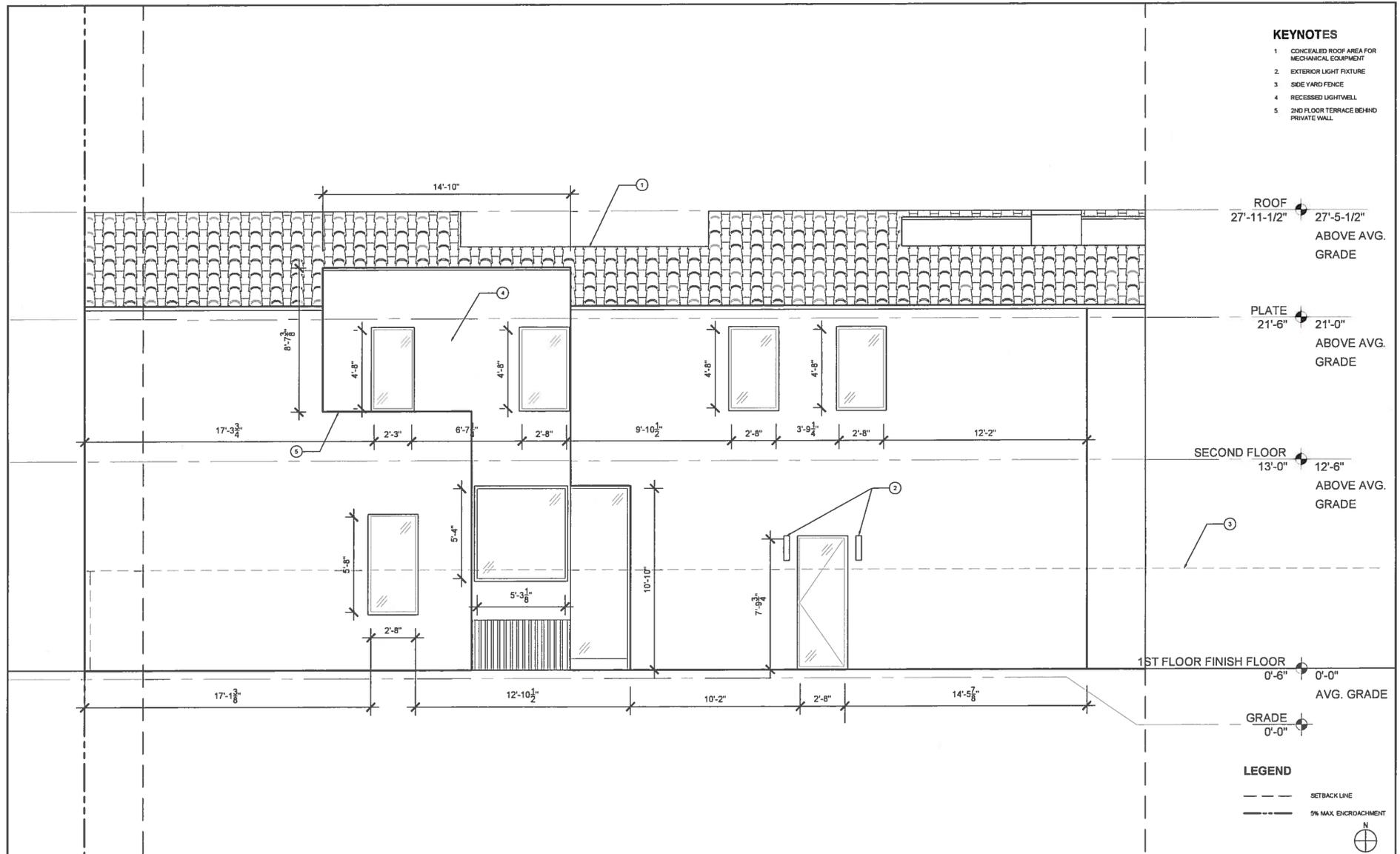
CANON DRIVE RESIDENCE

341 S. Canon Drive
 Beverly Hills, CA 90212

L1.2
 PLANTING KEY & NOTES
 17 AUG 2015

KEYNOTES

- 1 CONCEALED ROOF AREA FOR MECHANICAL EQUIPMENT
- 2 EXTERIOR LIGHT FIXTURE
- 3 SIDE YARD FENCE
- 4 RECESSED LIGHTWELL
- 5 2ND FLOOR TERRACE BEHIND PRIVATE WALL



PROJECT NAME
Relativity ARCHITECTS

CANON RESIDENCE
 341 S CANON DR,
 BEVERLY HILLS, CA 90212

6056 Harold Way
 Hollywood, CA 90028
 310.573.4300
 213.232.3664 fx

reference/title: NORTH ELEVATION
 date: 10/19/15

LEGEND

--- SETBACK LINE
 - - - 5% MAX. ENCRoACHMENT

N
 SHEET

A403

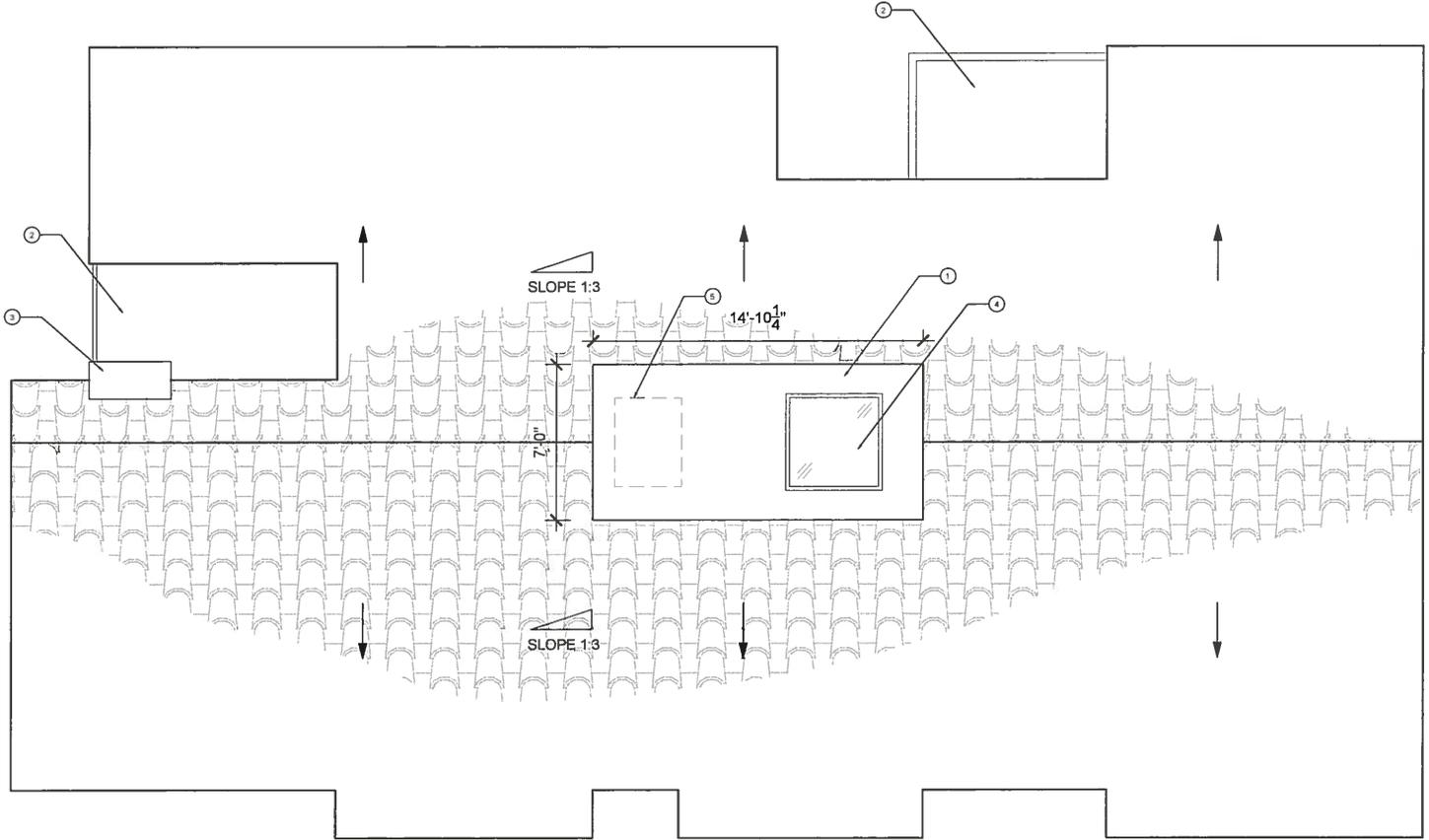
scale: 3/16" = 1'-0"

GENERAL NOTES

- 1. PROPOSED ROOFING MATERIAL TO BE SPANISH CLAY C-TILES WITH 20% BLEND SEE MATERIAL BOARD

KEYNOTES

- 1. CONCEALED ROOF AREA FOR MECHANICAL EQUIPMENT, OPENING 5% OF TOTAL ROOF
- 2. PATIO BELOW
- 3. CHIMNEY
- 4. ROOF ACCESS SKYLIGHT
- 5. MECHANICAL UNIT



PROJECT NAME

CANON RESIDENCE
341 S CANON DR.
BEVERLY HILLS, CA 90212

6056 Harold Way
Hollywood, CA 90028
310.573.4300
213.232.3664 fx

reference/title: ROOF PLAN

date: 10/19/15

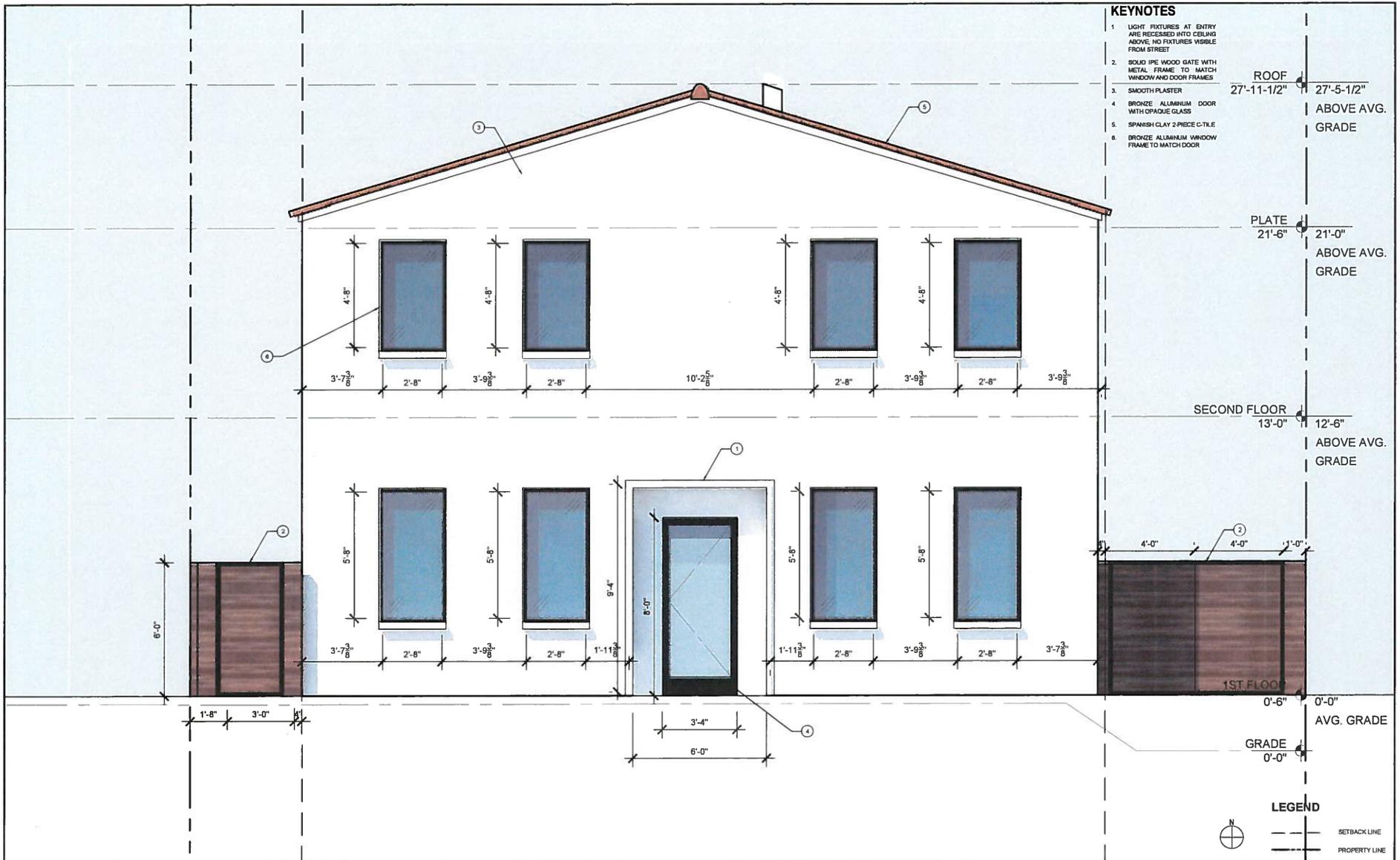
Relativity
ARCHITECTS



SHEET

A300

scale: 3/16" = 1'-0"



KEYNOTES

- 1 LIGHT FIXTURES AT ENTRY ARE RECESSED INTO CEILING ABOVE, NO FIXTURES VISIBLE FROM STREET
- 2 SOLID IPE WOOD GATE WITH METAL FRAME TO MATCH WINDOW AND DOOR FRAMES
- 3 SMOOTH PLASTER
- 4 BRONZE ALUMINUM DOOR WITH OPAQUE GLASS
- 5 SPANISH CLAY 2-PIECE C-TILE
- 6 BRONZE ALUMINUM WINDOW FRAME TO MATCH DOOR

ROOF 27'-11-1/2" 27'-5-1/2" ABOVE AVG. GRADE

PLATE 21'-6" 21'-0" ABOVE AVG. GRADE

SECOND FLOOR 13'-0" 12'-6" ABOVE AVG. GRADE

1ST FLOOR 0'-6" 0'-0" AVG. GRADE

GRADE 0'-0"

LEGEND

--- SETBACK LINE

--- PROPERTY LINE



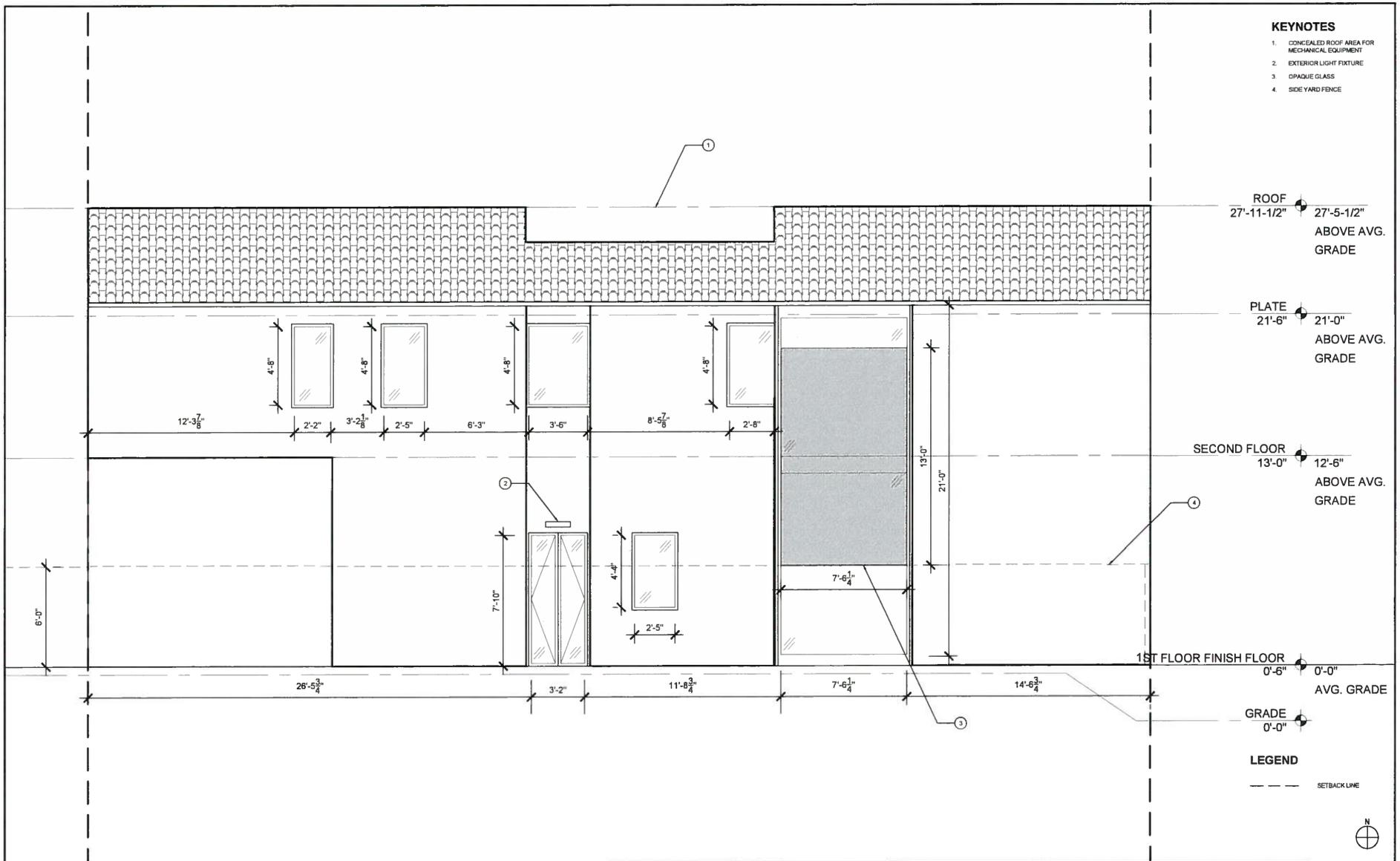
PROJECT NAME **Canon Residence**
 341 S Canon Dr,
 Beverly Hills, CA 90212

6056 Harold Way
 Hollywood, CA 90028
 310.573.4300
 213.232.3664 fx

reference/title: COLOR EAST ELEVATION
 date: 10/19/15

SHEET
A400
 scale: 1/4" = 1'-0"

Relativity
 ARCHITECTS





PROJECT NAME

CANON RESIDENCE
341 S CANON DR.
BEVERLY HILLS, CA 90212

6056 Harold Way
Hollywood, CA 90028
310.573.4300
213.232.3664 fx

reference/title: STREETScape PHOTO MONTAGE WITH PROPOSED LANDSCAPE

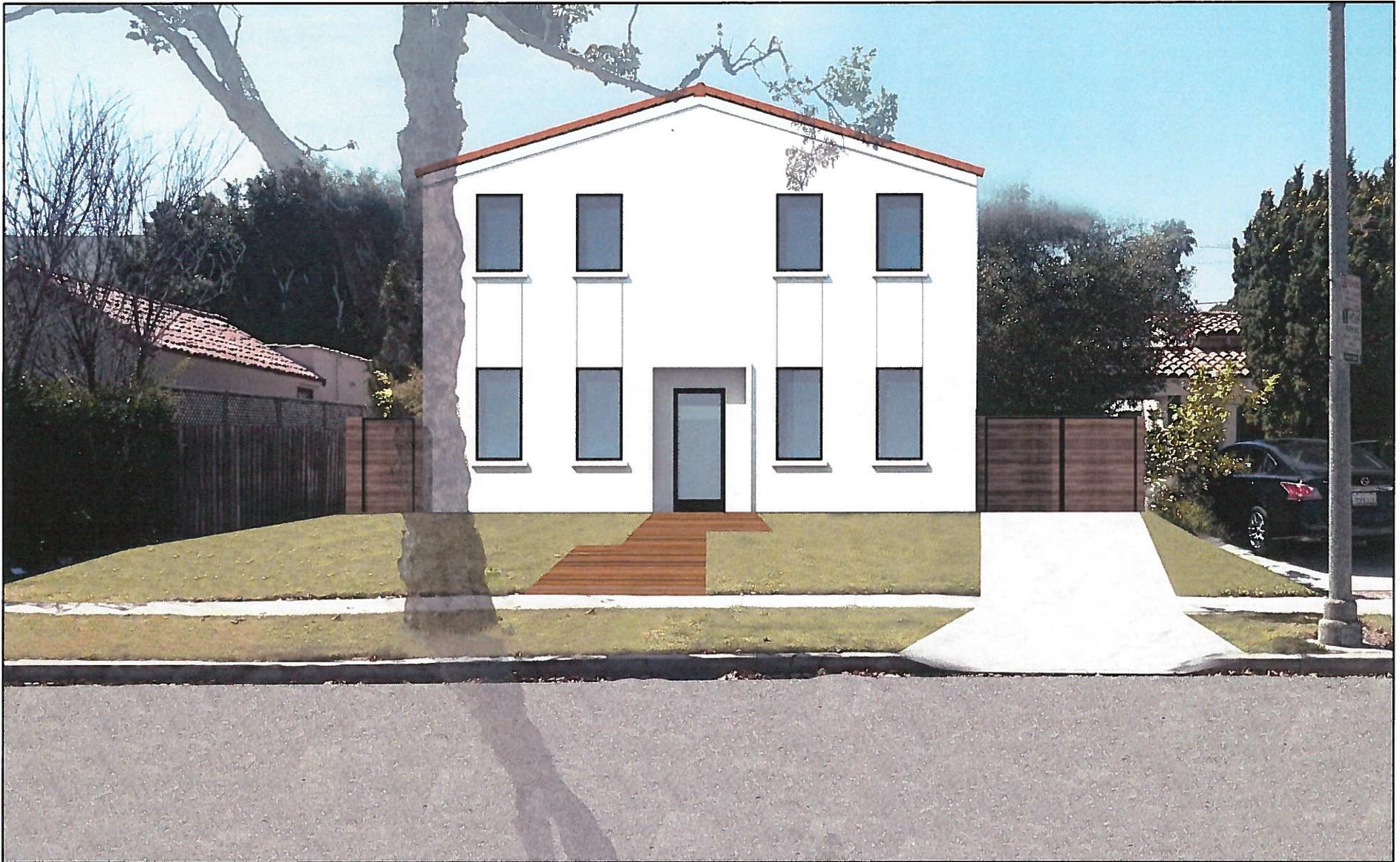
date: 10/19/15

Relativity
ARCHITECTS

SHEET

A702

scale: N.T.S.



PROJECT NAME

CANON RESIDENCE
341 S CANON DR,
BEVERLY HILLS, CA 90212

6056 Harold Way
Hollywood, CA 90028
310.573.4300
213.232.3664 fx

reference/title: STREETScape PHOTO MONTAGE WITHOUT PROPOSED LANDSCAPE

date: 10/19/15

Relativity
ARCHITECTS

SHEET

A703

scale: N.T.S.



PROJECT NAME

CANON RESIDENCE
341 S CANON DR.
BEVERLY HILLS, CA 90028

6056 Harold Way
Hollywood, CA 90028
310.573.4300
213.232.3664 fx

Relativity
ARCHITECTS

reference/title: 3-DIMENSIONAL PERSPECTIVE RENDERING

date: 10/05/15

SHEET

A704

scale: N.T.S.



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-15

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 341 SOUTH CANON DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Ginna Nguyen, Relativity Architects, agent, on behalf of Daniel Halevy, property owner (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 341 South Canon Drive which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Prior to the filing of the Design Review application, the existing single family residence on the site was reviewed and found to be a potential historic resource designed by a party listed on the City's Master Architect list (Dickason Building Co.). Pursuant to BHMC §10-3-3218, any work involving a change in design, material, or appearance proposed on a property forty five (45) years or older and designed by a person listed on the city's list of master architects shall be subject to a thirty (30) day holding period prior to the issuance of permits. If, after the expiration of the final period of time to act, the City Council has not taken an action on the application or initiation to designate, then any pending permit(s) may be issued and demolition, alteration, or relocation of the property may proceed (BHMC §10-3-3217). Since no action was initiated to designate the subject property within the 30-day holding period, the subject property is not considered to be a historic resource in the City of Beverly Hills and the processing of the pending demolition permit may proceed.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **November 5, 2015**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including

existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as

conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project Specific Conditions

No project-specific conditions are proposed.

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the

commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.

7. **Covenant Recording.** This resolution approving an R-1 Design Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60-day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.
9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **November 5, 2015**

Ryan Gohlich, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission