



Design Review Commission Report

Meeting Date: Thursday, November 6, 2014

Subject: **309 North Rexford Drive (PL1429383)**

A request for an R-1 Design Review Permit to allow for construction of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Hamlet Zohrabians, Dunamis Architects

Recommendation: Conduct public hearing and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence in the Central Area of the City, south of Santa Monica Boulevard. The proposed style is identified by the applicant as Italian Villa Style; however, since the project does not adhere to a pure architectural style and additionally introduces a larger two-story mass to a lot flanked by one-story residences, the project is before the Commission for review.

DESIGN ANALYSIS

Based on a review conducted by the Urban Design Team, the façade design appears to be well proportioned, exhibits a pleasing scale and massing, and fits in well with the streetscape. The Applicants may consider using a more traditional front entry door design. The plans do need to be revised during the plan check process to decrease the length of the porte cochere in order to provide a full 9'x19' parking space beyond the porte cochere to comply with code.

The landscape plan proposed for the project seems a bit heavy and lacks the symmetry of the house. In addition, a planting separation strip will be required between the subject driveway and the adjacent neighbor's driveway.

With the exception of the planting separation strip, Staff has not included project-specific conditions of approval related to these comments but the Commission may wish to consider these comments during their review and analysis of the project.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Georgana Millican, Associate Planner
(310) 285-1121
gmillican@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

November 6, 2014

filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City’s Master Architect List nor has it been listed on the City’s Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property, along with the block face, be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 24, 2014; the site was posted on Thursday, October 23, 2014. To date staff has not received comments in regards to the submitted project.



Design Review Commission Report

455 North Rexford Drive

November 6, 2014

Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at:
<http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

PROPOSED BUILDING IS DESIGNED IN ITALIAN VILLA STYLE. A FEW OF CHARACTER DEFINING FEATURES AND DETAILS ARE; LOW PITCHED RED TERRACOTTA TILE ROOF, SMOOTH STUCCO WALLS IN EARTH TONE COLOR, WOOD WINDOWS/DOORS/SHUTTER/TRIMS/EAVES/OVERHANG /CORBELS/TRELLIS, WROUGHT IRON BALCONY/TERRACE RAILING WITH DOUBLE DOORS, RECESSED ENTRY WITH PRE-CAST ACCENT PEDIMENT. PORTE-COCHERE REPEATS ARCHITECTURAL LANGUAGE AND MATERIALS.

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|------------------------------|-------------------------------|---|
| <input type="radio"/> R-1 | <input type="radio"/> R-1.5X2 | <input checked="" type="radio"/> R-1.8X |
| <input type="radio"/> R-1X | <input type="radio"/> R-1.6X | |
| <input type="radio"/> R-1.5X | <input type="radio"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 50'X151' Lot Area (square feet): 7550 S.F.
 Adjacent Streets: DAYTON WAY / SANTA MONICA BLVD

E Lot is currently developed with (check all that apply):

- | | |
|--|---|
| <input checked="" type="checkbox"/> Single-Story Residence | <input type="checkbox"/> Two-Story Residence |
| <input type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900?)

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____	_____	_____
Native:	_____	_____	_____
Urban Grove:	_____	_____	_____

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes , please list Architect’s name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

NEIGHBORS HA'VE BEEN CONTACTED

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	25'	16'	25'
Roof Plate Height:	22'	9'	20'-6"
Floor Area:	4520 S.F.	2463 S.F.	4519 S.F.
Rear Setbacks:	36'-4"	52'-1"	51'-3"
Side Setbacks:	S/E 5'	S/E 4'	S/E 5'
	N/W 9'&5'	N/W 8'-9"	N/W 9'&5'-7"
Parking Spaces:	3	2	3

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: STUCCO
 Texture /Finish: SMOOTH
 Color / Transparency: LA HABRA BRIGHT WHITE

WINDOWS (Include frame, trim, glass, metal, etc)

Material: WOOD
 Texture /Finish: FIBER GLASS CLAD
 Color / Transparency: DARK BROWN

DOORS (Include frame, trim, glass, metal, etc)

Material: WOOD
 Texture /Finish: FIBER GLASS CLAD
 Color / Transparency: DARK BROWN

PEDIMENTS

Material: PRE-CAST CONCRETE / SMOOTH PLASTER PILASTER
 Texture /Finish: SMOOTH
 Color / Transparency: TAN

ROOF

Material: BARREL TERRACOTTA TILE
 Texture /Finish: SMOOTH
 Color / Transparency: EL CAMINO BLEND (RED/BROWN)

CORBELS

Material: WOOD
 Texture /Finish: SMOOTH
 Color / Transparency: DARK BROWN

CHIMNEY(S)

Material: TERRACOTTA TILE CHIMNEY CAP OVER STUCCO
 Texture /Finish: SMOOTH
 Color / Transparency: EL CAMINO BLEND (RED/BROWN)

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: STUCCO WITH PRE-CAST BASE / CAPITALS
Texture /Finish: SMOOTH
Color / Transparency: LA HABRA BRIGHT WHITE

BALCONIES & RAILINGS

Material: WROUGHT IRON
Texture /Finish: SMOOTH
Color / Transparency: DARK BROWN

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish:
Color / Transparency:

DOWNSPOUTS / GUTTERS

Material: PRE-PAINTED METAL
Texture /Finish: SMOOTH
Color / Transparency: DARK BROWN

EXTERIOR LIGHTING

Material: PRE-PAINTED METAL
Texture /Finish: SMOOTH
Color / Transparency: DARK BRONZE

PAVED SURFACES

Material: CONCRETE
Texture /Finish: STAINED
Color / Transparency: TAN

FREESTANDING WALLS AND FENCES

Material: STUCCO / WROUGHT IRON
Texture /Finish: SMOOTH
Color / Transparency: LA HABRA BRIGHT WHITE

OTHER DESIGN ELEMENTS

Material:
Texture /Finish:
Color / Transparency:

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

DROUGHT TOLERANT MEDITERRANEAN AND SUB TROPICAL PLANT MATERIALS AND TREES ARE APPROPRIATE FOR THE PROPOSED ARCHITECTUREAL SYTLE. COLORFUL SHRUBS IN FRONT OF EXTERIOR WALL WITH PROPOSED LAWN, COVERING MOST OF THE FRONT YARD, ARE INTENDED TO ACHIEVE A LOW PROFILE LANDSCAPING. NUMBER OF MATURE TREES ARE PROPOSED FOR FRONT AND REAR YARS.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development's design exhibits an internally compatible design scheme.

Proposed house is internally designed with common living space on the ground floor and bedrooms on the second floor. An interior circular stair connects to second floor rotunda. Proposed landscaped open rear yard is visible upon entry through multiple French doors beyond open family room. This provides indoor-outdoor experience especially when opened up to the rear loggia. Since existing driveway is on the north side of the house, all service oriented rooms have been located on the north side. This provides a service entry into pantry/kitchen through the proposed porte-cochere.

2. Describe how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

Building frontage is well articulated using deep exterior wall breaks and recessed doors and windows. Proportionally other elements have been incorporated into exterior design such as French doors/windows with shutters and second floor wrought iron balcony and terrace railings. Proposed two story house creates a larger landscaped open space compared to a single story house of the same size floor area.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

Proposed exterior finish materials are higher quality than those of the original building. Replacing existing house and accessory structure in the rear and combining two spaces within the proposed two story house will create a larger landscaped open space than exists now.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Proposed house side walls facing neighboring properties to North and South have been minimized in size and quantity. Larger windows and doors have been allocated for the walls facing the street and the rear alley way for improved privacy.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

Proposed development greatly respects prevailing front setbacks, building heights and site development patterns of the similar surrounding group of houses. There are two story Mediterranean style homes within close proximity.



Design Review Commission Report

455 North Rexford Drive

November 6, 2014

Attachment B
Project Design Plans



ROY THOMPSON '14

309 N. Rexford Dr. Beverly Hills, Ca. 90210

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

LABIB RESIDENCE
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

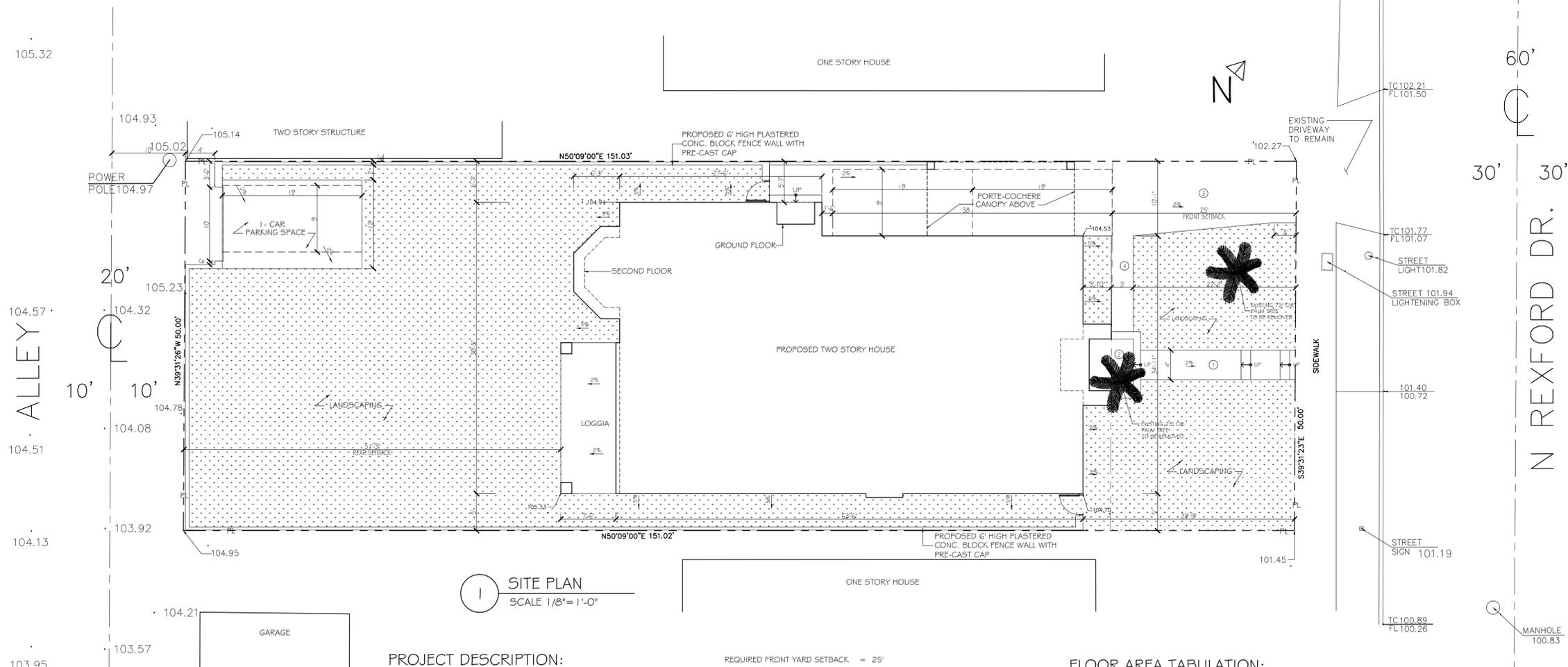
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED
SITE PLAN

DATE	09.16.14
SCALE	1/8" = 1'
DRAWN BY	
JOB NUMBER	0714
SHEET	

A2



1 SITE PLAN
SCALE 1/8" = 1'-0"

PROJECT DESCRIPTION:
PROPOSED NEW TWO STORY SINGLE FAMILY HOUSE

LEGAL DESCRIPTION:

BEVERLY LOT 14 BLK 16
APN #: 4343-002-015
LOT AREA = 7,550 S.F.
ZONE = R-1.8X
MAXIMUM ALLOWABLE BUILDING HEIGHT = 25'-0"
MAXIMUM PROPOSED BUILDING HEIGHT = 25'-0"
CONSTRUCTION TYPE = V - B (FULLY SPRINKLERED) [NPPA 13D]
OCCUPANCY CLASSIFICATION = R3

PROPOSED FRONT YARD PAVEMENT

MAX. ALLOWED PAVING IN FRONT YARD = 400 S.F. MAX.

- PROPOSED PAVING IN FRONT YARD:
- ① WALKWAY: 4' X 21' = 84 S.F.
 - ② STEPS: 4' X 9' = 36 S.F.
 - ③ DRIVEWAY: (10.08' + 9/2) 9.6' X 25' = 240 S.F.
 - ④ WALKWAY: 3' X 12' = 39 S.F.
- PROPOSED PAVING IN FRONT YARD = 399 S.F.

- REQUIRED FRONT YARD SETBACK = 25'
- PROPOSED FRONT YARD SETBACK = 25'
- REQUIRED NORTH SIDE YARD SETBACK = 9' FOR THE FIRST 38' AND 5' FOR THE REMAINING
- PROPOSED NORTH SIDE YARD SETBACK = 9' FOR THE FIRST 38' AND 5'-7" FOR THE REMAINING

- REQUIRED SOUTH SIDE YARD SETBACK = 5'
- PROPOSED SOUTH SIDE YARD SETBACK = 5'
- REQUIRED REAR YARD = 30% (LOT DEPTH) - 9' = 36'-4"
- PROPOSED REAR YARD = 51'-3"

AVERAGE GROUND LEVEL:

(104.53 + 104.70 + 105.33 + 104.94) / 4 = 104.87

FLOOR AREA TABULATION:

ALLOWABLE FLOOR AREA = (40% LOT AREA) + 1500 S.F. = 4,520 S.F.

PROPOSED FLOOR AREA

GROUND FLOOR AREA = 2,290 S.F.
SECOND FLOOR AREA = 2,229 S.F.
TOTAL FLOOR AREA = 4,519 S.F.

PORTE-COCHERE = 195 S.F.
LOGGIA & TERRACE = 320 S.F.

PROPOSED BEDROOMS = 5

PROPOSED PARKING

TWO PARKING SPACES IN PORTE-COCHERE &
ONE PARKING SPACE IN REAR YARD

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

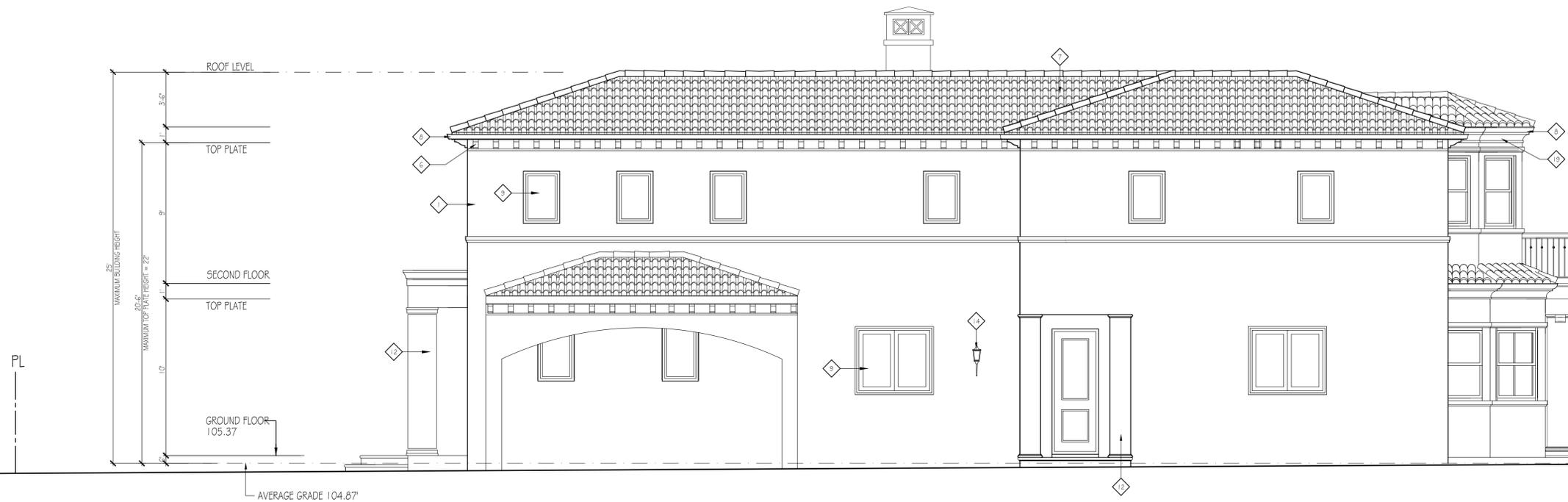
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
NORTH ELEVATION

DATE	08.01.14
SCALE	1/4" = 1'
DRAWN BY	PZ
JOB NUMBER	0714
SHEET	

A4.2



1 BUILDING NORTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- | | |
|--|--|
| <ul style="list-style-type: none"> 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL. 3- PAINTED W. I. BALCONY RAILING AND BRACKETS 4- PRE-CAST WINDOW SILL 5- PRE-CAST WINDOW SURROUND 6- STAINED WOOD CORBEL 7- TWO PIECE CLAY MISSION TILE ROOF COVERING OVER 2 - 40# ROOFING PAPER 8- PRE-PAINTED METAL GUTTER AND DOWN SPOUT 9- STAINED WOOD WINDOW | <ul style="list-style-type: none"> 10- STAINED WOOD FRAMED GLASS DOOR 11- STAINED SOLID WOOD DOOR 12- PLASTERED RECTANGULAR COLUMN W/ PRECAST CAP AND BASE 13- PAINTED W. I. GATE AND FENCE 14- PRE- FINISHED METAL LANTERN 15- PAINTED METAL CHIMNEY CAP 16- PAINTED WOOD SHUTTERS 17- PRE-CAST CONCRETE STEPS 18- PRE-CAST CAP 19- PLASTERED CORNICE |
|--|--|



3467 Ocean View Blvd, Suite B
Glendale, California 91208

T. 818.236.3619
F. 818.236.2171
E. dunamisarchitects@gmail.com

www.dunamisarchitects.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
EAST ELEVATION

DATE	08.01.14
SCALE	1/4" = 1'
DRAWN BY	PZ
JOB NUMBER	0714
SHEET	

A4.1



1 BUILDING EAST ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE.
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
- 3- PAINTED W. I. BALCONY RAILING AND BRACKETS
- 4- PRE-CAST WINDOW SILL
- 5- PRE-CAST WINDOW SURROUND
- 6- STAINED WOOD CORBEL
- 7- TWO PIECE CLAY MISSION TILE ROOF COVERING OVER 2 - 40# ROOFING PAPER
- 8- PRE-PAINTED METAL GUTTER AND DOWN SPOUT
- 9- STAINED WOOD WINDOW
- 10- STAINED WOOD FRAMED GLASS DOOR
- 11- STAINED SOLID WOOD DOOR
- 12- PLASTERED RECTANGULAR COLUMN W/ PRECAST CAP AND BASE
- 13- PAINTED W. I. GATE AND FENCE
- 14- PRE- FINISHED METAL LANTERN
- 15- PAINTED METAL CHIMNEY CAP
- 16- PAINTED WOOD SHUTTERS
- 17- PRE-CAST CONCRETE STEPS
- 18- PRE-CAST CAP
- 19- PLASTERED CORNICE

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
WEST ELEVATION

DATE	08.01.14
SCALE	1/4" = 1'
DRAWN BY	PZ
JOB NUMBER	0714
SHEET	

A4.3



1 BUILDING WEST ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE.
- 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL.
- 3- PAINTED W. I. BALCONY RAILING AND BRACKETS
- 4- PRE-CAST WINDOW SILL
- 5- PRE-CAST WINDOW SURROUND
- 6- STAINED WOOD CORBEL
- 7- TWO PIECE CLAY MISSION TILE ROOF COVERING OVER 2 - 40# ROOFING PAPER
- 8- PRE-PAINTED METAL GUTTER AND DOWN SPOUT
- 9- STAINED WOOD WINDOW
- 10- STAINED WOOD FRAMED GLASS DOOR
- 11- STAINED SOILD WOOD DOOR
- 12- PLASTERED RECTANGULAR COLUMN W/ PRECAST CAP AND BASE
- 13- PAINTED W. I. GATE AND FENCE
- 14- PRE- FINISHED METAL LANTERN
- 15- PAINTED METAL CHIMNEY CAP
- 16- PAINTED WOOD SHUTTERS
- 17- PRE-CAST CONCRETE STEPS
- 18- PRE-CAST CAP
- 19- PLASTERED CORNICE

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

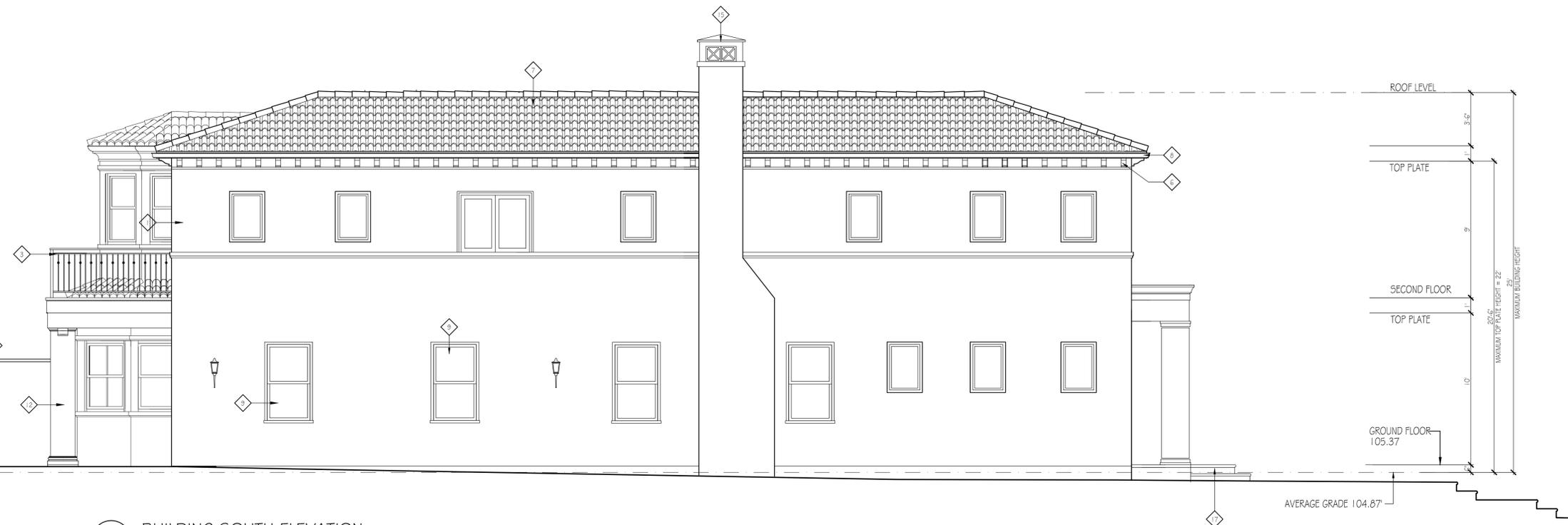
DESCRIPTION	DATE	BY

SHEET TITLE:

PROPOSED BUILDING
SOUTH ELEVATION

DATE	08.01.14
SCALE	1/4" = 1'
DRAWN BY	PZ
JOB NUMBER	0714
SHEET	

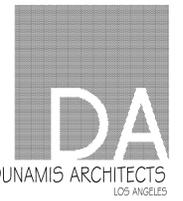
A4.4



1 BUILDING SOUTH ELEVATION
SCALE 1/4" = 1'-0"

KEY NOTES :

- | | |
|--|--|
| <ul style="list-style-type: none"> 1- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER PAPER BACKED METAL LATH OVER PLYWOOD SHEATHING ON EXTERIOR SIDE OF 2 x 6 AT 16" O.C. AND A LAYER OF 5/8" GYPSUM BOARD ON THE INTERIOR SIDE. PROVIDE R-13 INSULATION IN STUD SPACE. 2- 1" SMOOTH TROWLED FINISH CEMENT PLASTER OVER CONCRETE BLOCK WALL. 3- PAINTED W. I. BALCONY RAILING AND BRACKETS 4- PRE-CAST WINDOW SILL 5- PRE-CAST WINDOW SURROUND 6- STAINED WOOD CORBEL 7- TWO PIECE CLAY MISSION TILE ROOF COVERING OVER 2 - 40# ROOFING PAPER 8- PRE-PAINTED METAL GUTTER AND DOWN SPOUT 9- STAINED WOOD WINDOW | <ul style="list-style-type: none"> 10- STAINED WOOD FRAMED GLASS DOOR 11- STAINED SOLID WOOD DOOR 12- PLASTERED RECTANGULAR COLUMN W/ PRECAST CAP AND BASE 13- PAINTED W. I. GATE AND FENCE 14- PRE- FINISHED METAL LANTERN 15- PAINTED METAL CHIMNEY CAP 16- PAINTED WOOD SHUTTERS 17- PRE-CAST CONCRETE STEPS 18- PRE-CAST CAP 19- PLASTERED CORNICE |
|--|--|



3467 Ocean View Blvd, Suite B
 Glendale, California 91208
 T. 818.236.3619
 F. 818.236.2171
 E. dunamisarchitects@gmail.com
 www.dunamisarchitects.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210
 TEL: 310.985.1320

PROJECT:

LABIB RESIDENCE
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

NEIGHBORHOOD
 PHOTOGRAPHS

DATE	09.16.14
SCALE	N.T.S.
DRAWN BY	
JOB NUMBER	0714
SHEET	

A7.1



2



329 N. REXFORD DR. BEVERLY HILLS, CA 90210



1



5



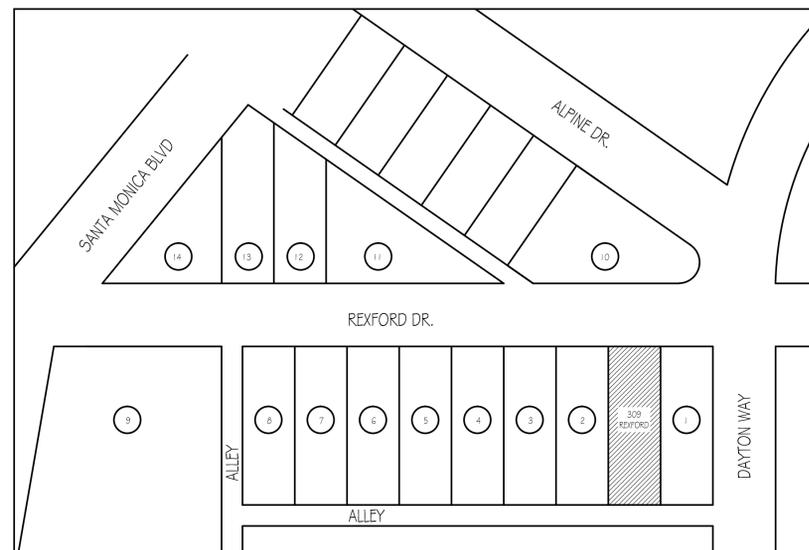
4



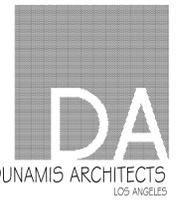
3



6



- 1- 303 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 2- 309 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 3- 315 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 4- 321 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 5- 327 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 6- 333 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 7- 339 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 8- 345 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 9- 351 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 10- 357 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 11- 363 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 12- 369 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 13- 375 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 14- 381 N. REXFORD DR. BEVERLY HILLS, CA 90210



3467 Ocean View Blvd, Suite B
 Glendale, California 91208
 T. 818.236.3619
 F. 818.236.2171
 E. dunamisarchitects@gmail.com
 www.dunamisarchitects.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210
 TEL: 310.985.1320

PROJECT:

LABIB RESIDENCE
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

NEIGHBORHOOD PHOTOGRAPHS

DATE	09.16.14
SCALE	N.T.S.
DRAWN BY	
JOB NUMBER	0714
SHEET	

A7.2



9



8



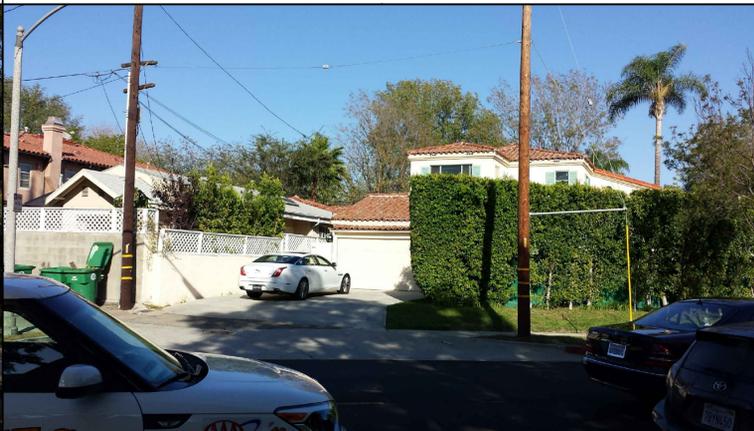
7



12



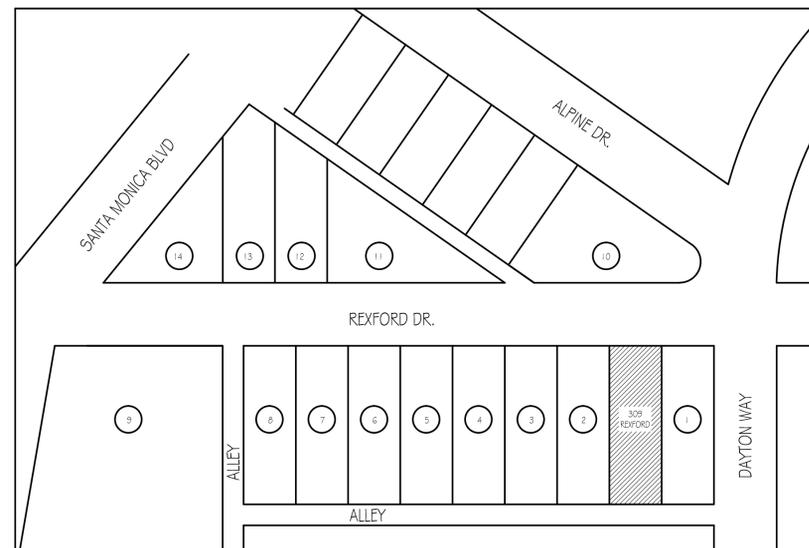
11



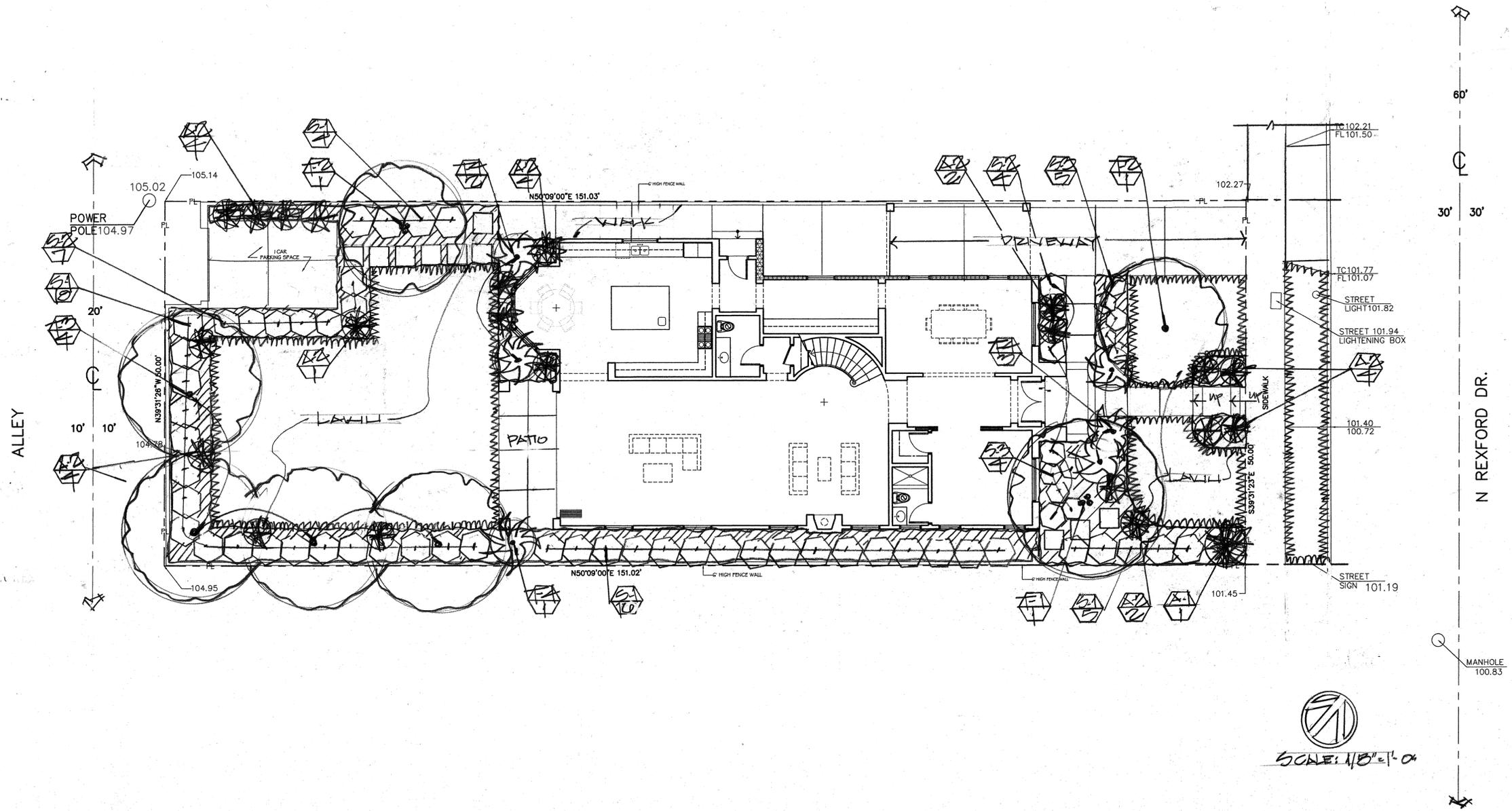
10



13 14



- 1- 303 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 309 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 2- 315 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 3- 321 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 4- 327 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 5- 333 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 6- 339 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 7- 345 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 8- 351 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 9- 360 N. CRESCENT DR. BEVERLY HILLS, CA 90210
- 10- 301 N. ALPINE DR. BEVERLY HILLS, CA 90210
- 11- 336 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 12- 348 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 13- 354 N. REXFORD DR. BEVERLY HILLS, CA 90210
- 14- 362 N. REXFORD DR. BEVERLY HILLS, CA 90210



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	SPACING
T-1	OLEA EUROPAEANA HILL	FRUITLESS OLIVE	48"BX	1	-
T-2	LACINIA STRATA INCA	CRAPEN/REB/PEN	36"BX	2	-
T-3	TRISTANIA CONFERTA	BRISBANE BOX	24"BX	4	±10' O.C.
T-4	PHOENIX ROEBELII	RYGMY DATE PALM	15GN	10	-
S-1	PODDIERA VISCOSA	HOPSEAT BUSH	5GN	40	5' O.C.
S-2	ALYOGINE HUBBELLII	BLUE HIBISCUS	5GN	11	4' O.C.
S-3	CISTAS X'PURPUREUS'	ORCHID ROCKROSE	5GN	9	3' O.C.
A-1	PHORMIUM T. MAORI GARDEN	NEW ZEALAND FLAX	15GN	1	RANDOM
A-2	ANIGDAULTIUS 'ORANGE CROSS'	KANGAROO PAW	5GN	10	" "
LAWN	BUCHLOS DACTYLOIDES	BUFFALO GRASS	SOFT	-	-
GROUND COVER (ALL PLANT)	SENECIO SERPENS	BLUE SENECIO	FLATS	AS NOTED	12' O.C.

LEGEND

- PROPOSED TREE
- PROPOSED PALM
- PROPOSED SHRUB
- PROPOSED ACCENT
- PROPOSED LAWN
- PROPOSED GROUND COVER

PLANTING PLAN

#1844

LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, A.S.L.A.
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 818-241-9169

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work. CLIENT:

NATASHA LABIB
 TEL: 310.985.1320
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210

PROJECT:
 309 N. REXFORD DR.
 BEVERLY HILLS, CA. 90210

REVISIONS		
DESCRIPTION	DATE	BY

SHEET TITLE:

DATE	08.01.14
SCALE	1/8" = 1"
DRAWN BY	LOT
JOB NUMBER	0714
SHEET	L-1



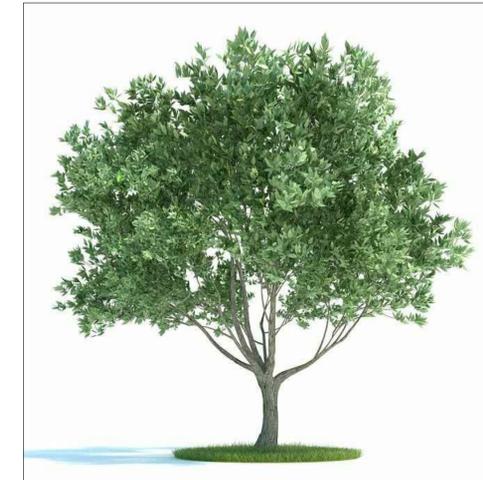
BUFFALO GRASS



(S-3) ORCHID ROCKROSE



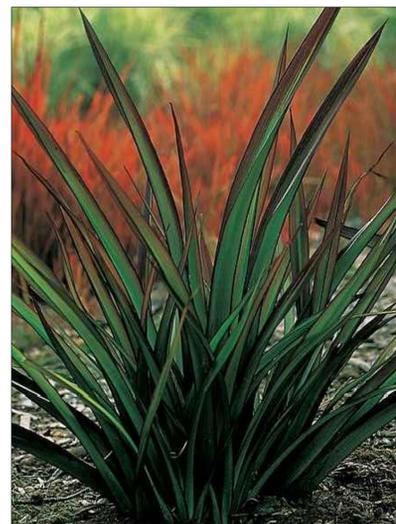
(T-4) PYGMY DATE PALM



(T-1) FRUITLESS OLIVE



BLUE SENECIO



(A-1) NEW ZEALAND FLAX



(S-1) HOPSEED BUSH



(T-2) CRAPEMYRTLE /RED



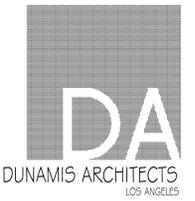
(A-2) KANGAROO PAW



(S-2) BLUE HIBSCUS



(T-3) BRISBANE BOX



DUNAMIS ARCHITECTS
LOS ANGELES

3467 Ocean View Blvd, Suite B
Glendale, California 91208

T. 818.236.3619
F. 818.236.2171

E. dunamisarchitects@gmail.com

www.dunamisarchitects.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210
TEL: 310.985.1320

PROJECT:

LABIB RESIDENCE
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:

PLANT PICTURE PLAN

DATE	09.16.14
SCALE	-
DRAWN BY	
JOB NUMBER	0714
SHEET	

L-5



3467 Ocean View Blvd. Suite B
Glendale, California 91208

T. 818.236.3619
F. 818.236.2171
E. dunamisarchitects@gmail.com

www.dunamisarchitects.com

STAMP:

These drawings and specifications are the property and copyright of DUNAMIS ARCHITECTS, and shall not be used on any other work except by agreement with DUNAMIS ARCHITECTS. Written dimensions take precedence over scaled dimensions and shall be verified by the contractor on the job site. Any discrepancy shall be brought to the attention of DUNAMIS ARCHITECTS prior to the commencement of any work.

The Preliminary drawing indicates the general scope of the project in terms of architectural design concept, the dimensions of the building, the major architectural elements and the type of structural, mechanical, electrical systems. As scope documents the drawings do not necessarily indicate or describe all work required for full performance and completion of the requirements of the contract documents. On the basis of the general scope indicated or described, the contractor shall furnish all items required for proper execution and completion of the work.

CLIENT:

NATASHA LABIB
309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

PROJECT:

309 N. REXFORD DR.
BEVERLY HILLS, CA. 90210

REVISIONS

DESCRIPTION	DATE	BY

SHEET TITLE:
BUILDING FRONT ELEVATION
INCLUDING PROPOSED
LANDSCAPING AT THE TIME OF
PLANTING

DATE	08.01.14
SCALE	
DRAWN BY	PZ
JOB NUMBER	0714
SHEET	

L6



BUILDING FRONT ELEVATION INCLUDING PROPOSED LANDSCAPING AT THE TIME OF PLANTING



Design Review Commission Report

455 North Rexford Drive

November 6, 2014

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-14

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 309 NORTH REXFORD DRIVE (PL1429383).

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamlet Zohrabians, Dunamis Architects, architect, on behalf of Natasha Labib, property owner, (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 309 North Rexford Drive which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **November 6, 2014** at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent

properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors' existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review, the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

1. A planting separation strip shall be provided between the driveway of the subject property and the driveway of the adjacent neighbor to the north.

Standard Conditions

2. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
3. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
4. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
5. **Compliance with Special Conditions.** Any special conditions that require approval by the Director of Community Development, or designee, shall be submitted to the staff liaison to the Commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

6. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
7. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
8. **Substantial Compliance with Approved Plans.** The Director of Community Development, or designee, shall determine if changes to the approved project are in substantial compliance with the Commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
9. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the Community Development Department or submit an application along with applicable fees to the development for covenant preparation and filing.
10. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

11. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the Community Development Department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **November 6, 2014**

William Crouch, Commission Secretary
Community Development Department

John Wyka, Chair
Design Review Commission