



Design Review Commission Report

Meeting Date: Thursday, November 5, 2015

Subject: 511 ARDEN DRIVE (PL1528155)

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Siavash Jazayeri – Sia Architectural Design

Recommendation: Conduct public hearing and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The proposed style is identified by the applicant as Contemporary; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

The overall design appears balanced and thoughtful in its execution and presents an overall internally compatible architectural style, which is further enhanced by landscaping that supports the Contemporary architecture. However, additional details should be developed for the light panel proposed above the garage door, which is recommended to be installed on a dimmer so as not to serve as an impact to the streetscape and surrounding residential properties.

A project-specific condition has been added to the draft approval resolution (Attachment C) regarding the recommended illumination dimmer; however, the Commission may add/delete/amend project-specific conditions deemed necessary to make the findings required for approval.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, AICP, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet and the block face of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 23, 2015; the site was posted on Thursday, Friday, October 23, 2015. To date staff has not received comments in regards to the submitted project.



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City's Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

Contemporary. The massing and the lines of the projects are contemporary. The exterior textures are smooth stucco and reclaimed natural wood siding.

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|---------------------------------------|-------------------------------|------------------------------|
| <input type="radio"/> R-1 | <input type="radio"/> R-1.5X2 | <input type="radio"/> R-1.8X |
| <input checked="" type="radio"/> R-1X | <input type="radio"/> R-1.6X | |
| <input type="radio"/> R-1.5X | <input type="radio"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 161.29' x 65.00' Lot Area (square feet): 11,480.00 sq. ft.
 Adjacent Streets: Carmelita Ave. & Park Way

E Lot is currently developed with (check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence |
| <input type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes, please list Architect's name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

Through the process of design review, the proposed project's information shall be mailed to the adjacent neighbors.

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	25'-6 1/2"		25'-6 1/2"
Roof Plate Height:	22'-0"	21'-11 1/2"	21'-11 1/2"
Floor Area:	6,092.00 sq. ft.		6,089.89 sq. ft.
Rear Setbacks:	39.73'		39.73'
Side Setbacks:	S/E 7.50'	S/E 4.20'	S/E 7.50'
	N/W 7.50'	N/W 10.90'	N/W 7.50'
Parking Spaces:	4	2	4

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: LaHabra Stucco / Porcelain Tile / Coral Fenang vintage wood
 Texture /Finish: Smooth Stucco / Porcelain Tile / Natural reclaimed wood
 Color / Transparency: LaHabra 'Crystal White' & 'Silverado' / Dark Grey Porcelain Tile / Vintage Wood

WINDOWS (Include frame, trim, glass, metal, etc)

Material: Aluminum
 Texture /Finish: Paint
 Color / Transparency: Dunn Edwards, Black DEA 187

DOORS (Include frame, trim, glass, metal, etc)

Material: Aluminum/ Glass
 Texture /Finish: Paint
 Color / Transparency: Dunn Edwards, Black DEA 187

PEDIMENTS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

ROOF

Material: Built-Up Roofing
 Texture /Finish: Flintglas Cap Sheet Coolstar
 Color / Transparency: _____

CORBELS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

CHIMNEY(S)

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: Tempered Glass
Texture /Finish: Clear
Color / Transparency: Clear

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: Sheet Metal, Galvanized Iron, Concealed inside the wall
Texture /Finish: _____
Color / Transparency: _____

EXTERIOR LIGHTING

Material: Hinkley Atlantis Titanium, 16" High
Texture /Finish: Titanium Finish
Color / Transparency: _____

PAVED SURFACES

Material: Concrete Pavers
Texture /Finish: Concrete
Color / Transparency: _____

FREESTANDING WALLS AND FENCES

Material: Walls, Smooth Stucco
Texture /Finish: LaHabra Stucco, Paint 'Crystal White'
Color / Transparency: _____

OTHER DESIGN ELEMENTS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

The proposed landscaping is simple, yet has a complimentary modern look with local drought-tolerant flora.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. *Describe* how the proposed development's design exhibits an internally compatible design scheme.

The proposed design has clean contemporary lines and textures, as well as open spaces on the interior as well as the exterior.

2. *Describe* how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

The massing of the building splits into various horizontal and vertical planes with different textures, which reduces the appearance of its scale. The proposed landscape design offers plants which improves and enhances the current conditions.

3. *Describe* how the proposed development will enhance the appearance of the neighborhood.

Most of the existing neighboring houses are about 50 years old and have an ad-hoc design. The proposed development exceeds the design quality of most of the adjacent structures.

4. *Describe* how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Since the block the proposed project is located at lacks continuity of any architectural style and has older design standards, the proposed development elevates the quality of the block through its design and in no way invades the privacy of the adjacent neighbors.

5. *Describe* how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

The site lacks any prevailing design patterns and the proposed development utilizes natural building materials and textures, including porcelain tile & natural reclaimed wood from local sources.



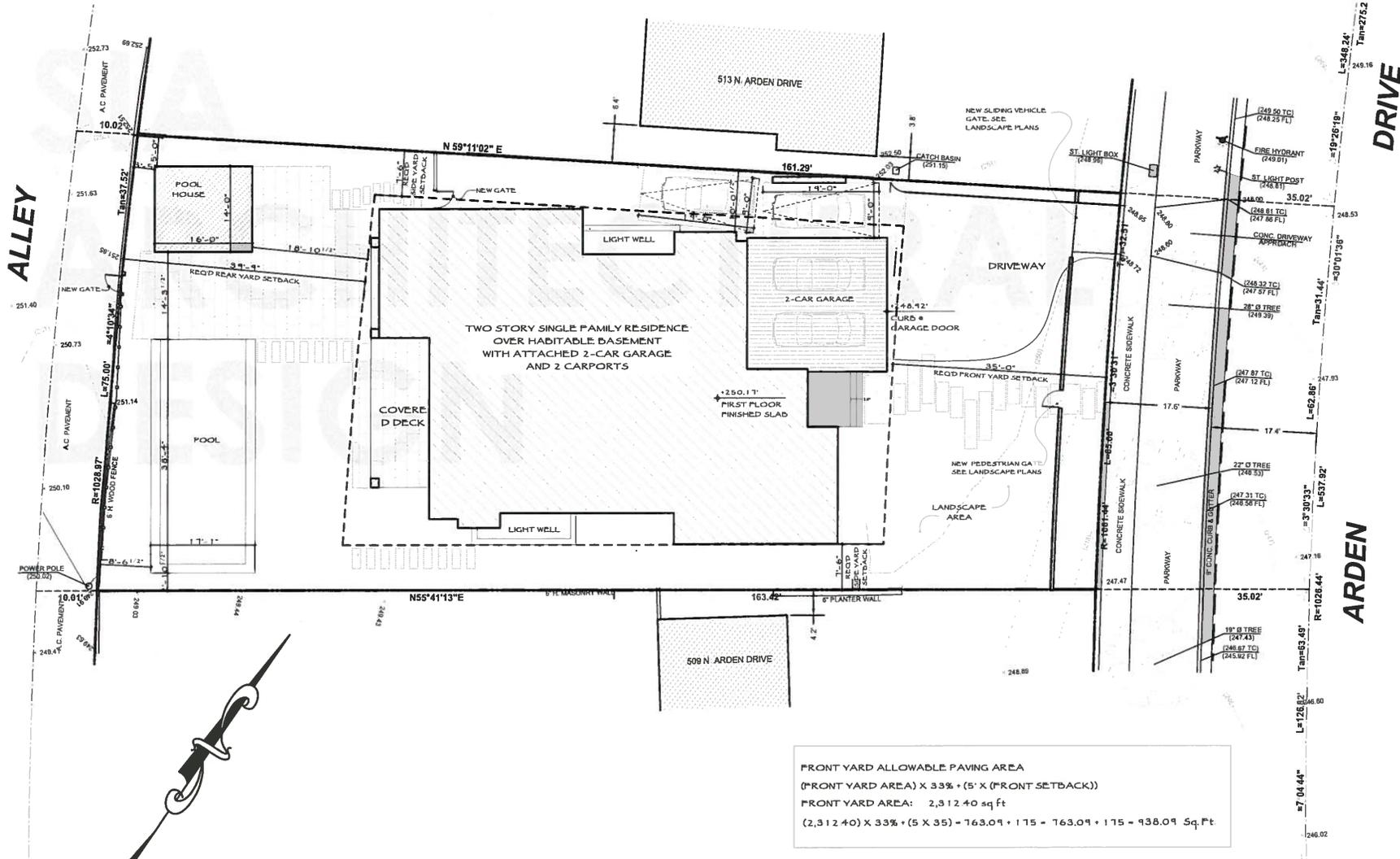
Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment B
Project Design Plans

NOTE TO ALL: No changes shall be made to these plans or specifications without prior approval from the Architect. Unauthorized changes will constitute a breach of Contract.



BUILDING SETBACKS

FRONT SETBACK :	35.00 FEET
MIN. TOTAL SIDE SETBACKS : LOT WIDTH X 20% = 62.86 X 20% = 12.57'	
RIGHT SIDE SETBACK :	7.50 FEET
LEFT SIDE SETBACK :	7.50 FEET
REAR SETBACK :	LOT DEPTH X 30% = 9.00' = 162.46' X 30% = 9.00' = 39.73'

FRONT YARD ALLOWABLE PAVING AREA
 (FRONT YARD AREA) X 33% + (5' X (FRONT SETBACK))
 FRONT YARD AREA: 2,312.40 sq ft
 (2,312.40) X 33% + (5 X 35) = 763.09 + 175 = 763.09 + 175 = 938.09 Sq. Ft.

PROPOSED PROJECT AREA

TOTAL BUILDING FLOOR AREA:	6,089.89 Sq. Ft.
MAX. ALLOWABLE FLOOR AREA PER BHMC SECTION 10-3-100:	
1,500 Sq. Ft. + 40% OF LOT AREA	
1,500 Sq. Ft. + 40% (11,480.00) =	
1,500 Sq. Ft. + 4,592.00 =	6,092.00 Sq. Ft.

Permit Date

Project
Arden Drive

511 N. Arden Drive
 Beverly Hills
 CA, 90210

Owner
 LARP LLC.,

822 West 3rd. St.,
 Los Angeles CA 90048



20230 Wells Drive
 Woodland Hills, CA
 91364
 t: 818-704-0667
 f: 818-704-0760
 www.siaarchdesign.com

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SITE PLAN

8/11/2015
 scale: 1/16" = 1'-0"
 prepared by: M.D.
 job #: 2015-217

A-0.0

FRONT LANDSCAPE ELEVATION:



FRONT WALL AND GATE ELEVATION:



511 N. ARDEN DRIVE



ENVIRONMENTAL
DESIGN
STUDIO

451 MICHELE ROMA STREET, LOS ANGELES, CA 90024
WWW.EDS-USA.COM

NEW RESIDENCE
511 N. ARDEN DRIVE
BEVERLY HILLS, CA 90210

ISSUE/ REVISIONS:	No.	DATE	DESCRIPTION

1. THIS DESIGN IS CONSIDERED AN ARTIST'S CONCEPT. ALL NECESSARY PERMITS, FEES, AND EXISTING CONDITIONS WILL BE DETERMINED BY THE CLIENT.
2. EXACT PLANT LOCATIONS WILL BE DETERMINED ACCORDING TO THE REQUIREMENTS OF THE CONTRACTOR.
3. CITY REQUIREMENTS, PERMITS, AND CODE COMPLIANCE MUST BE MET BY THE PROPERTY OWNER AND SHALL BE OBTAINED BY THE PROPLIER.
4. THIS DRAWING AND ANY OTHERS ARE FOR ILLUSTRATION PURPOSES ONLY AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

DRAWN: _____ DATE: _____

JOB NUMBER: 0000

DESIGNER: SF,CT,CB

DRAWN BY: CB

DATE: 07/09/15

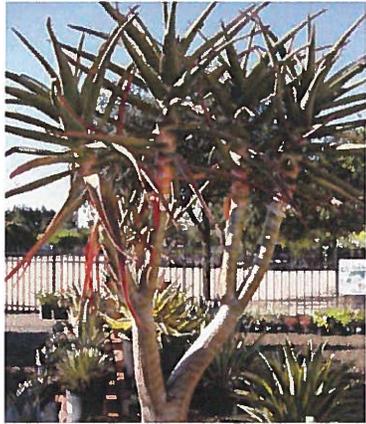
SHEET DESCRIPTION:

ELEVATIONS

SHEET NUMBER:

L 2.1

TREES



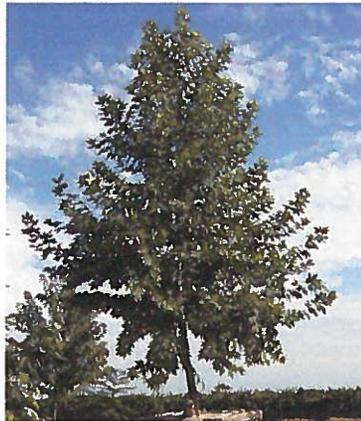
Aloe barberae



Arbutus marina - Standard



Olea europaea 'Manzanillo'



Platanus racemosa



Ulmus parvifolia

PLANT MATERIAL



Agave 'Blue Glow'



Asclepias tuberosa



Bambusa oldhamii



Carex divulsa



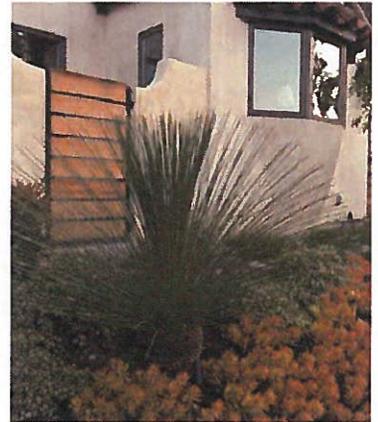
Carex pansa



Ceanothus 'Yankee Point'



Chondropetalum tectorum



Dasylirion longissimum

PLANT MATERIAL



Dianella tasmanica 'Variegata'



Dymondia margaretae



Laurus nobilis



Olea europaea 'Little Ollie'



Pittosporum crassifolium 'Nana'

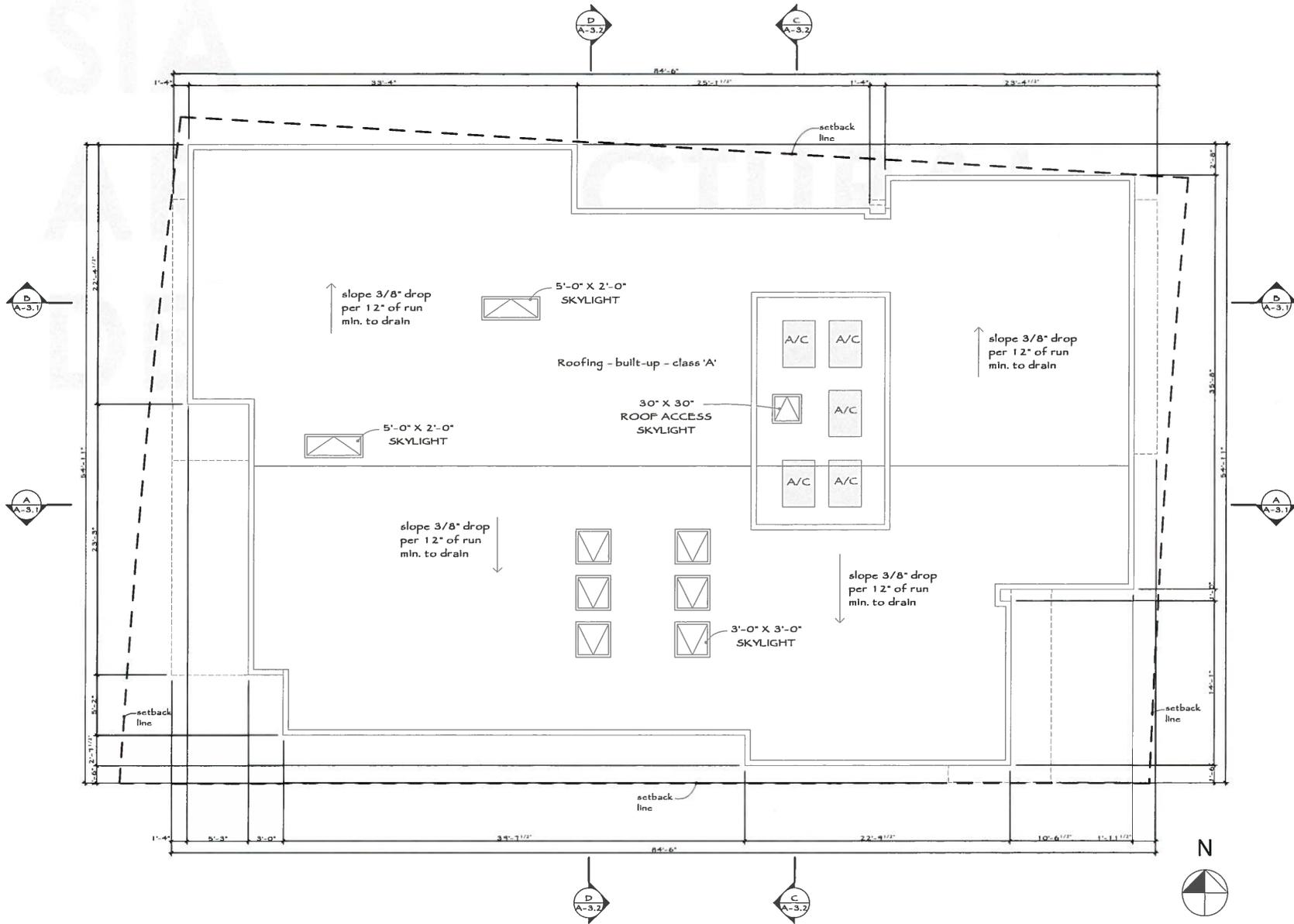


Sedum nussbaumerianum



Westringia fruticosa 'Morning Light'

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ROOF PLAN

8/11/2015

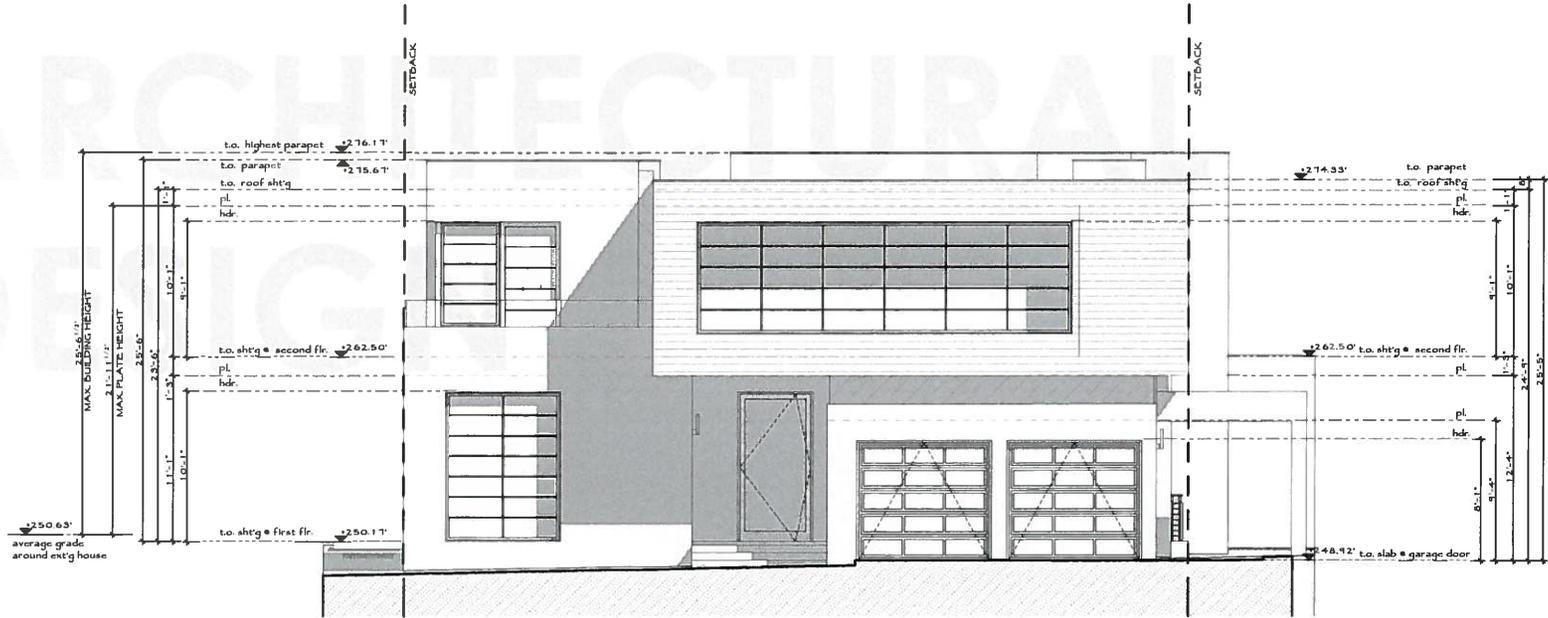
scale: 1/8" = 1'-0"

prepared by: M.D.

job #: 2015.217

A-1.6

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WEST/FRONT ELEVATION

1/8" = 1'-0"

Permit Date

Project

Arden Drive

511 N. Arden Drive
 Beverly Hills
 CA, 90210

Owner

LARP LLC.,

822 West 3rd. St.,
 Los Angeles CA 90048



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WEST/FRONT
 ELEVATION

8/11/2015

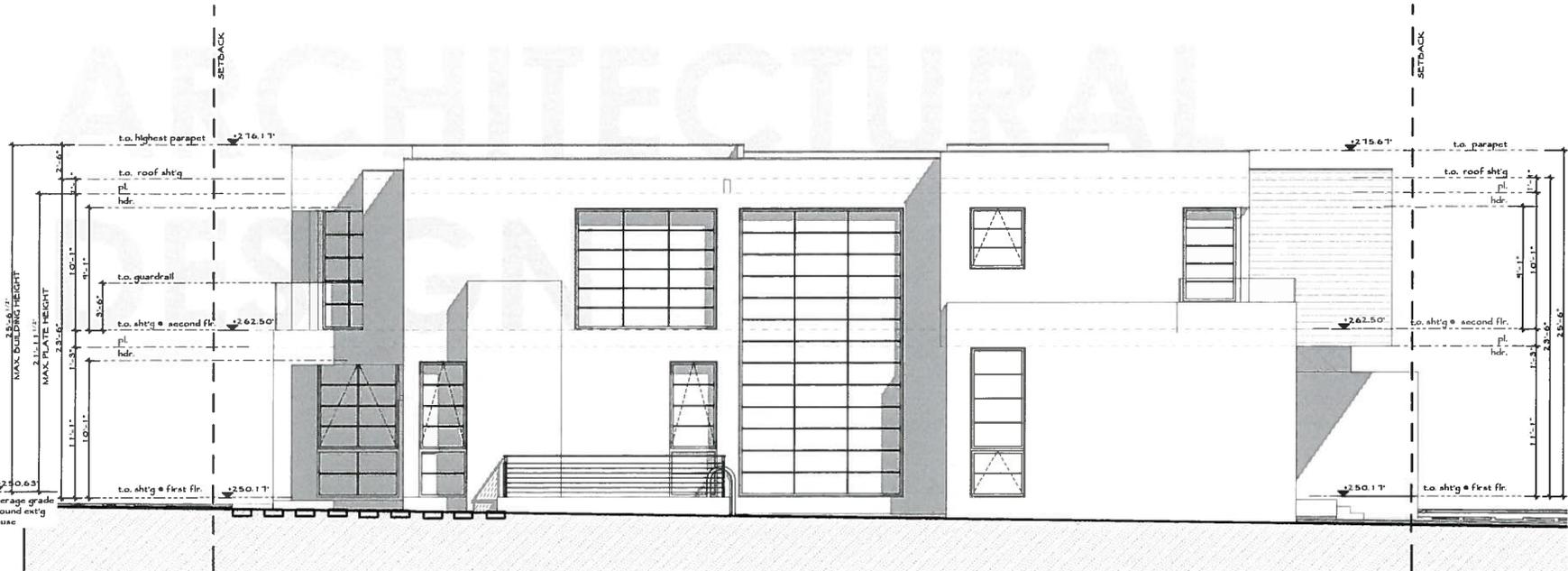
scale: 1/8" = 1'-0"

prepared by: M.D.

job #: 2015 217

A-2.1

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NORTH/LEFT ELEVATION

1/8" = 1'-0"

Permit Date

Project

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Beverly Hills
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NORTH/LEFT ELEVATION

8/11/2015

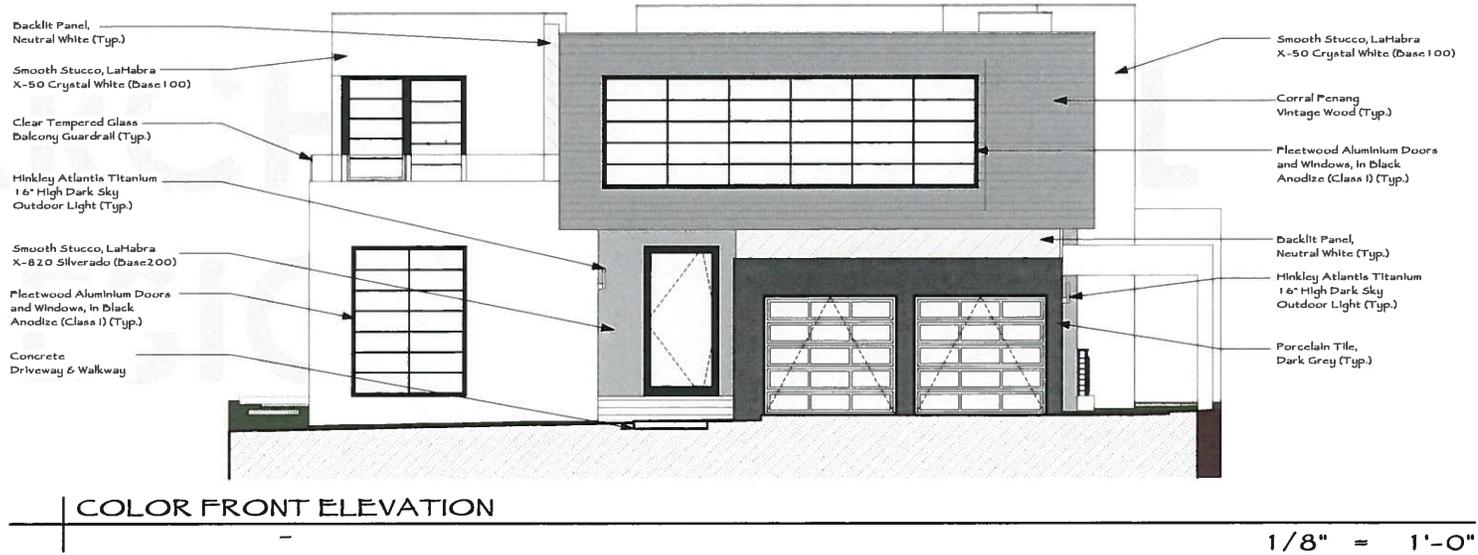
scale:

prepared by: M.D.

job #: 2015 217

A-2.4

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Permit Date

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**COLOR FRONT
ELEVATION**

8/11/2015

scale:

prepared by: M.D.

job #: 2015 217

A-2.5

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EXISTING STREET VIEW



PROPOSED STREET VIEW

Permit Date

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STREET VIEW PHOTO MONTAGE

8/11/2015

scale:

prepared by: M.D.

job #: 2015-217

A-5.2

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Permit Date

Project

Arden Drive

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SIA
architectural
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COLOR RENDERINGS

8/11/2015

scale:

prepared by: M.D.

job #: 2015.217

A-5.3



Design Review Commission Report

455 North Rexford Drive

November 5, 2015

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-15

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW CONSTRUCTION OF A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 511 ARDEN DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Siavash Jazayeri, Sia Architectural Design, architect, on behalf of LARP LLC, property owner (Collectively the "Applicant"), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 511 Arden Drive which is located in the city's Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city's Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **November 5, 2015**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its

review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project Specific Conditions

1. The light panel located above the garage door shall be installed on a dimmer.

Standard Conditions

2. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
3. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
4. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
5. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from

the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

6. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

7. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.

8. **Covenant Recording.** This resolution approving an R-1 Design Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60-day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.

9. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

10. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **November 5, 2015**

Ryan Gohlich, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission