



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, June 5, 2014
(Continued from Monday, January 6, 2014)

Subject: **510 North Beverly Drive (PL1332643)**
A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Hamid Omrani

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting review and approval to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The project was previously reviewed by the Design Review Commission at its meeting on January 6, 2014 (Attachment A). At that meeting, the Commission felt the design warranted further review and directed for the applicant to restudy the project. The comments related primarily to a design that was overly bulky and massive, lack of proportionality among the masses, insufficient landscape plans, quantity of doors and windows punctuating the façade, internal compatibility among the design elements, and enhancement of the neighborhood and streetscape.

As a result of the Commission's comments, the applicant has modified the design of the project with the following changes:

- Removal of the cantilevered balcony on the south elevation;
- Revised roof pitch from 3:12 to 4:12;
- Revised street facing fenestration configuration;
- Reduction in number and revised configuration of second floor balcony railings;
- Reduced entryway surround;
- Removal of molding underneath the roof eaves and replacement with corbels;
- New downspouts on each side of the street facing elevation.

URBAN DESIGN ANALYSIS

While the scale of the entryway has been greatly improved, the prior comments of the Commission do not appear to be appropriately addressed and have not been incorporated into the revised design of the single-family residence. The architectural vocabulary of the left and right portions of the street facing

Attachment(s):

- A. January 6, 2014 DRC Staff Report and Previously Proposed Plans
- B. Applicant's Written Response to Commission's Comments
- C. Project Design Plans

Report Author and Contact Information:

Cindy Gordon, Associate Planner
(310) 285-1191
cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

June 5, 2014

façade oppose each other in compatibility. The configuration creates a tension and unbalance that needs to be resolved.

It is recommended that the Design Review Commission provide the applicant with design direction specifically relating to internal compatibility of the project and its impact on the streetscape.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. The project has also been reviewed and while it is not listed as a potential historic resource on any of the City's historic surveys, an individual listed on the City's List of Master Architects (Paul R. Williams) is identified as the architect for a remodel permitted in 1945. However, subsequent permits show remodel work and any identifying features of work conducted by Paul R. Williams have been lost. Based on a review conducted by the City's Urban Designer, the existing single-family residence has lost historic integrity and is not subject to the City's 30-day demolition hold period nor is it eligible to be nominated as a local landmark.

PUBLIC OUTREACH AND NOTIFICATION

The project does not require public notification as it is continued from another meeting.



Design Review Commission Report

455 North Rexford Drive

June 5, 2014

Attachment A

January 6, 2014 DRC Staff Report
and Previously Proposed Plans



City of Beverly Hills

Planning Division

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TEL. (310) 458-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Monday, January 6, 2014

Subject: **510 North Beverly Drive (PL1332643)**

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Hamid Omrani

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard. The proposed style is identified by the applicant as Italianate; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

Based on a review conducted by the Urban Design Team, the proposed façade design is an amalgamation of styles and lacks internal compatibility. Additionally, the front elevation lacks formality in its design and needs an overall refinement in order to positively enhance the streetscape. The cantilevered portion on the right side of the front façade should also be redesigned as the current proposal does not appear to balance the façade and creates an unresolved visual tension.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

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Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans

Report Author and Contact Information:

Cindy Gordon, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

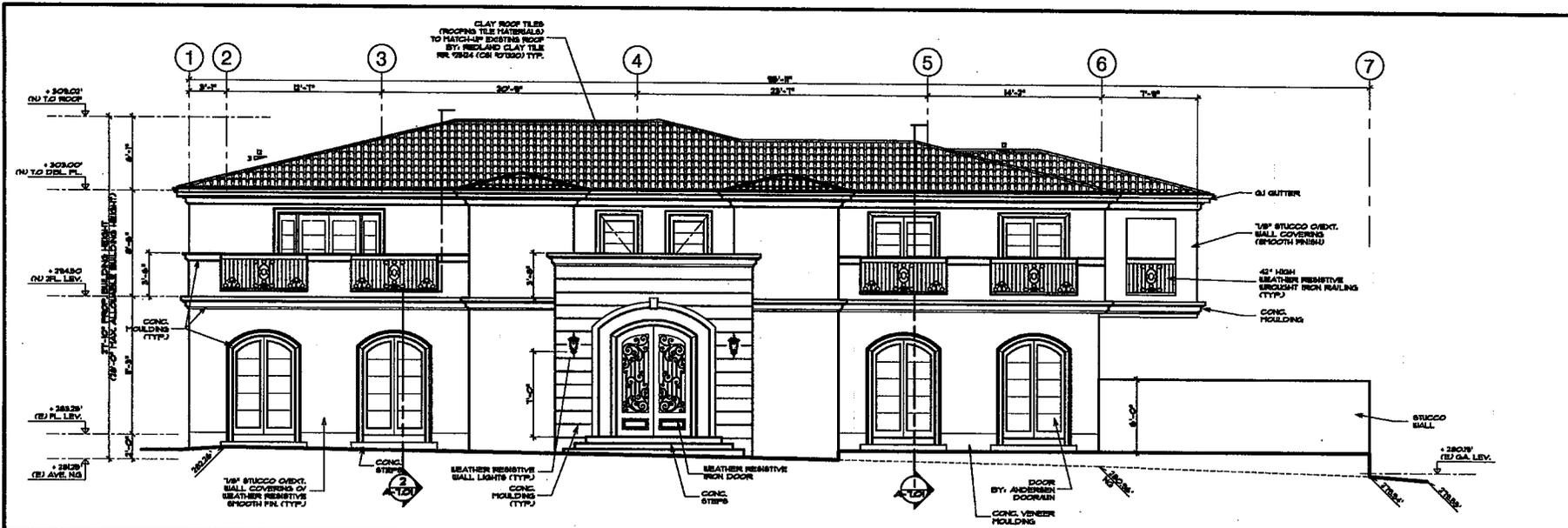
455 North Rexford Drive

January 6, 2014

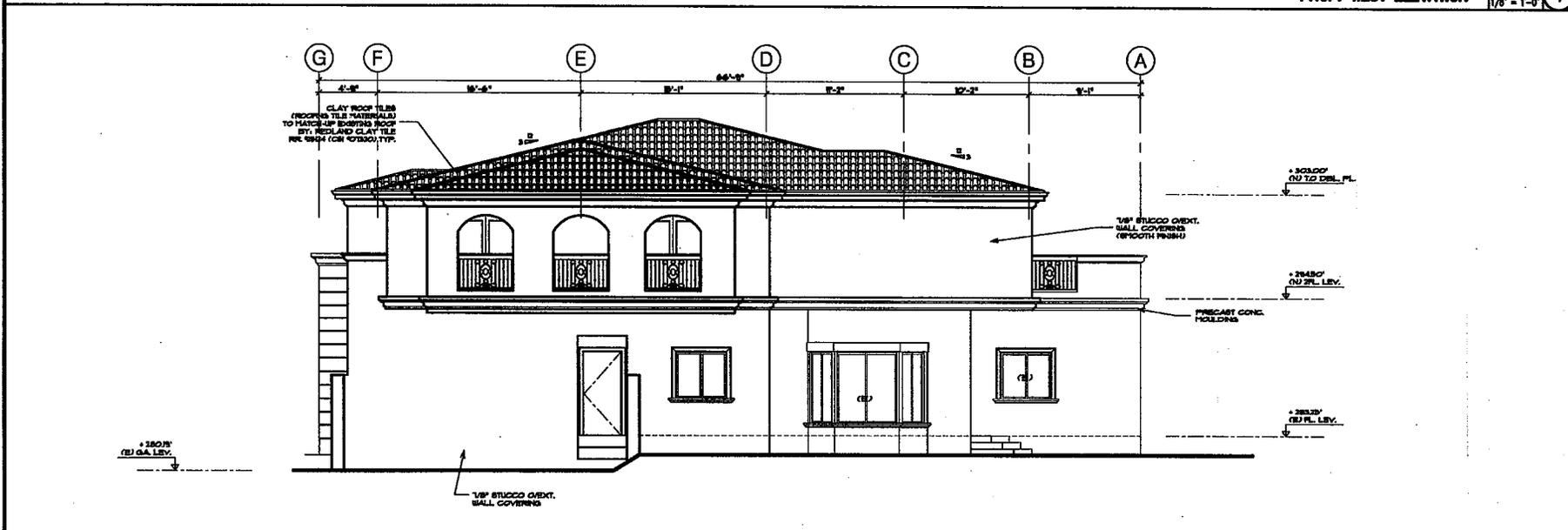
identifying features of work conducted by Paul R. Williams have been lost. Based on a review conducted by the City's Urban Designer, the existing single-family residence has lost historic integrity and is not subject to the City's 30-day demolition hold period nor is it eligible to be nominated as a local landmark.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on December 26, 2013; the site was posted on December 12, 2013. To date staff has not received comments in regards to the submitted project.



PROP. WEST ELEVATION SCALE 1/8" = 1'-0" 1



PROP. SOUTH ELEVATION SCALE 1/8" = 1'-0" 2

OWNER:
Mr. & Mrs. AZIZI

PROJECT:
REMEMBER CROOKTOP SEA RESIDENCE
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210

REVISIONS

NO.	DATE	REVISION

SCALE: AS NOTED
DRAWN: -
DATE: -
JOB NUMBER: 2013-104
SHEET:

A-4.01



510 BEVERLY DR
B.H. CA. 90210

PAGE
V.03



Design Review Commission Report

455 North Rexford Drive

June 5, 2014

Attachment B

Applicant's Written Responses
to Commission's Comments

REMODELING AND SECOND FLOOR ADDITION

LIST OF THE REVISIONS

6/5/14 MEETING

- 1- OVERHANGING BALCONY AT SOUTH SIDE
XXX REMOVED
- 2- SHALLOW ROOF
XXX CHANGED TO 4 TO 12
- 3- 10 PAIRS DOOR AT FRONT ELEVATION
XXX REDUCED TO 7 PAIRS DOOR AND ONE WINDOW
- 4- RAILING HEIGHT, 6" WALL +36" IRON
XXX CHANGED TO 42" IRON
- 5- ENTRY PROPORTION
XXX NEW PROPORTION
- 6- LACK OF WINDOWS AT TWO SIDES OF THE ENTRY
XXX ADDED 2 OVAL SHAPE WINDOWS AT SECOND FLOOR
- 7- 17'-8" REQ. SOUTH SIDE SET BACK
XXX PROPOSED 26'-1" SOUTH SIDE SET BACK (8'-9" ADDITIONAL SET BACK)
- 8- 5' MAX. DEPT IN FRONT FACADE
XXX 3' DEEPER
- 9- CONC. MOLDING BELOW ROOF PROJECTION
XXX CHANGED TO EXPOSED ROOF RAFTER
- 10- SIMILAR DOORS AT FIRST AND SECOND FLOOR
XXX VARIATION OF DOORS AND WINDOWS AT FIRST AND SECOND FLOOR

- 11- ENTRY PORCH 3' DEPT
XXX INCREASED TO 7' DEPT
- 12- THICKNESS OF THE WALL AROUND DOORS AND WINDOWS OPENING = 6" WALL
XXX INCREASED TO 12"
- 13- FOOT PRINT OF THE BUILDING
XXX 180 S.F. REDUCTION
- 14- MANY DOORS- WINDOWS AND BALCONY AT SOUTH SIDE
XXX LIMITED TO 3 SMALL WINDOWS
- 15- REMODEL OF THE FIRST FLOOR TO KEEP MORE EXISTING WALLS
XXX MORE DEMOLITION OF EXISTING WALLS AND JOISTS
- 16- 180 S.F. PROPOSED PANTRY BUTLER AND STORAGE
XXX CHANGED TO COVERED PATIO FOR BETTER MODULATION
- 17- 6' H. WALL AT FRONT YARD SET BACK LINE
XXX 7' EXTRA SET BACK
- 18- ROOF DRAINS IN SIDE OF THE WALLS
XXX CHANGED TO METAL DOWN SPOTS
- 19- SAVING MATERIALS
XXX WASTING MAJORITY OF THE MATERIALS TO INCREASE MODULATION
- 20- REMODELING OF THE GROUND FLOOR
XXX DEMOLITION OF THE GROUND FLOOR
- 21- REMODELING PROJECT
XXX HAND DEMOLITION AND CHANGE TO NEW CONSTRUCTION
- 22- ECONOMICAL PROJECT
XXX NOT ECONOMICAL
-

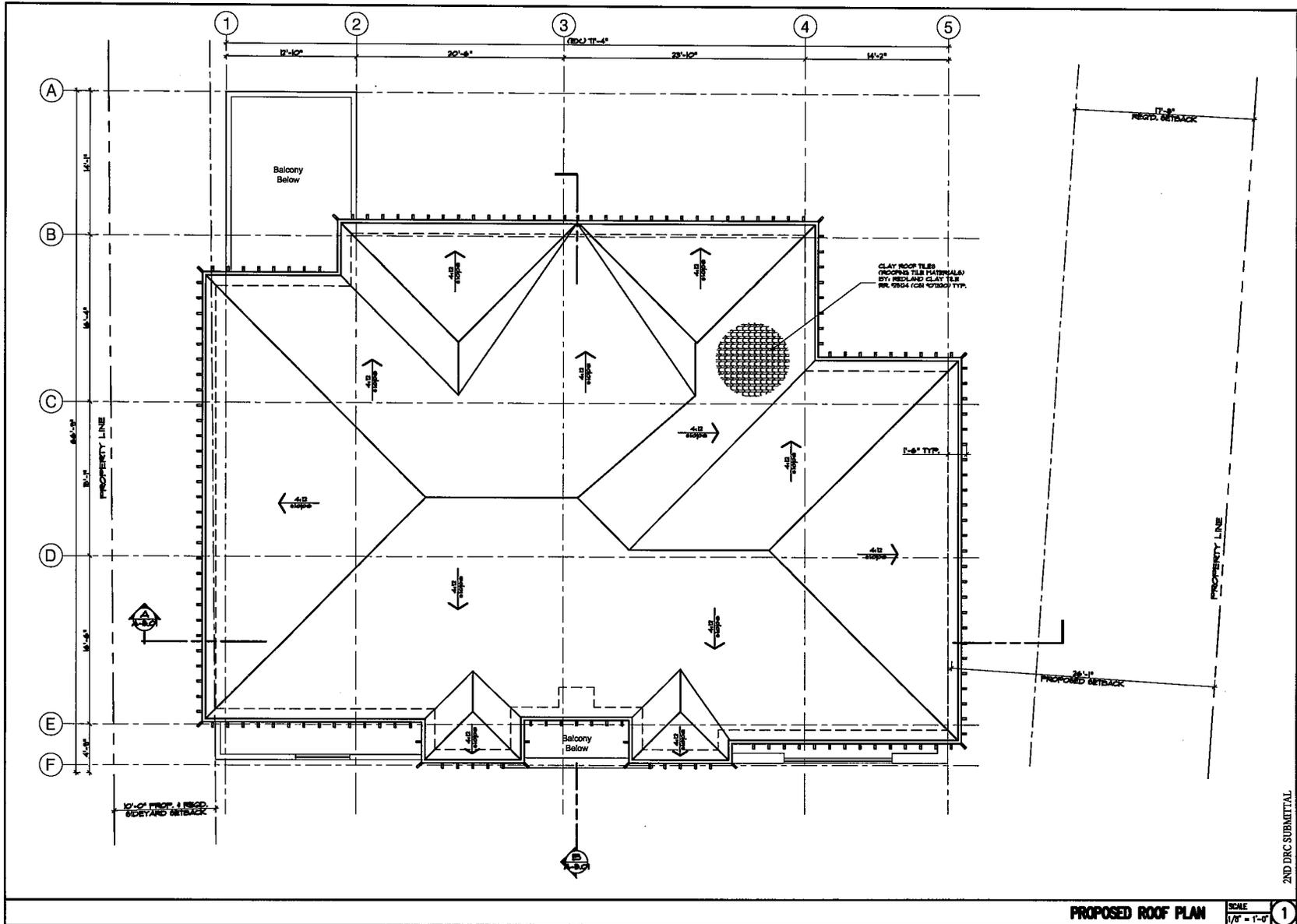


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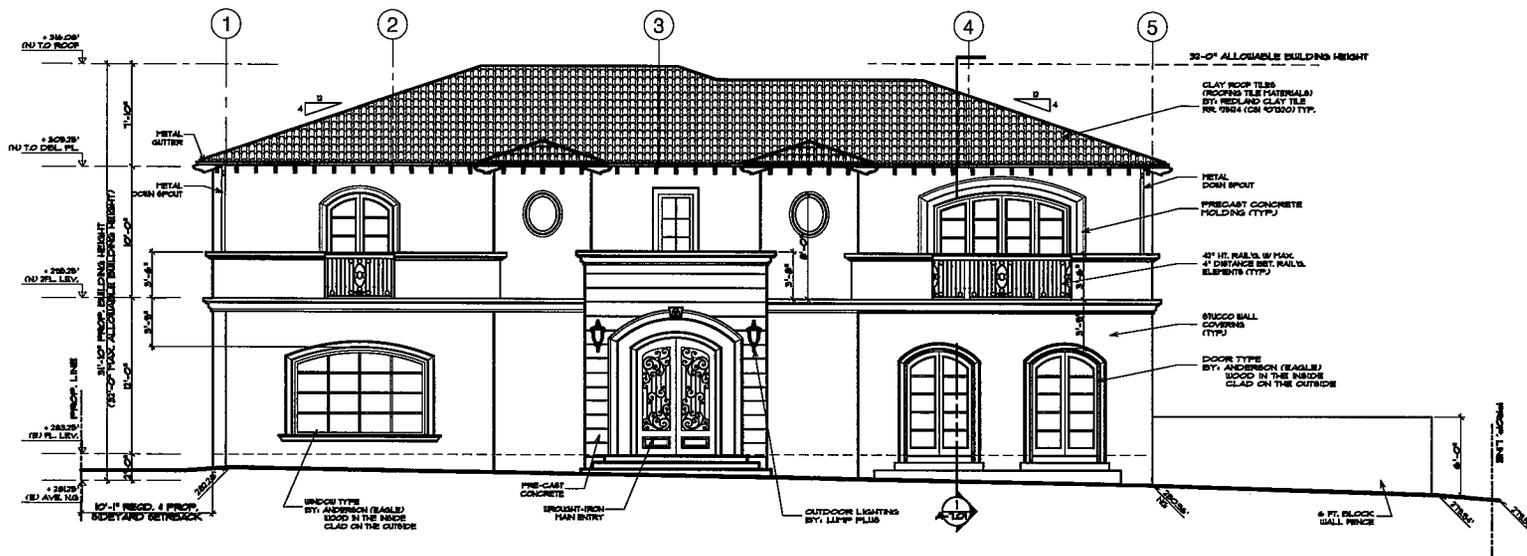
Attachment C
Project Design Plans



OWNER:		Mr. & Mrs. AZIZI	
PROJECT:		REMODELING OF EX. RESIDENCE 510 BEVERLY DRIVE, BEVERLY HILLS, CA 90210	
SHEET TITLE:		PROPOSED 2ND FL. ROOF PLAN	
NO.	DATE	BY	REVISION
SCALE:		AS NOTED	
DATE:		-	
DRAWN BY:		-	
JOB NUMBER:		2013-104	
SHEET:		1	

PROPOSED ROOF PLAN SCALE 1/8" = 1'-0" 1 OF 5 SHEETS

2ND DRC SUBMITTAL



Mr. & Mrs. AZIZI

REMODELING OF EX. RESIDENCE
 510 BEVERLY DRIVE,
 BEVERLY HILLS, CA 90210

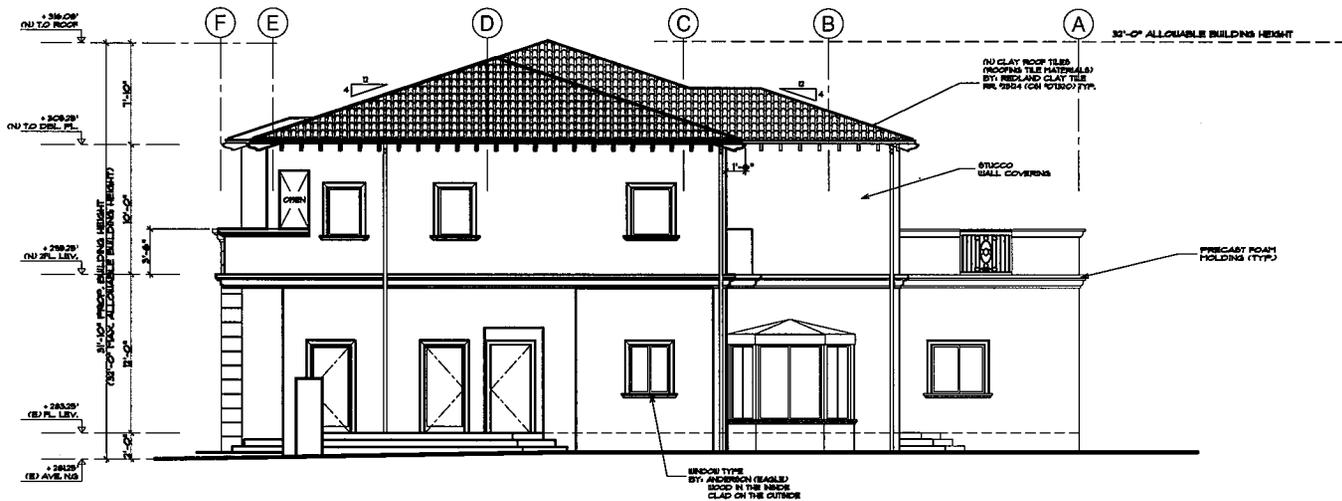
PROJECT TITLE
 PROPOSED ELEVATIONS

NO.	DATE	REVISION

SCALE: AS NOTED
 DATE: -
 DRAWN BY: -
 JOB NUMBER: 2013-104
 SHEET

2ND DRC SUBMITTAL

PROP. WEST ELEVATION SCALE 1/8" = 1'-0" 1



OWNER
Mr. & Mrs. AZIZI

PROJECT TITLE
REMODELING OF EX. RESIDENCE
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210

NO. DATE REVISION

SCALE: AS NOTED
DATE: -
DRAWN BY: -
JOB NUMBER: 2013-104
SHEET:

2ND DRC SUBMITTAL

PROP. SOUTH ELEVATION SCALE 1/8" = 1'-0" 1 OF 2 SHEETS

A-3.04



C LEFT VIEW

B CENTER VIEW

A RIGTH VIEW

EXISTING HOUSE VIEWS

SCALE
NTS 1

OWNER:

Mr. & Mrs. AZIZI



C LEFT VIEW

B CENTER VIEW

A RIGTH VIEW

PROPOSED HOUSE VIEWS

SCALE
NTS 2

2ND DRC SUBMITTAL

PROJECT:
REMODELING OF EX. RESIDENCE
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210

SHEET TITLE
EXISTING & PROPOSED HOUSE
VIEW

NO.	DATE	REVISION

SCALE: AS NOTED
DATE: -
DRAWN BY: -
JOB NUMBER: 2013-104
SHEET

V-1.01
OF SHEETS



PROPOSED LEFT W/ LANDSCAPING
510 N BEVERLY DRIVE

OWNER:
Mr. & Mrs. AZIZI

PROJECT:
REMODELING OF EX. RESIDENCE
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210

SHEET TITLE

NO	DATE	REVISION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

SCALE: AS NOTED
DATE: -
DRAWN BY: -
JOB NUMBER: 2013-104

SHEET
V-4.01
OF SHEETS

2ND DRC SUBMITTAL



PROPOSED CENTER ELEVATION W/ LANDSCAPING
510 N BEVERLY DRIVE

OWNER:
Mr. & Mrs. AZIZI

PROJECT:
**REMODELING & ADDITION
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210**

SHEET TITLE

NO.	DATE	REVISION

SCALE: AS NOTED

DRAWN: -

DATE: -

JOB NUMBER: 2013-104

SHEET

V-4.03

OF SHEETS

PROJ. DRG. 2013.08.14



PROPOSED RIGHT ELEVATION W/O LANDSCAPING
510 N BEVERLY DRIVE

--

OWNER:
Mr. & Mrs. AZIZI

PROJECT:
**REMODELING OF EX. RESIDENCE
510 BEVERLY DRIVE,
BEVERLY HILLS, CA 90210**

SHORT TITLE

NO.	DATE	REVISION

SCALE: AS NOTED

DATE: -

DRAWN BY: -

JOB NUMBER: 2013-104

SHEET

V-4.05

OF SHEETS

2ND DRC SUBMITTAL

