



Design Review Commission Report

Meeting Date: Thursday, August 6, 2015
(continued from July 2, 2015)

Subject: **711 Hillcrest Road (PL1507304)**
A request for an R-1 Design Review Permit to allow a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Hamid Gabbay – Gabbay Architects

Recommendation: Conduct public hearing and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The proposed style is identified by the applicant as Contemporary; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

The project was previously reviewed by the Design Review Commission at its meeting on Thursday, March 5, 2015 (Attachment A). At that meeting, the Commission felt the design warranted further review and directed for the applicant to restudy the project. The comments related primarily to the building being too boxy, too many lights, camphor trees and bamboo needing to be replaced, fence too cold, design being bland, massive, and imposing, and the house needs a complete redesign.

As a result of the Commission's comments, the applicant has made the following changes to the design:

1. Reduced the number of doors by more than 50%, a drastic change from the original plans.
2. Reduced the number of lights from 40+ to 10.
3. Replaced the Camphor trees with 72" Box Olive trees.
4. Eliminated the fence and gate.
5. Stated that the style is a "Symmetrical Contemporary" or a "Simplified Traditional."

The Applicant further states that "On paper it might appear massive, but in reality the house has major modulation. The height is 30' - 0" (below maximum), the side yards are 11' - 0" and 16' - 0", which is way over the minimum required; and the front yard is 45' - 0" instead of the required 40' - 0"."

Attachment(s):

- A. June 4, 2015 DRC Staff Report and Previously Proposed Plans
- B. Applicant's Written Response to Commission's Comments
- C. Project Design Plans
- D. DRAFT Approval Resolution

Report Author and Contact Information:

Georgana Millican, Associate Planner
(310) 285-1121
gmillican@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

August 6, 2015

It should be noted that the Applicant has chosen to increase the plate height from 22 feet to 24 feet thus the Code requires that the house be set back an additional five feet (5') from the front property making the required front yard setback 45 feet (45') rather than 40 feet (to allow the increase in the plate height). The maximum allowable height for a flat roof is 30 feet (30') which is the proposed height of the house.

An applicant-prepared *Response to Comments* is included in Attachment B of this report.

URBAN DESIGN ANALYSIS

Based on a review conducted by the Urban Design Team, the design does not appear to respond adequately to the Commission's request for a complete redesign. The redesign still appears very boxy and the proposed green glass for the windows is more commercial office than residential. The landscaping plan while replacing the Camphor trees with Olive trees, is just lawn and bamboo at the base of the building with limited hedges on the side. At a minimum the Code requires that the areas of paving have an 18" to 3' high hedge along the sides which the plan lacks entirely. Staff feels that the design needs further refinement along with the proposed landscape plan and is recommending that the Commission hold the public hearing and provide the Applicant with design guidance for the project.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City's Master Architect List nor has it been listed on the City's Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

As the project was continued to a date certain, no additional mailing notices are required. The posted notice at the site has been updated as to the continued hearing date of August 6, 2015.



Design Review Commission Report

455 North Rexford Drive

August 6, 2015

Attachment A

June 4, 2015 DRC Staff Report and Previously Proposed Plans



Design Review Commission Report

Meeting Date: Thursday, June 4, 2015

Subject: **711 Hillcrest Road (PL1507304)**
A request for an R-1 Design Review Permit to allow a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Hamid Gabbay – Gabbay Architects

Recommendation: Conduct public hearing and provide the applicant with design guidance.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The proposed style is identified by the applicant as Contemporary; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

Based on a review conducted by the Urban Design Team, the design reads very boxy with repetitive elements that are more commercial office than residential. The entry is not well defined and the design overall lacks visual interest. Staff feels that the design needs further refinement and is recommending that the Commission hold the public hearing and provide the Applicant with design guidance for the project.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City's Master Architect List nor has it been listed on the City's Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet and the block face of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Georgana Millican, Associate Planner
(310) 285-1121
gmillican@beverlyhills.org

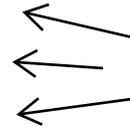


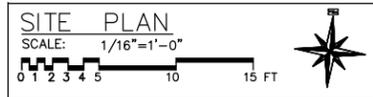
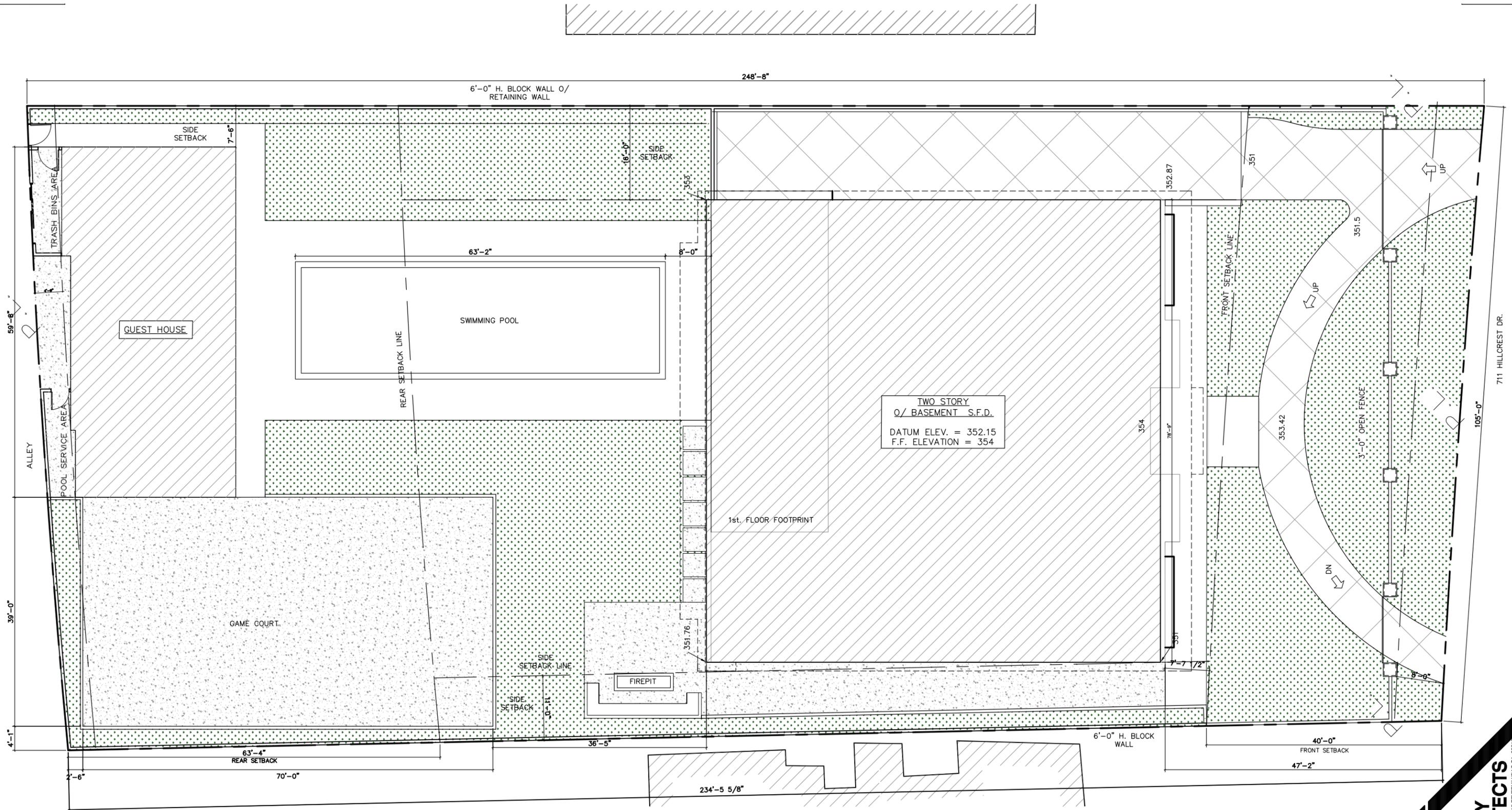
Design Review Commission Report

455 North Rexford Drive

June 4, 2015

public notice for this project was mailed on May 22, 2015; the site was posted on May 19, 2015. To date staff has not received comments in regards to the submitted project.

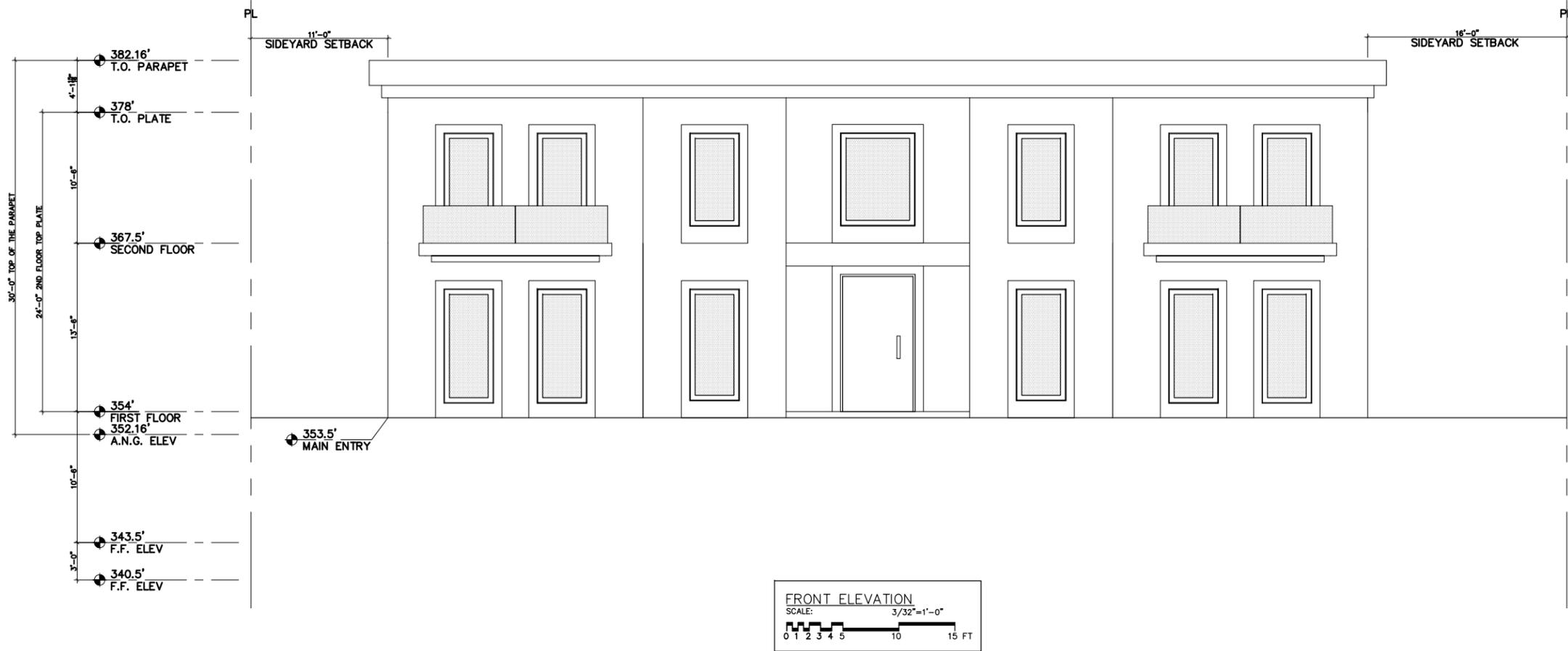




GABBAY ARCHITECTS
9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
TEL. 310.953-8888 FAX 310.953-1518

SHEET TITLE: SITE PLAN	REVISION:
PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210	DRAW: F.P. SCALE: 1/16"=1'-0" DATE: 05-14-15 PROJECT NO.
	SHEET NO. A1.1

HILLCREST RESIDENCE



FRONT ELEVATION
SCALE: 3/32"=1'-0"



REAR ELEVATION
SCALE: 3/32"=1'-0"

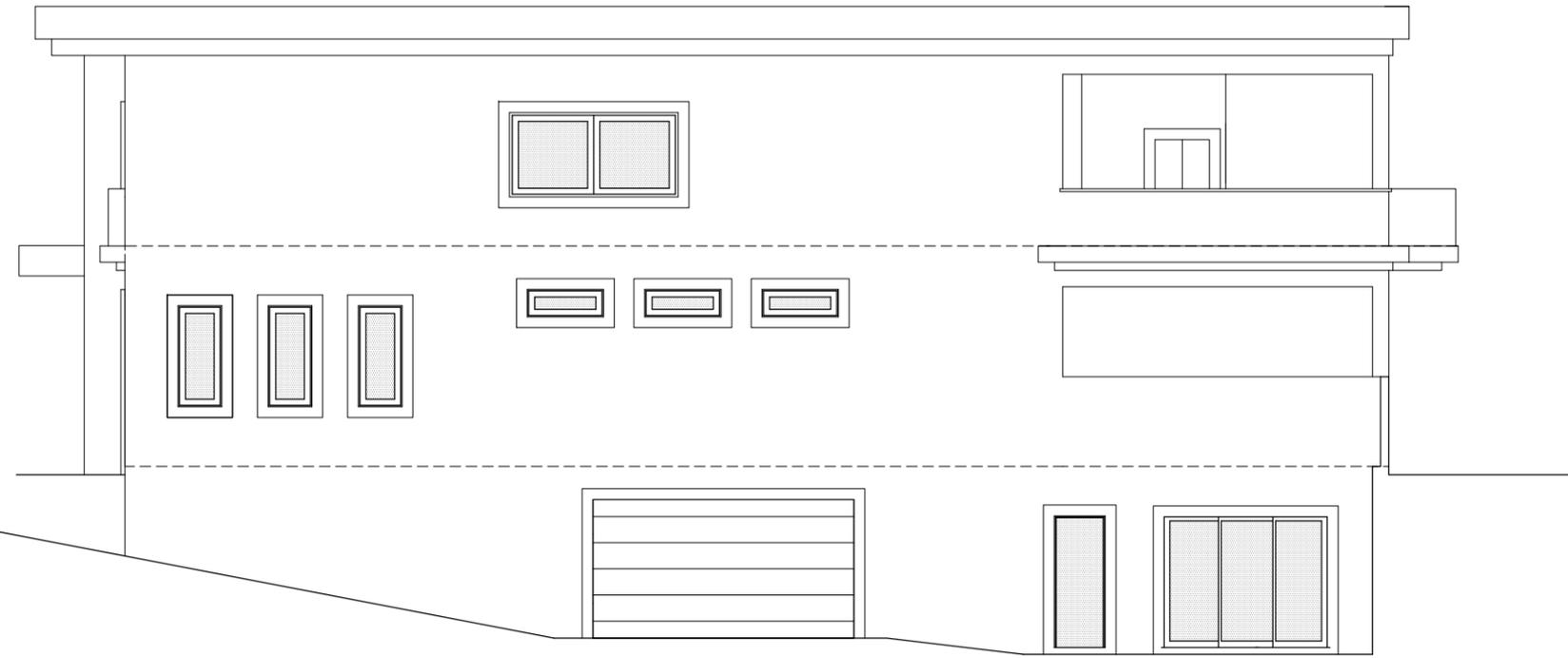
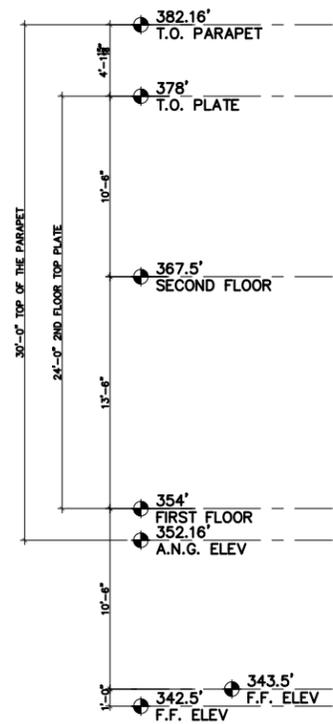
GABBAY ARCHITECTS
9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
TEL. 310.953-8898 FAX 310.960-1516

SHEET TITLE: (N) MAIN HOUSE FRONT, REAR ELEVATION
PROJECT TITLE: HILLCREST RESIDENCE

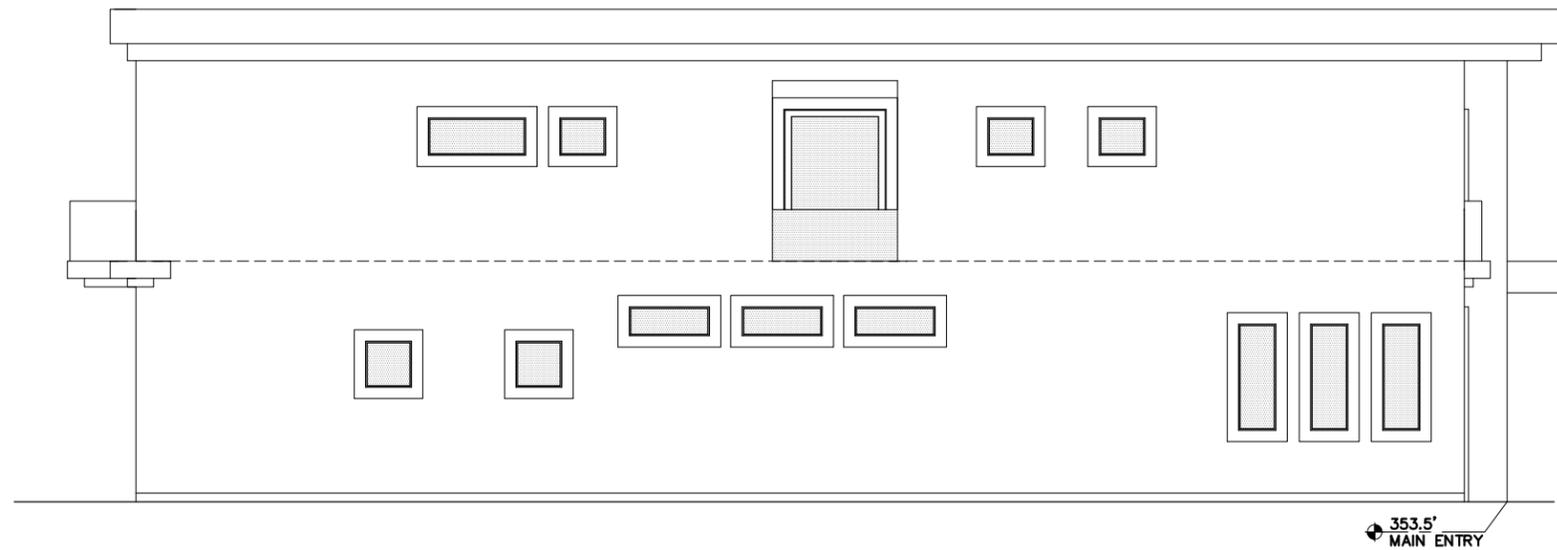
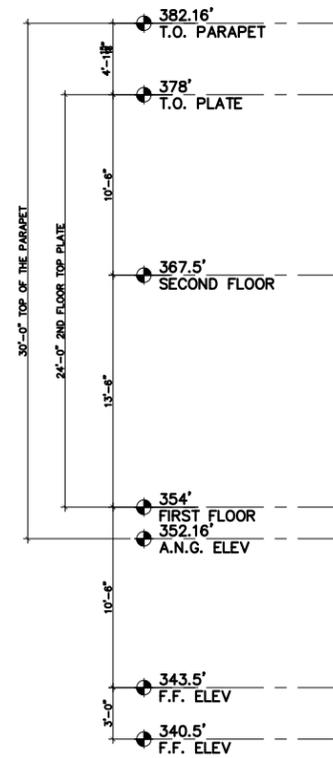
REVISION: _____
DRAW: F.P.
SCALE: 3/32"=1'-0"
DATE: 05-14-15
PROJECT NO. _____

SHEET NO. **A2.5**

711 N. HILLCREST RD.
BEVERLY HILLS, CA 90210



NORTH ELEVATION
 SCALE: 3/32"=1'-0"
 0 1 2 3 4 5 10 15 FT

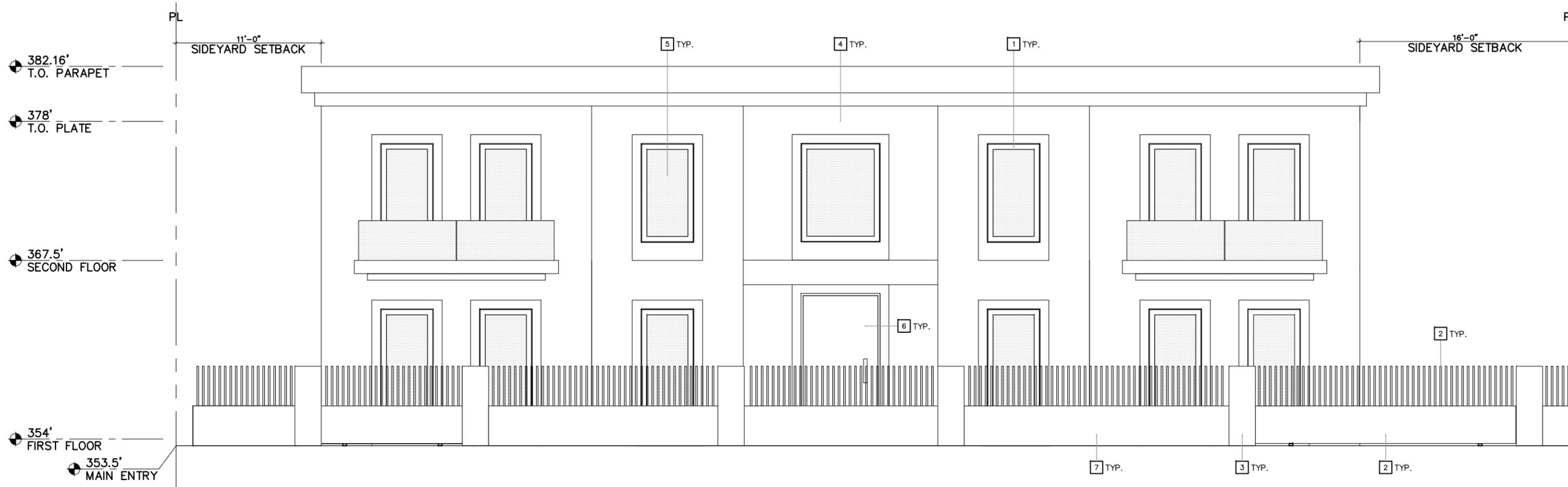


SOUTH ELEVATION
 SCALE: 3/32"=1'-0"
 0 1 2 3 4 5 10 15 FT

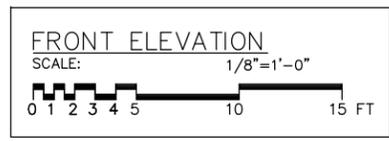
SHEET TITLE:		REVISION:	
(N) MAIN HOUSE FRONT, REAR ELEVATION			
PROJECT TITLE:		DRAW: F.P.	
711 N. HILLCREST RD. BEVERLY HILLS, CA 90210		SCALE: 3/32"=1'-0"	
		DATE: 05-14-15	
		PROJECT NO.	
		SHEET NO. A2.6	

GABBAY ARCHITECTS
 9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
 TEL: 310.953.8808 FAX: 310.960.1516

HILLCREST RESIDENCE



382.16'
 T.O. PARAPET
 378'
 T.O. PLATE
 367.5'
 SECOND FLOOR
 354'
 FIRST FLOOR
 353.5'
 MAIN ENTRY



BUILDING ELEVATIONS KEY NOTES

- 1 ALUMINIUM WINDOW FRAME
(KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
- 2 GATE/FENCE
(KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
- 3 6' HIGH POST W/ TILE FINISH
(MARK GYPSUM MATT)
- 4 TILE FINISH
(MARK GYPSUM MATT)
- 5 GLASS
(ATLANTICA GLASS)
- 6 DOOR
(to match GRAPHITE GRAY for ALUMINIUM)
- 7 SMOOTH STUCCO FINISH
(DE6350 Dark Engine LRV5)

GABBAY ARCHITECTS
 9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
 TEL. 310.853.8888 FAX 310.860.1516

SHEET TITLE: (N) FRONT ELEVATION SHOWING GATE
 REVISION: _____
 PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210
 DRAW: F.P.
 SCALE: 1/8"=1'-0"
 DATE: 05-14-15
 PROJECT NO. _____
 SHEET NO. **A4.1**
 HILLCREST RESIDENCE



COLORED FRONT ELEVATION WITHOUT LANDSCAPE



COLORED FRONT ELEVATION WITH LANDSCAPE

GABBAY ARCHITECTS
9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
 TEL: 310.953-8888 FAX: 310.960-1516

<p>SHEET TITLE: (N) COLOR FRONT ELEVATION</p> <p>PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210</p>	<p>REVISION:</p> <p>DRAW: F.P.</p> <p>SCALE: 3/32"=1'-0"</p> <p>DATE: 05-14-15</p> <p>PROJECT NO.:</p>
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SHEET NO.
A4.2

HILLCREST RESIDENCE



<p>GABBAY ARCHITECTS <small>9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210 TEL: 310.955-8888 FAX: 310.960-1516</small></p>	
<p>SHEET TITLE: 3D VIEW 1</p>	<p>REVISION: _____ _____ _____</p>
<p>PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210</p>	<p>DRAW: F.P. SCALE: DATE: 05-14-15 PROJECT NO. A7.1</p>

HILLCREST RESIDENCE



SHEET TITLE:
3D VIEW 2
PROJECT TITLE:
711 N. HILLCREST RD.
BEVERLY HILLS, CA 90210

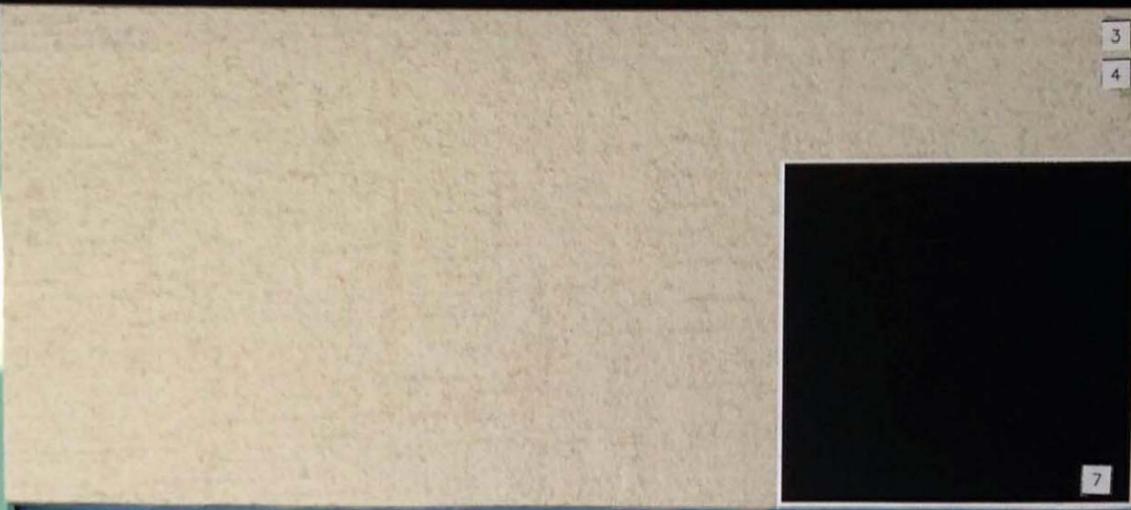
REVISION:
DRAW: F.P.
SCALE:
DATE:
05-14-15
PROJECT NO.

**GABBAY
ARCHITECTS**

9107 WILSHIRE BL., STE. 715 BEVERLY HILLS, CA. 90210
TEL: 310.955-8888 FAX: 310.960-1516

SHEET NO.
A7.2

HILLCREST RESIDENCE



- BUILDING ELEVATIONS KEY NOTES**
- 1 ALUMINIUM WINDOW FRAME
(KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
 - 2 GATE/FENCE
(KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
 - 3 6' HIGH POST W/ TILE FINISH
(MARK GYPSUM MATT)
 - 4 TILE FINISH
(MARK GYPSUM MATT)
 - 5 GLASS
(ATLANTICA GLASS)
 - 6 DOOR
(to match GRAPHITE GRAY for ALUMINIUM)
 - 7 SMOOTH STUCCO FINISH
(DE6350 Dark Engine LRV5)

SHEET TITLE:
SAMPLE MATERIAL BOARD

PROJECT TITLE:
711 N. HILLCREST RD.
BEVERLY HILLS, CA 90210

REVISION:
DRAW: F.P.
SCALE:
DATE: 05-14-15
PROJECT NO.

SHEET NO.
A8.1

GABBAY ARCHITECTS
9107 WILSHIRE BL., STE. 715 BEVERLY HILLS CA, 90210
TEL: 310.955.8888 FAX: 310.960.1516

HILLCREST RESIDENCE



Design Review Commission Report

455 North Rexford Drive

August 6, 2015

Attachment B

Applicant's Written Response to Commissioner's Comments

July 16, 2015

Design Review Commission
City of Beverly Hills
455 N. Rexford Dr.
Beverly Hills, CA 90210

Re: **711 HILLCREST ROAD**

Dear Chair John Wyka, Vice Chair Arline Pepp and Commissioners:

Based on the commentary during the Design Review Commission meeting of June 4, 2015, the following is a list of the highlighted issues of the proposed residence at the aforementioned location and how we addressed said issues in the new proposed design.

1. Lots of windows and same size openings

The number of doors has been reduced more than 50%, a drastic change from the original plans.

2. Number of lights

The number of lights has been reduced from 40+ to 10.

3. Canfor trees not desirable

The Canfor trees have been replaced by 72" Box Olive trees.

4. Fence and gate

The fence and gate have been eliminated.

5. Theme (style) not defined

The style is a "Symmetrical Contemporary" or a "Simplified Traditional."

6. Massive house

On paper it might appear massive, but in reality the house has major modulation. The height is 30' – 0" (below maximum), the side yards are 11' – 0" and 16' – 0", which is way over the minimum required; and the front yard is 45' – 0" instead of the required 40' – 0".

7. It stands out

Again on paper it might appear calling for attention, but if you visit the site the house is more set back and the height is below average compared to the other houses in the block. Furthermore, having six olive trees of approximately 18' – 0" high softens the appearance of the architecture.

8. Plain material

The façade material is ceramic tile in a warm gray color with minor variations. It accentuates the volumes and it is much softer than plain one color stucco. Furthermore, the borders around the openings are now a darker gray which breaks the surfaces even more.

Sincerely,

Hamid Gabbay, Architect

GABBAY ARCHITECTS
A Professional Corporation

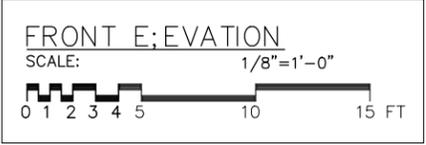
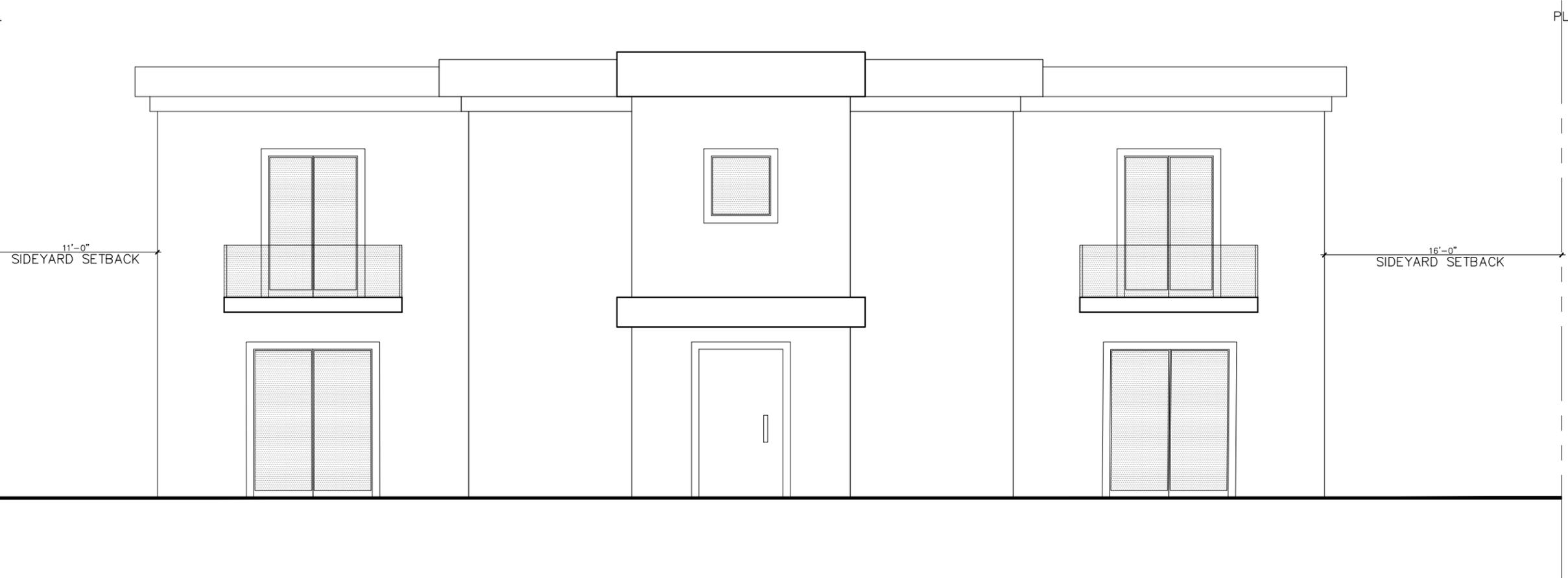
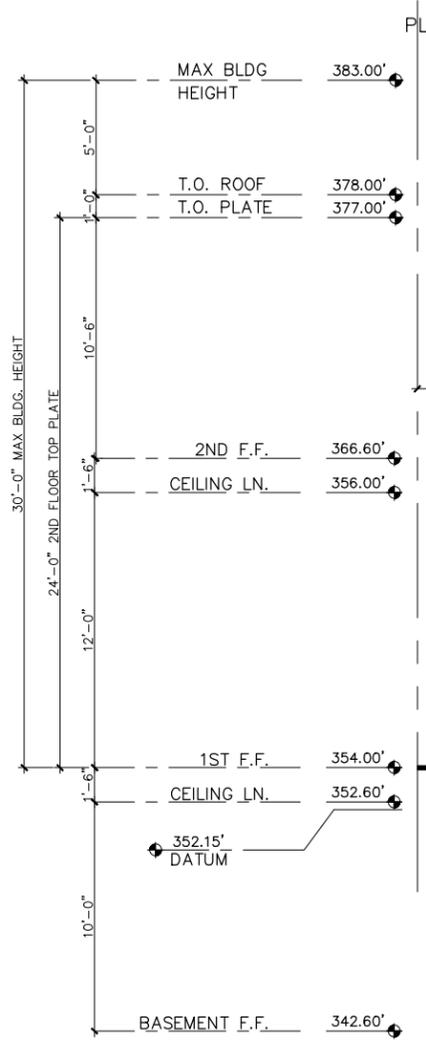


Design Review Commission Report

455 North Rexford Drive

August 6, 2015

Attachment C
Project Design Plans

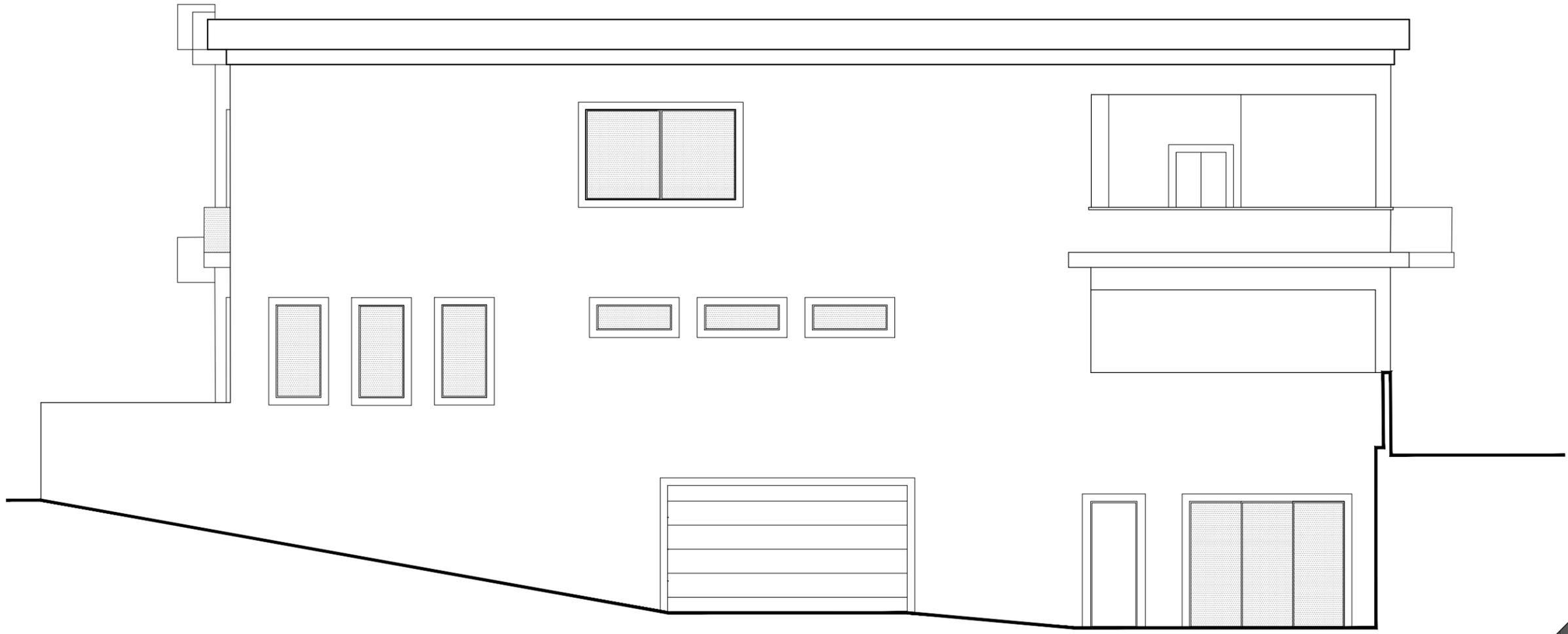
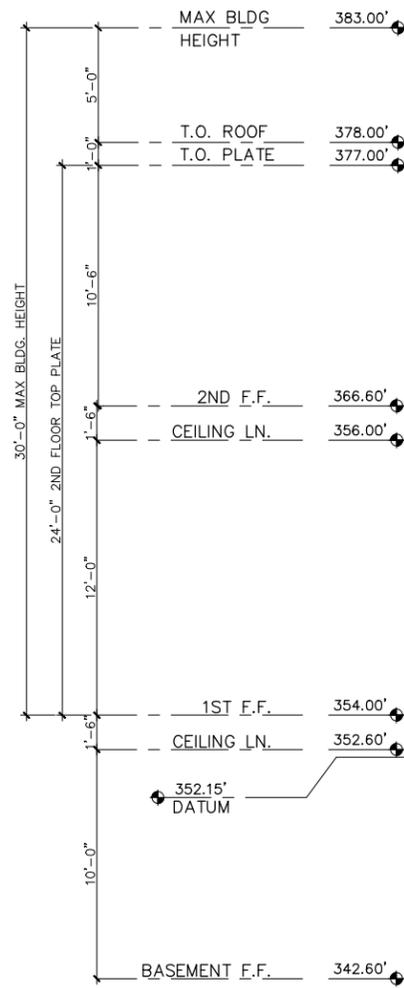


GABBAY ARCHITECTS
 8107 WILSHIRE BL., 5TH FL., BEVERLY HILLS, CA 90210
 TEL. 310.658.4888 FAX 310.660.1616

SHEET TITLE: (N) MAIN HOUSE FRONT ELEVATION
 PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210

REVISION:
 DRAW: F.P.
 SCALE: 1/8" = 1'-0"
 DATE: 07-20-15
 PROJECT NO.

SHEET NO. **A2.5**
 HILLCREST RESIDENCE



NORTH ELEVATION
 SCALE: 1/8"=1'-0"
 0 1 2 3 4 5 10 15 FT

GABBAY ARCHITECTS
 9107 WILSHIRE BL., STE. 719 BEVERLY HILLS, CA 90210
 TEL. 310.985.4866 FAX 310.986.1616

SHEET TITLE:
 (N) MAIN HOUSE NORTH ELEVATION

PROJECT TITLE:
 711 N. HILLCREST RD.
 BEVERLY HILLS, CA 90210

REVISION:

DRAW: F.P.

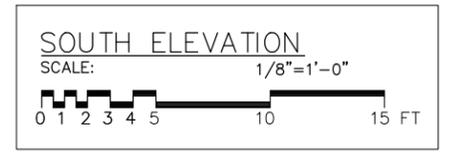
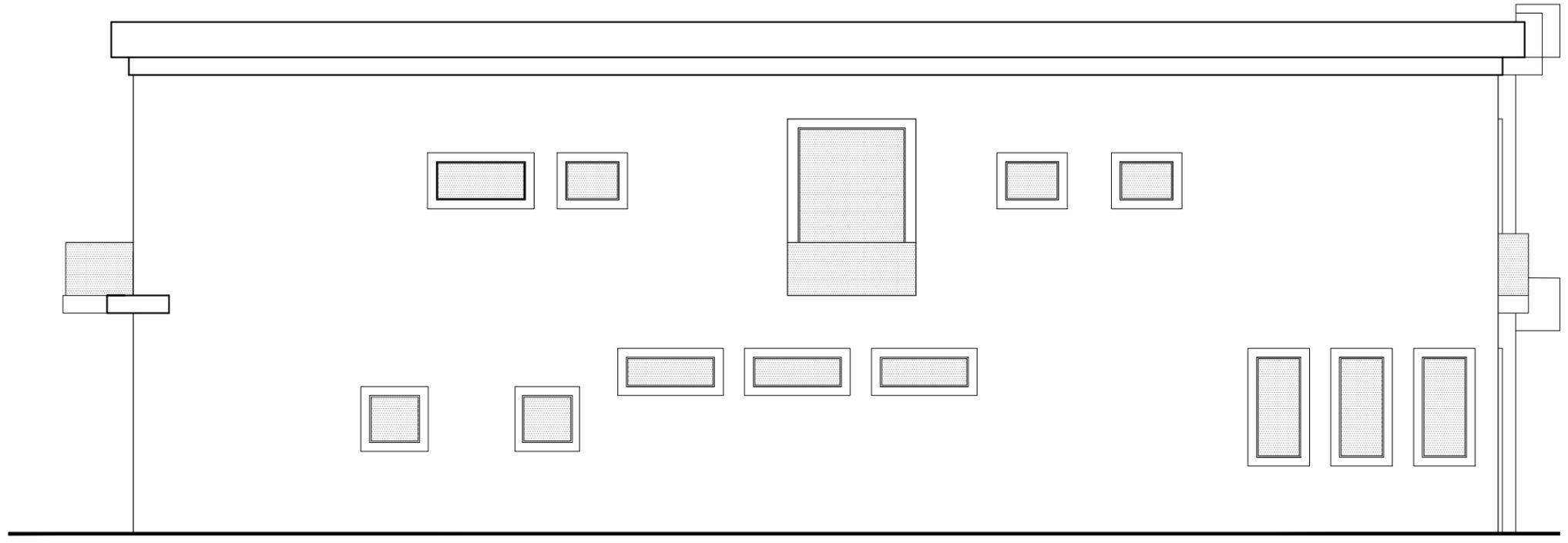
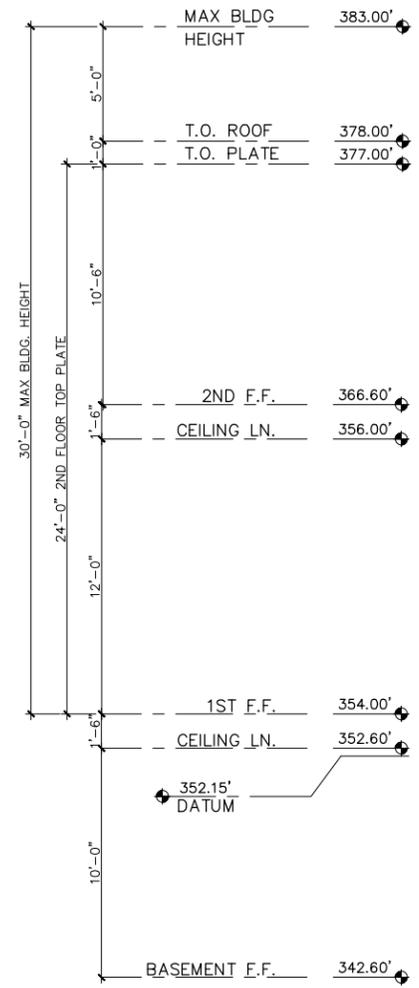
SCALE: 1/8"=1'-0"

DATE: 07-20-15

PROJECT NO.:

SHEET NO.: A2.7

HILLCREST RESIDENCE



GABBAY ARCHITECTS
9107 WILSHIRE BL., STE. 719 BEVERLY HILLS, CA 90210
TEL. 310.855.4866 FAX 310.855.1616

SHEET TITLE: (N) MAIN HOUSE SOUTH ELEVATION

REVISION:

PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210

DRAW: F.P.

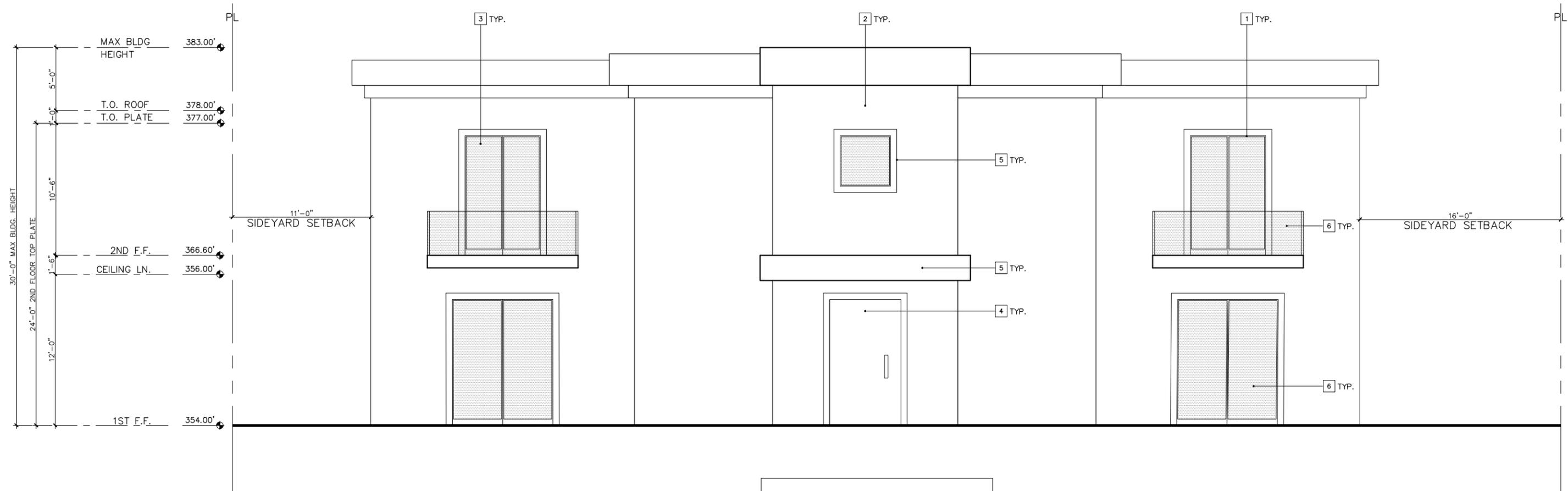
SCALE: 1/8"=1'-0"

DATE: 07-20-15

PROJECT NO.:

SHEET NO. **A2.8**

HILLCREST RESIDENCE



FRONT ELEVATION
 SCALE: 1/8"=1'-0"
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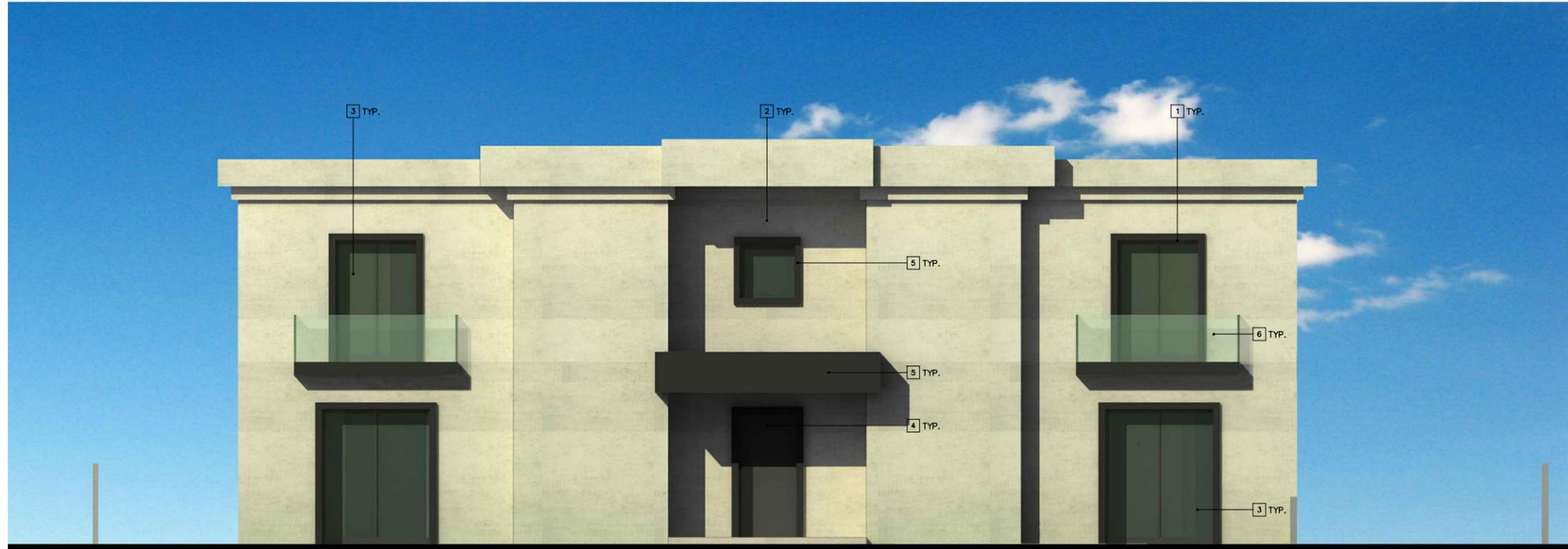
BUILDING ELEVATIONS KEY NOTES

- 1 ALUMINIUM WINDOW FRAME PAINT
(KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
- 2 FACADE MATERIAL / TILE FINISH
(MARK GYPSUM MATT)
- 3 WINDOWS / GREEN GLASS
(ATLANTICA GLASS)
- 4 MAIN ENTRANCE DOOR
(to match GRAPHITE GRAY for ALUMINIUM)
- 5 WINDOWS, DOOR SURROUND / TILE FINISH
(MARK GRAPHITE MATT)
- 6 SANDBLASTED FRAMELESS
STARFIRE GLASS (GLASS SYSTEM)

GABBAY ARCHITECTS
9107 WILSHIRE BL. STE. 719 BEVERLY HILLS CA 90210
 TEL. 310.985.4888 FAX 310.985.1616

SHEET TITLE: (N) FRONT ELEVATION WITHOUT GATE PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210	REVISION: _____ _____ _____ DRAW: F.P. SCALE: 1/8"=1'-0" DATE: 07-20-15 PROJECT NO.: _____
SHEET NO. A4.1	

HILLCREST RESIDENCE



COLORED FRONT ELEVATION WITHOUT LANDSCAPE



COLORED FRONT ELEVATION WITH LANDSCAPE

<p>PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210</p>		<p>SHEET TITLE: (N) COLOR FRONT ELEVATION</p>	
		<p>REVISION:</p>	
<p>SCALE: 1/8"=1'-0"</p>		<p>DRAW: F.P.</p>	
<p>DATE: 07-20-15</p>		<p>SHEET NO. A4.2</p>	
<p>PROJECT NO.</p>		<p>HILLCREST RESIDENCE</p>	

GABBAY ARCHITECTS
8107 WILSHIRE BL., 5TH FL., BEVERLY HILLS, CA 90210
 TEL. 310.985.4888 FAX 310.986.1516



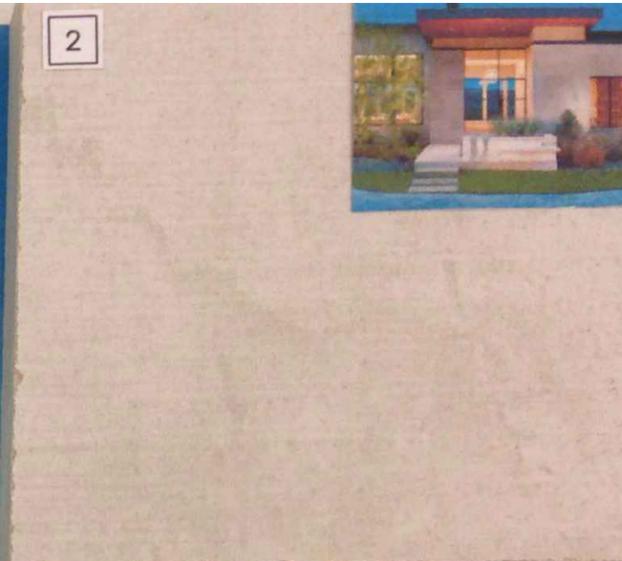
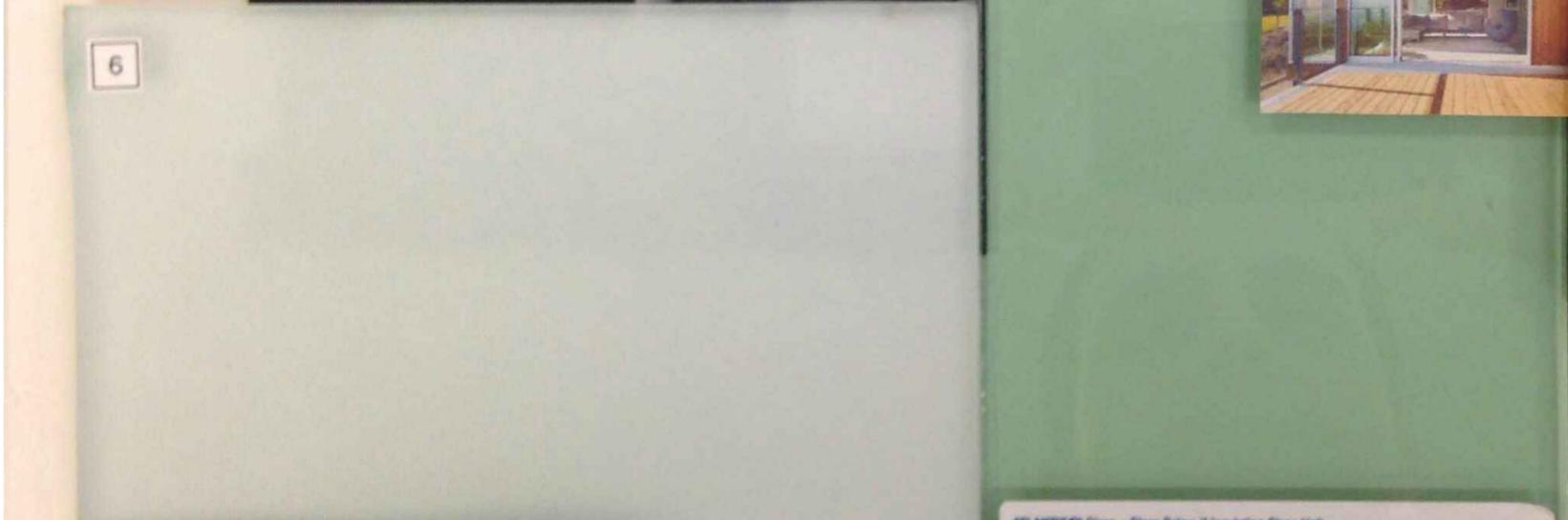
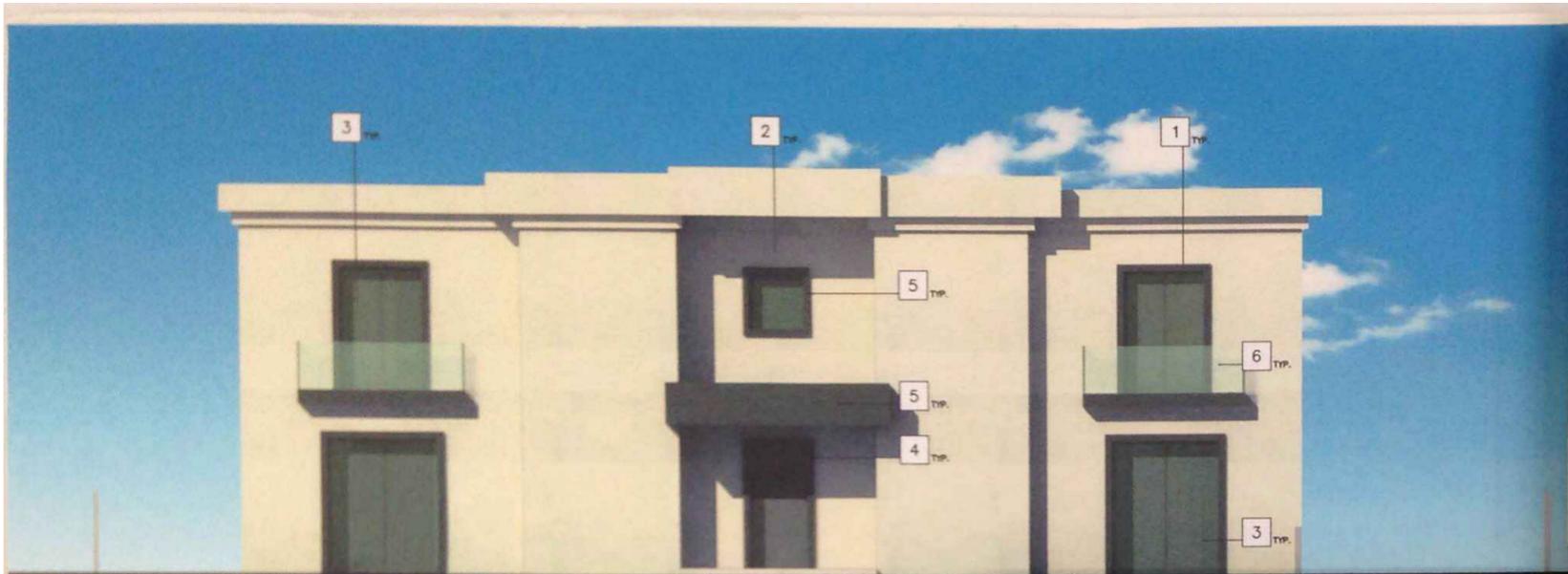
GABBAY ARCHITECTS 8107 WILSHIRE BL., 5TH FL., BEVERLY HILLS, CA 90210 TEL: 310.658.4868 FAX: 310.658.1616	
SHEET TITLE: 3D VIEW 1	REVISION: _____ _____ _____
PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210	DRAW: F.P. SCALE: DATE: 07-20-15 PROJECT NO. SHEET NO. A7.1

HILLCREST RESIDENCE



<p>GABBAY ARCHITECTS <small>8107 WILSHIRE BL., STE. 718 BEVERLY HILLS, CA 90210 TEL. 310.985.4888 FAX 310.985.1616</small></p>	
<p>SHEET TITLE: 3D VIEW 2</p>	<p>REVISION:</p>
<p>PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210</p>	<p>DRAW: F.P. SCALE: DATE: 07-20-15 PROJECT NO.</p>
<p>SHEET NO. A7.2</p>	

HILLCREST RESIDENCE



- BUILDING ELEVATIONS KEY NOTES**
- 1 ALUMINIUM WINDOW FRAME PAINT (KYNAR 70% 2 COAT MICA, GRAPHITE GRAY MICA#2)
 - 2 FACADE MATERIAL / TILE FINISH (MARK CYP SUM MATT)
 - 3 WINDOWS / GREEN GLASS (ATLANTICA GLASS)
 - 4 MAIN ENTRANCE DOOR (to match GRAPHITE GRAY for ALUMINIUM)
 - 5 WINDOWS, DOOR SURROUND / TILE FINISH (MARK GRAPHITE MATT)
 - 6 SANDBLASTED FRAMELESS STARFIRE GLASS (GLASS SYSTEM)

ATLANTICA® Glass + Glass Below if Insulating Glass Unit

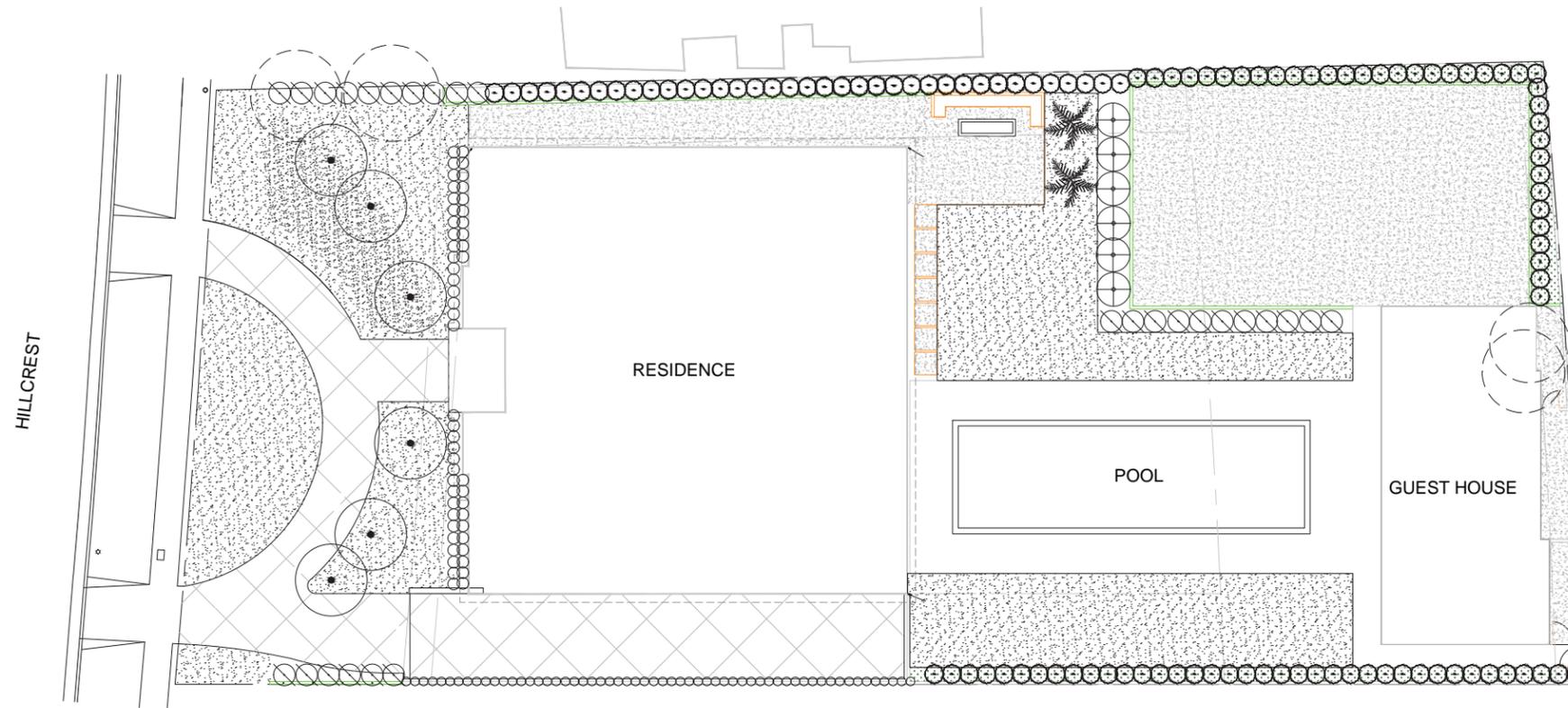
Glass Type	VLT	Exterior Reflectance	SC	SHGC	Solar Factor (g)	U-Value Imperial		U-Value EN 673	LGG
						Winter	Summer		
Monolithic 1/4"	67%	7%	0.61	0.52	0.52	1.02	0.93	5.75	1.29
Clear	80%	11%	0.47	0.40	0.41	0.47	0.50	2.81	1.50
SOLARBAN® 60 (3)	53%	9%	0.35	0.30	0.33	0.29	0.27	1.55	1.78
SOLARBAN® 250 (3)	36%	8%	0.34	0.30	0.32	0.29	0.27	1.55	1.28
SOLARBAN® 70XL (3)	49%	10%	0.32	0.28	0.30	0.28	0.26	1.50	1.74
SUNGLATE® 500 (3)	56%	12%	0.41	0.35	0.36	0.35	0.35	1.96	1.59

GABBAY ARCHITECTS
 5107 WILSHIRE BL., 5TH FL., BEVERLY HILLS, CA 90210
 TEL: 310.855.8866 FAX: 310.855.1616

SHEET TITLE: SAMPLE MATERIAL BOARD
 PROJECT TITLE: 711 N. HILLCREST RD. BEVERLY HILLS, CA 90210

REVISION: _____
 SCALE: _____
 DRAW: F.P.
 DATE: 07-20-15
 PROJECT NO. _____

SHEET NO. **A8.1**
 HILLCREST RESIDENCE



PLANT MATERIALS LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	SIZE	QTY			
TREES						
	FICUS MICROCARPA NITIDA INDIAN LAUREL FIG	36" BOX	124		ESCALLONIA 'FRADESII' PINK PRINCESS ESCALLONIA	5 GAL. 6
	OLEA EUROPAEA OLIVE TREE	72" BOX	6		RAPHIOLEPIS INDICA 'CLARA' INDIA HAWTHORN	1 GAL. 27
	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM	24" BOX	2		NANDINA DOMESTICA HEAVENLY BAMBOO	5 GAL. 110
GROUNDCOVER						
	EXISTING TREES				PASPALUM SOD	

HARDSCAPE CALCULATIONS

DRIVEWAY HARDSCAPE =	2675 S.F.
SIDEYARD HARDSCAPE =	625 S.F.
PATIO HARDSCAPE =	330 S.F.
BACKYARD HARDSCAPE =	2025 S.F.
COURT HARDSCAPE =	2820 S.F.
CERAMIC TILE HARDSCAPE =	430 S.F.
STAMPED CONCRETE =	455 S.F.
TOTAL HARDSCAPE =	9360 S.F.

THERE IS NO LIGHTING PROPOSED IN THESE PLANS.

PLANTING NOTES

- ALL WORK PERFORMED SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF LOCAL AND/OR STATE JURISDICTIONS. CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS AND APPROVAL REQUIRED FOR THIS WORK.
- FINISH GRADES SHALL BE WITHIN TWO (2) INCHES BELOW CURB AND/OR PAVING GRADE IN SHRUB AREA, AND ONE (1) INCH BELOW CURB AND/OR PAVING GRADE IN LAWN AREAS.
- ALL TREE DELIVERIES MUST BE COORDINATED WITH THE GENERAL CONTRACTOR.
- ALL TREE LOCATIONS ARE TO BE REVIEWED AND APPROVED BY THE OWNERS AND THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATIONS OF UNDERGROUND UTILITY LINES IN THE FIELD PRIOR TO ANY EXCAVATION. REQUEST APPROVAL FROM THE OWNER AND THE LANDSCAPE ARCHITECT FOR ANY DEVIATION IN PLANT MATERIAL LOCATIONS.
- ALL PLANTINGS PLANS ARE DIAGRAMMATIC. AND THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO ENSURE THAT THE ROOTBALLS OF NEW AND EXISTING TREES ARE NOT DISTURBED.
- ALL VINES AND ESPALIER ARE TO BE REMOVED FROM STAKES OR TRELLISES AND ATTACHED TO WALLS WITH APPROVED DEVICES.
- ALL GROUND COVERS SHALL EXTEND BENEATH ALL PLANT MATERIAL.
- ALL ON-CENTER SPACINGS FOR SHRUB AND GROUND COVERS ARE TRIANGULAR SPACINGS. (SEE DETAIL)

SOIL TESTING REQUIREMENTS

SOIL TESTING FOR AGRICULTURAL SUITABILITY IS REQUIRED FOR ALL LANDSCAPE AREAS. REFER TO SPECIFICATIONS SECTION 02821, PARAGRAPH 1.04, E-1 THRU E-2. TEST RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT BEFORE DELIVERY OF SOIL AMENDMENTS.

MODEL SOIL PREPARATION & BACKFILL MIX SPECIFICATIONS

THE FOLLOWING SPECIFICATIONS ARE TO BE USED FOR COST ALLOWANCES ONLY. FINAL SOIL PREPARATION AND BACKFILL MIX REQUIREMENTS TO BE BASED ON RESULTS OF REQUIRED SOIL TESTS. REFER TO SPECIFICATIONS SECTION 02821, PAR 1.04, E-1 THRU E-2 FOR SOIL TESTING REQUIREMENTS.)

MODEL SOIL PREPARATION: (PER 1000 SQUARE FEET)

ALLOW FOR A MINIMUM OF 4 CUBIC YARDS/1000 SQUARE FEET NITROGEN STABILIZED ORGANIC AMENDMENT (AS SPECIFIED IN SECTION 02821, PAR 2.01)

ALLOW FOR A MINIMUM OF 2000/1000 SQUARE FEET GRO-POWER PLUS WITH 4% SULFUR

BROADCAST UNIFORMLY AND ROTOTILL INTO UPPER FOUR (4) TO SIX (6) INCHES OF SOIL.

MODEL BACKFILL MIX FOR TREES AND SHRUBS, (PER CUBIC YARD)

4 PARTS BY VOLUME NITROGEN STABILIZED ORGANIC AMENDMENT

6 PARTS BY VOLUME SITE SOIL

18" GRO-POWER PLUS WITH 4% SULFUR PER CUBIC YARD OF MIX

APPLICATION RATE TABLE

GRO-POWER 7 GRAM PLANTING TABLETS, 12-8-8 WITH 20% HUMUS AND 4% HUMIC ACID

PLANT SIZE:

1 GALLON - 2 TABLETS

2 GALLON - 3 TABLETS

5 GALLON - 6 TABLETS

15 GALLON - 12 TABLETS

20"X4" BOX - 15 TABLETS

SPECIMEN TREES & SHRUBS - 4 TABLETS FOR EVERY INCH OF CALIPER

NOTE: PLACE TABLETS NO HIGHER THAN 1/3 OF THE WAY UP ON THE ROOTBALL SPACED EQUALLY AROUND THE PERIMETER OF THE ROOTBALL APPROXIMATELY 2" FROM THE ROOT TIPS

FINISH GRADING

- FINISH GRADING SHALL CONSIST OF FINISHING SURFACES BY RAKING SMOOTHLY AND EVENLY, AND REMOVING AND OFF SITE DISPOSAL OF ALL EXTRANEIOUS MATTER TO FACILITATE NATURAL RUN-OFF OF WATER.
- FINISH GRADES SHALL ALLOW FOR THE LATER ADDITION OF SOIL AMENDMENTS AND TAKE INTO ACCOUNT THE DISPLACEMENT OF EXISTING SOIL BY CONTAINER PLANTING. IF NECESSARY, EXISTING SOIL SHALL BE REMOVED IN ORDER TO ACHIEVE THE FOLLOWING FINAL GRADES.
 - SHRUB AND GROUNDCOVERS AREAS: TWO (2) INCHES BELOW THE GRADE OF ADJACENT PAVEMENT, WALKS, CURBS, OR HEADERS.
 - LAWN AREAS: ONE (1) INCH BELOW THE GRADE OR ADJACENT PAVEMENT, WALKS, CURBS, OR HEADERS.
- SOIL AREAS ADJACENT TO BUILDINGS, PAVING AND WATER FEATURES SHALL SLOPE AWAY FROM THE STRUCTURE TO ALLOW A NATURAL RUN-OFF OF WATER, AND SURFACE DRAINAGE SHALL BE DIRECTED AS INDICATED ON THE DRAWINGS BY REMODELING SURFACES TO FACILITATE THE NATURAL RUN-OFF WATER. LOW SPOTS AND POCKETS SHALL BE GRADED TO DRAIN PROPERLY.
- CONTRACTOR IS TO FINISH GRADE WITH PROPER SLOPE TO DRAINS. ALL FLOW LINES, DESIGNATED OR NOT, SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER, AND SHALL CONFORM TO THE INTENT OF ALL PLANS AND SECTIONS AFTER THOROUGH SETTLEMENT AND COMPACTION OF SOIL.

FINE GRADING

- ALL SOIL AREAS SHALL BE COMPACTED AND SETTLED BY APPLICATION OF IRRIGATION TO A MINIMUM DEPTH OF TWELVE (12) INCHES PRIOR TO PLANTING.
- AFTER THE FOREGOING DEEP WATERING MINOR MODIFICATIONS TO GRADE MAY BE REQUIRED TO ESTABLISH THE FINAL GRADE. THESE AREAS SHALL NOT BE WORKED UNTIL THE MOISTURE CONTENT HAS BEEN REDUCED TO A POINT WHERE WORKING IT WILL NOT DESTROY THE SOIL STRUCTURE.
- ALL PLANTING AREAS SHALL BE FINE GRADED TO A SMOOTH, EVEN, AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE.

PROTECTION OF EXISTING SPECIMEN TREES

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING SPECIMEN TREES THAT ARE TO REMAIN IN THE PROJECT, AND SHALL TAKE ALL NECESSARY PRECAUTIONS REQUIRED TO ASSURE THAT THEY ARE PROTECTED FROM DAMAGE BY WORKERS AND EQUIPMENT.
- WHERE IT IS NECESSARY TO EXCAVATE IN CLOSE PROXIMITY TO EXISTING SPECIMEN TREES, ALL POSSIBLE CAUTION SHALL BE EXERCISED TO AVOID INJURY TO ROOTS, LIMBS AND TRUNK. EXCAVATION CLOSE TO TREES SHALL BE BY HAND. TUNNELING UNDER ROOTS TWO (2) INCHES AND LARGER SHALL BE ALLOWED ONLY AFTER DISCUSSION WITH AND APPROVAL BY THE CERTIFIED CONSULTING ARBORIST.
- EXCAVATION IN THE VICINITY OF TREES SHALL BE CLOSED WITHIN 24 HOURS. WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE EXCAVATION ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH MOIST BURLAP OR CANVAS.
- THE CONTRACTOR SHALL INSURE THAT NO FOREIGN MATERIAL AND/OR LIQUID, SUCH AS PAINT, CONCRETE, CEMENT, OIL, TURPENTINE, ACID OR THE LIKE, BE ALLOWED TO CONTAMINATE ANY SOIL WITHIN THE DRUPLINE (I.E. THE OUTSIDE EDGE OF FOLIAGE OVERHANG) OF ANY TREE. IF SUCH CONTAMINATION SHOULD OCCUR, THE CONTRACTOR SHALL REMOVE SOIL AS DIRECTED BY THE CERTIFIED CONSULTING ARBORIST AND REPLACE IT WITH ACCEPTABLE SOIL AT NO EXPENSES TO THE OWNER.
- ALL DAMAGE TO EXISTING SPECIMEN TREES SHALL BE REPAIRED AT THE GENERAL CONTRACTOR'S EXPENSE BY A LICENSED TREE SURGEON OR OTHER APPROVED PERSONNEL AS APPROVED BY THE CERTIFIED CONSULTING ARBORIST.
- THE EXISTING IRRIGATION SYSTEM AT ALL EXISTING SPECIMEN TREES SHALL BE MAINTAINED IN WORKING ORDER FOR THE DURATION OF CONSTRUCTION. ANY DAMAGE TO THE EXISTING IRRIGATION SYSTEM SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSES TO THE OWNER.

HOLD HARMLESS AND INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.

CONSTRUCTION NOTES:

- THIS PROJECT WILL COMPLY WITH 2007 CBC, CMC, CPC, AND 2007 CEC AND 2007 TITLE 24 ENERGY REGULATIONS AND ALL CITY ORDINANCES.
- THE HOUSE STREET NUMBER WILL BE VISIBLE FROM THE STREET.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATES, CONSTRUCTION WASTE MATERIALS, OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED CONVEYED OR DISCHARGED INTO THE STREET, GUTTER, OR STORM DRAIN SYSTEMS.
- ALL EXISTING LANDSCAPE AND HARDSCAPE WILL BE REMOVED FROM THE BACK YARD AS DESCRIBED IN THE CALLOUTS. EXISTING ELEMENTS TO BE PROTECTED IN PLACE ARE IDENTIFIED IN THE CALLOUTS.

REVISIONS	DATE:



HILLCREST RESIDENCE
7111 HILLCREST
BEVERLY HILLS, CA 90210

PLANTING PLAN

DATE:
4-28-2015
DRAWN BY:
RAG
JOB NO:
SCALE:
PER PLAN

SHEET NO.
LP.1
2 OF 10 SHEETS



JULY 17, 2015

REVISIONS	DATE:

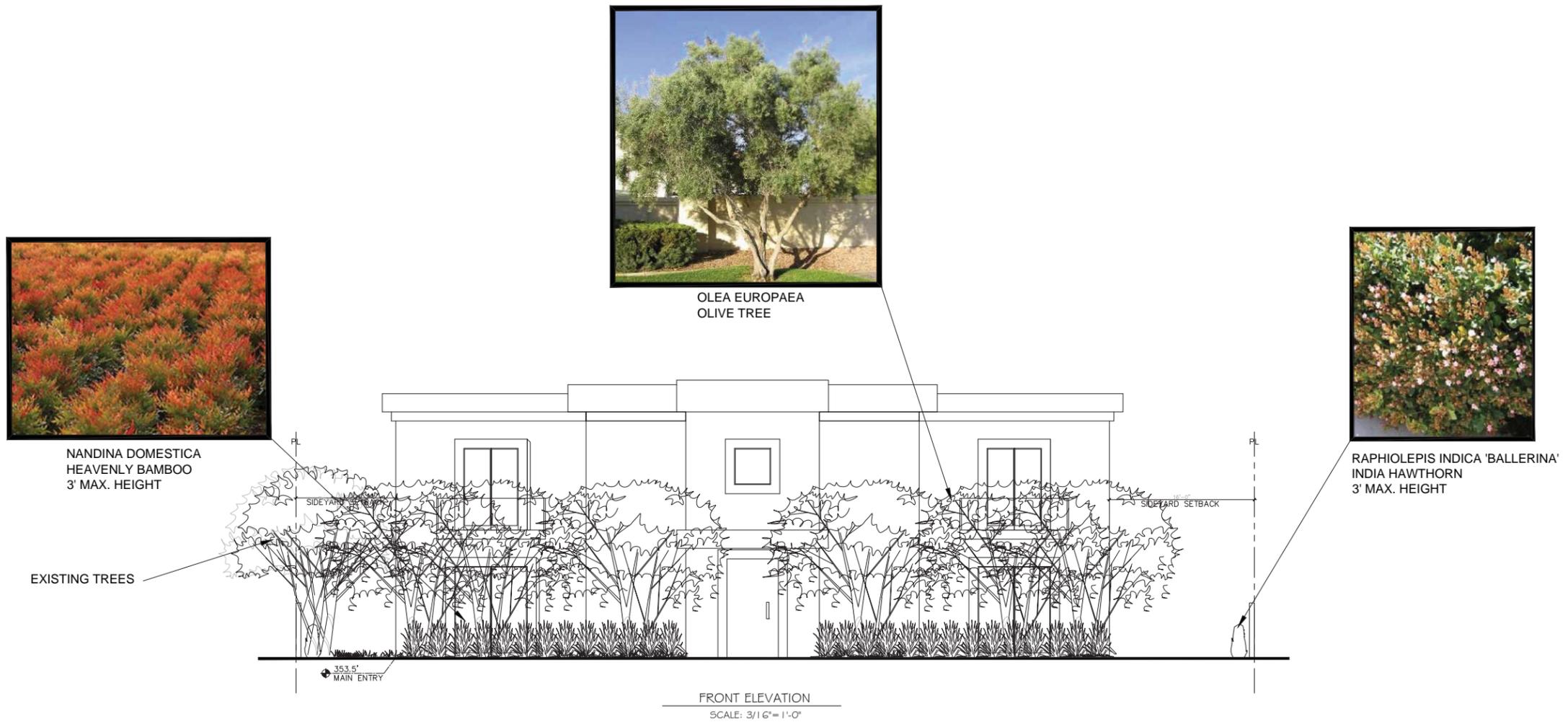


HILLCREST RESIDENCE
7111 HILLCREST
BEVERLY HILLS, CA 90210

PROPOSED PLANTING
ELEVATION

DATE:	4-28-2015
DRAWN BY:	RAG
JOB NO.:	
SCALE:	PER PLAN

SHEET NO.
LP.3
10 OF 10 SHEETS



HOLD HARMLESS AND INDEMNIFICATION CLAUSE
CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER/DEVELOPER COUNTY OF LOCAL JURISDICTION AND THE LANDSCAPE ARCHITECT HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER/DEVELOPER, COUNTY OF LOCAL JURISDICTION, OR THE LANDSCAPE ARCHITECT.



Design Review Commission Report

455 North Rexford Drive

August 6, 2015

Attachment D

DRAFT Approval Resolution

RESOLUTION NO. DR XX-15

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 711 HILLCREST ROAD (PL1507304).

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamid Gabbay, agent, on behalf of Dan Rosen, property owner (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 711 Hillcrest Road which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the

subject activity could result in a significant effect on the environment. Since the property has not been designed by an architect listed on the City's Master Architect List nor has it been listed on the City's Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **June 4, 2015 and August 6, 2015** at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height,

scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project Specific Conditions

No project specific conditions.

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.

3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
7. **Covenant Recording.** This resolution approving an R-1 Design Review Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development within 60 days of the Planning

Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60-day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.
9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **August 6, 2015**

Ryan Gohlich, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission