



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, May 1, 2014

Subject: 8701 Clifton Way (PL1405692)

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The Commission will also consider adoption of a Categorical Exemption, pursuant to the California Environmental Quality Act.

Project Applicant: Farzin Maly

Recommendation: Conduct public hearing and provide the applicant with an approval.

REPORT SUMMARY

The applicant is requesting review and approval of a new two-story single-family residence located in the Central Area of the City south of Santa Monica Boulevard. The proposed style is identified by the applicant as International; however, since the project does not adhere to a pure architectural style, the project is before the Commission for review.

URBAN DESIGN ANALYSIS

The proposed single-family residence contains appropriate design elements that are indicative of the International style; however, certain adornments, particularly at the second floor balcony, appear unnecessary. These elements should either be removed in their entirety or be revised to more appropriately integrate with the overall façade aesthetic. Furthermore, the building does not appropriately convey a sense of arrival and the entryway should be revised, as necessary.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. Since the property has not been designed by an architect listed on the City's Master Architect List nor has it been listed on the City's Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed, and an on-site notice at the subject property be posted, ten (10) days prior to the hearing. The public notice for this project was mailed on April 21, 2014; the site was posted on March 26, 2014. To date staff has not received comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Project Design Plans
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Associate Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

May 1, 2014

Attachment A

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
 - Project must adhere to a pure architectural style identified in the City's Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/cbhfiles/storage/files/filebank/3435--Residential%20Design%20Catalog%20May%202008.pdf>
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
 - Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

International Style.
 Features such as: 1) a 2 story building
 2) Flat roofs and assertively cubic shapes
 3) Bold horizontal, and vertical projections

C Identify the Project Zoning (City Zoning Map available online at <http://gis.beverlyhills.org/>)

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> R-1 | <input checked="" type="checkbox"/> R-1.5X2 | <input checked="" type="checkbox"/> R-1.8X |
| <input checked="" type="checkbox"/> R-1X | <input checked="" type="checkbox"/> R-1.6X | |
| <input checked="" type="checkbox"/> R-1.5X | <input checked="" type="checkbox"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 44' x 125' Lot Area (square feet): 5469 SQFT
 Adjacent Streets: HAMEL DR.

E Lot is currently developed with (check all that apply):

- | | |
|--|--|
| <input checked="" type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence |
| <input checked="" type="checkbox"/> Guest House | <input checked="" type="checkbox"/> Accessory Structure(s) |
| <input checked="" type="checkbox"/> Vacant | <input checked="" type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: <http://www.beverlyhills.org/citygovernment/departments/communitydevelopment/planning/historicpreservation/historicresources>)

Yes No If yes , please list Architect's name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	25'-0"		25'-0"
Roof Plate Height:	22'-0"		
Floor Area:	3554 SQFT		
Rear Setbacks:	28'-6"		
Side Setbacks:	S/E 5'-0"	S/E	S/E
	N/W 5'-0"	N/W	N/W
Parking Spaces:	2-CAR DETACHED		

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: WOOD VENEER - STONE VENEER - STUCCO - GLASS RAILING
 Texture /Finish: _____
 Color / Transparency: DARK BROWN - CREAM

WINDOWS (Include frame, trim, glass, metal, etc)

Material: ALUMINIUM - BY FLEETWOOD
 Texture /Finish: ANODIZE
 Color / Transparency: SILVER

DOORS (Include frame, trim, glass, metal, etc)

Material: WOOD
 Texture /Finish: NO TEXTURE - STAINED
 Color / Transparency: DARK BROWN

PEDIMENTS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

ROOF

Material: FLAT ROOF, BUILT-UP ROOFING
 Texture /Finish: _____
 Color / Transparency: _____

CORBELS

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

CHIMNEY(S)

Material: N/A
 Texture /Finish: _____
 Color / Transparency: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: WOOD VENEER-GLASS RAILING
Texture /Finish: _____
Color / Transparency: TRANSPARENT

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: 4" P.V.C. PIPE HIDDEN THROUGH THE WALL
Texture /Finish: _____
Color / Transparency: _____

EXTERIOR LIGHTING

Material: CAN LIGHT UNDER OVERHANG
Texture /Finish: _____
Color / Transparency: _____

PAVED SURFACES

Material: IMPERVIOUS PAVER
Texture /Finish: CONCRETE
Color / Transparency: CREAM

FREESTANDING WALLS AND FENCES

Material: SMOOTH STUCCO AND GLASS
Texture /Finish: SMOOTH STUCCO
Color / Transparency: CREAM

OTHER DESIGN ELEMENTS

Material: _____
Texture /Finish: _____
Color / Transparency: _____

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

By using the same style of landscaping as the proposed architectural design, The proposed landscape theme also enhances the international style of the building.
Trees: Dwarf Ginkgo, Fruitless Olive
There is no lighting proposed for landscape plan.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

- 1. Describe how the proposed development's design exhibits an internally compatible design scheme.**

The design exhibits an internally compatible design scheme of modern & international style

- 2. Describe how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.**

by using differen natural material like wood and stone, and also breaking the mass of the building into smaller volumes with horizontal and vertical lines

The garden like quality of the City enhanced by using appropriate landscaping and material

- 3. Describe how the proposed development will enhance the appearance of the neighborhood.**

The neighborhood consists of mostly 2-story single family dwellings with various architectural styles the proposed project with the 2-story modern/international style with blend to the neighborhood

- 4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.**

The owner's expectation are provided by demolishing the existing single family dwelling and building a 2 story international style building. Privacy of neighbors has been enhanced by replacing the old building with a new building.

- 5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.**

The proposed development respects prevailing site design patterns with having harmony in skyline and set back, and also materials of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.



Design Review Commission Report

455 North Rexford Drive

May 1, 2014

Attachment B
Project Design Plans

ROOF SPECIFICATIONS

- A. ROOF SPECIFICATIONS (Class A min.) Roof sheathing shall be 5/8" CDX plywood. Underlayment shall be two layers of 1/2" felt minimum. BATTENS, if required by the manufacturer, shall be 1x2 nominal batten strips. Roofing shall be installed in strict accordance with manufacturer's written specifications and in compliance with local codes. Refer to details and construction specifications.
- B. All roof water shall be conducted to the street grully. Roof water shall be collected using galvanized iron gutters and drained via galvanized iron downspouts per plan to P.V.C. drain pipes.
- C. Provide 26 Ga. minimum galvanized iron flashing at all roof breaks, typical U.N.O. All gutters, downspouts, scuppers, vents, flashings, and their required connectors and fasteners shall be galvanized iron.

FIVE-PLY MINERAL SURFACE

For use directly over wood, plywood, gypsum and structural wood floor or other approved substrate decks.
 405-5-W-402 (CONCRETE SUPPORTS) (R 30 2x 485)
 676-5-W-402 (CONCRETE SUPPORTS) (R 30 2x 485)
 Indent: Maximum 3 inches (23mm) per foot (30mm)

ATMOSPHERIC VENTILATION TABULATION PER CBC 802.1

4760 194 S.F.
 1,236 / 300 = 4.12 S.F.
 412 x 144 = 593 S.F.
 4 VENTS PROVIDED, TOTAL 452 S.F.
 16 CFM/24" HR. DOWNER 50 TALL
 113 S.F. VENTILATION EACH UNIT

MEMBRANE SYSTEM COMPLIANCE

45.0mm x 10.2 mm (2mm) per foot (30mm) on non-combustible deck
 24.0mm x 1/4" 1/2" inch (3mm) per foot (30mm) on non-combustible deck
 1" includes 1/2" sub (12mm) plywood
 *N/A Deck 1 (Construction 1, typical Deck Only)

TYPICAL NOTES

- A. ROOF SPECIFICATIONS (Class A min.) Roof sheathing shall be 5/8" CDX plywood. Underlayment shall be two layers of 1/2" felt minimum. Battens, if required by the manufacturer, shall be 1x2 nominal batten strips. Roofing shall be installed in strict accordance with manufacturer's written specifications and in compliance with local codes. Refer to details and construction specifications.
- B. All roof water shall be conducted to the street grully. Roof water shall be collected using galvanized iron gutters and drained via galvanized iron downspouts per plan to P.V.C. drain pipes.
- C. Provide 26 Ga. minimum galvanized iron flashing at all roof breaks, typical U.N.O. All gutters, downspouts, scuppers, vents, flashings, and their required connectors and fasteners shall be galvanized iron.
- D. Roof crickets shall be provided as per plan and where required to properly divert the roof water to drainage areas. Crickets shall be sloped 1" per foot minimum and shall be constructed with 1/2" plywood CDX (24/0) with all necessary supports and blocking indicated on the plan or otherwise required.

G.A. ENGINEERING
 19002 TEMPIRA BLVD. SUITE 230
 PASADENA, CALIFORNIA 91366
 Phone: (818) 254-3300
 Fax: (818) 798-2817

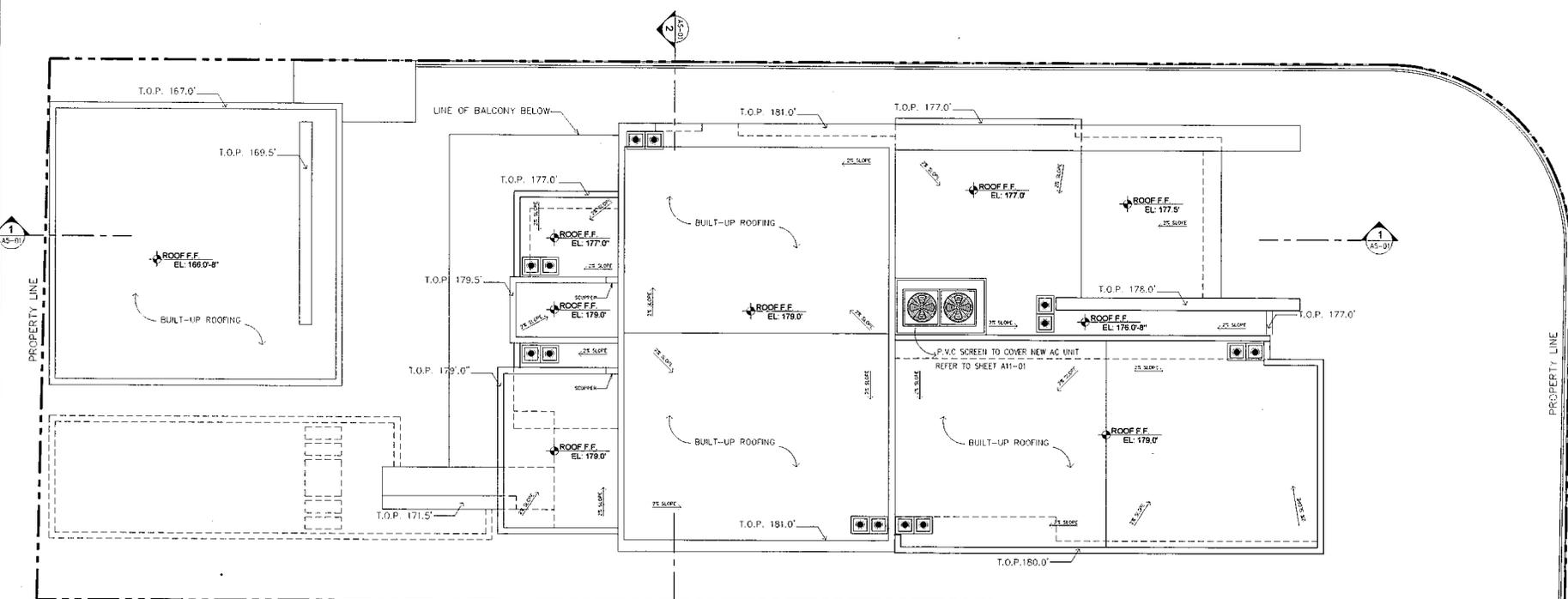
REVISION	BY

OWNER
 ARSEN AHAMIAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 PROPOSED ROOF FLOOR PLAN

DATE:	MARCH 2014
SCALE:	AS SHOWN
DRAWN:	T.G.
APPROVED:	F.S.
JOB:	12-477
SHEET:	

A3-01



PROPOSED ROOF FLOOR PLAN

PROPERTY LINE

SCALE: 1/8"=1'-0"

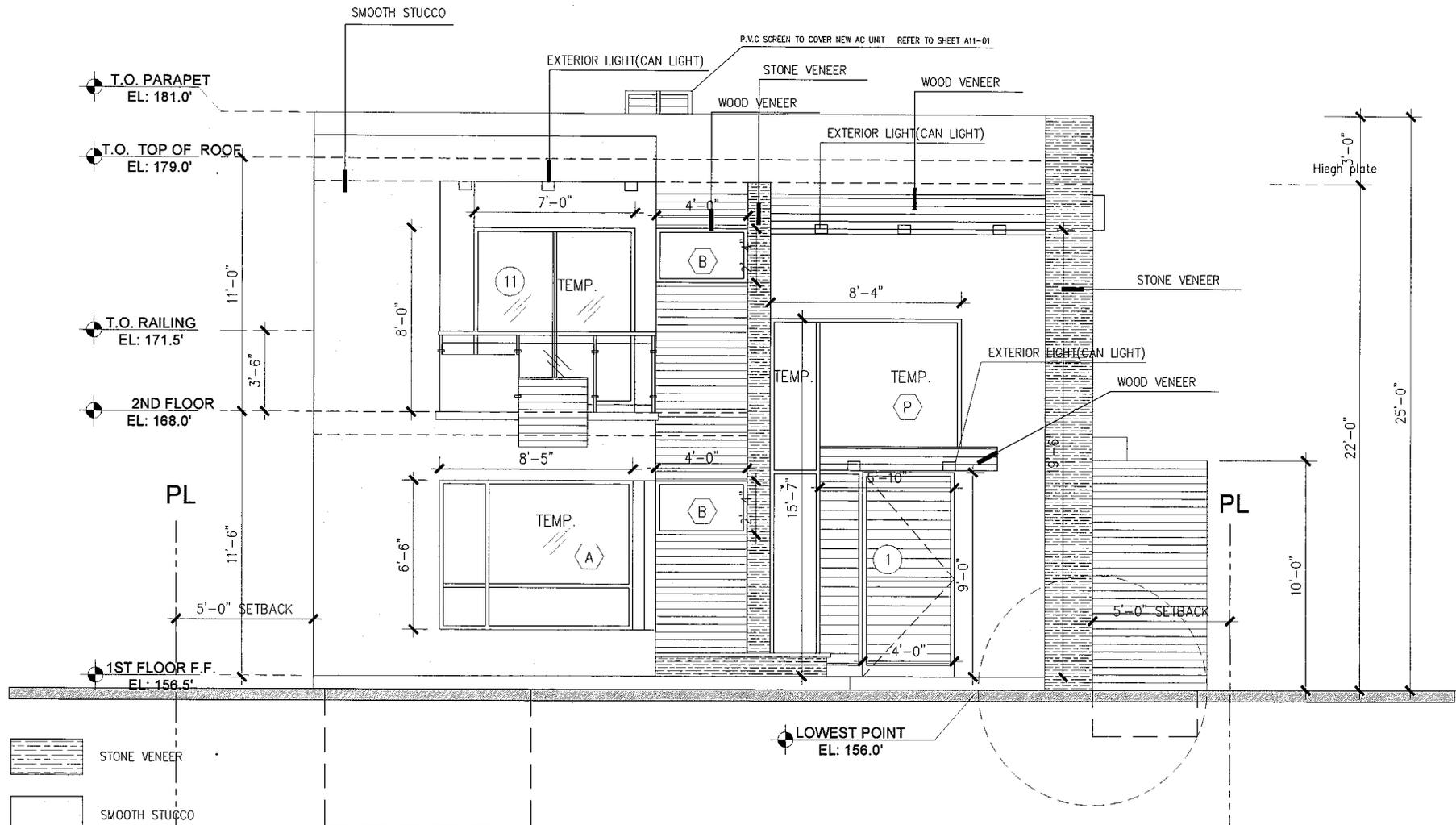
REVISION	BY

OWNER
 ARSEN AHAMIAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

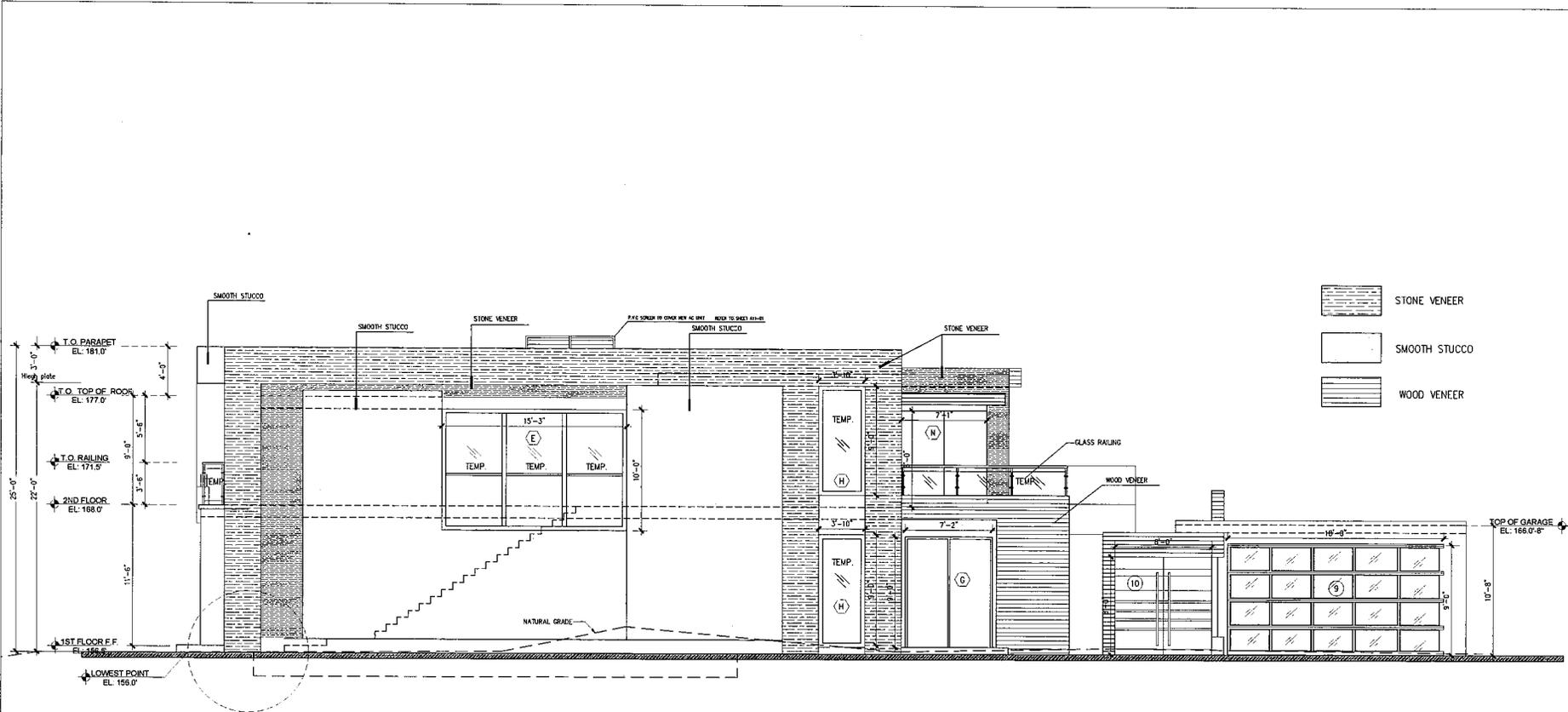
DRAWING TITLE
 SOUTH ELEVATION

DATE: MARCH 2014
 SCALE: AS SHOWN
 DRAWN: S.G.
 APPROVED: P.M.
 JOB: 13-477
 SHEET:

A4-01
 SHEETS



SOUTH ELEVATION
 SCALE: 1/2"=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"

G.A. ENGINEERING
 19562 VENTURA BLVD. SUITE 230
 BEVERLY HILLS, CALIFORNIA 91366
 Phone: (818) 708-2333
 Fax: (818) 708-2827

REVISION	BY

OWNER
 ARSEN AHMADIAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 EAST ELEVATION

DATE	MARCH 2014
SCALE	AS SHOWN
DRAWN	S.P.
APPROVED	P.M.
JOB	12-477
SHEET	

A4-03



A- EXISITING RESIDENCE



B- PROPOSED PROJECT



C- PROPOSED PROJECT LANDASCAPE

G.A. ENGINEERING
 19552 VENTURA BLVD SUITE 230
 TARENIA, CALIFORNIA 91356
 Phone: (818) 755-4008
 Fax: (818) 755-2547

REVISION	BY

OWNER
 ARSEN HAMILIAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 STREET SCAPE PHOTO MONTAGE

DATE	MARCH 2014
SCALE	AS SHOWN
DRAWN	T.G.
APPROVED	F.M.
JOB	13-477
SHEET	A9-02

A9-02
 SHEETS



A- EXISTING RESIDENCE



B- PROPOSED PROJECT



C- PROPOSED PROJECT LANDSCAPE

G.A. ENGINEERING
 19562 VENTURA BLVD SUITE 230
 TAYLOR, CALIFORNIA 91356
 Phone: (818) 222-3339
 Fax: (818) 222-3347

REVISION	BY

OWNER
 ARSEN AHAMIAN
 8701 CLIFTON, BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 STREET SCAPE PHOTO MONTAGE

DATE	MARCH 2014
SCALE	AS SHOWN
DRAWN	T.G.
APPROVED	F.M.
SHP	13-477

A9-03

SHEETS



← ELEVATION VIEW (SOUTH)



← ELEVATION VIEW (NORTH)

G.A. ENGINEERING
 19982 VENUE BLVD SUITE 320
 TAZUNA, CALIFORNIA 91356
 Phone: (818) 728-0018
 Fax: (818) 728-2347

REVISION	BY

OWNER
 ARSEN AHMADIAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 ELEVATION VIEW

DATE: MARCH 2014
 SCALE: AS SHOWN
 DRAWN: S.C.
 APPROVED: E.M.
 JOB: 13-471
 SHEET: A9-04
 SHEETS



← ELEVATION VIEW (EAST)



← ELEVATION VIEW (WEST)

G.A. ENGINEERING
 19552 VENTURA BLVD SUITE 210
 THERMATA, CALIFORNIA 91356
 Phone: (818) 337-3338
 Fax: (818) 338-3847

REVISION	BY

DRAWING TITLE
 OLIVER
 ARSEN HAWMAN
 8701 CLIFTON, BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 ELEVATION VIEW

DATE	MARCH 2014
SCALE	AS SHOWN
DRAWN	S.G.
APPROVED	F.M.
JOB	13-437
SHEET	A9-05
SHEETS	



PRESPECTIVE RENDERING

G.A. ENGINEERING
 19552 VENTURA BLVD SUITE 230
 THERESA, CALIFORNIA 91356
 Phone: (818) 755-0008
 Fax: (818) 755-2547

REVISION	BY

OWNER
 ARSEN HAMILAN
 8701 CLIFTON BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 PRESPECTIVE RENDERING

DATE: MARCH 2014
 SCALE: AS SHOWN
 DRAWN: S.G.
 APPROVED: P.M.
 JOB: 13-477
 SHEET

A9-06
 SHEETS



PRESPECTIVE RENDERING

G.A. ENGINEERING
 19302 VENTURA BLVD SUITE 230
 MENLO PARK, CALIFORNIA 94025
 Phone: (818) 754-1508
 Fax: (818) 754-2847

REVISION	BY

OWNER
 ARSEN AHAMIAN
 8701 CLIFTON, BEVERLY HILLS
 Los Angeles Ca. 90211

DRAWING TITLE
 PRESPECTIVE RENDERING

DATE: MARCH 2014
 SCALE: AS SHOWN
 DRAWN: T.C.
 APPROVED: F.M.
 PPK: 13-477

SHEET
 A9-08

SHEETS



Design Review Commission Report

455 North Rexford Drive

May 1, 2014

Attachment C

DRAFT Approval Resolution

RESOLUTION NO. DR XX-14

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 8701 CLIFTON WAY (PL1405692).

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Farzin Maly, agent, on behalf of Arsen Ahamian, property owner, (Collectively the “Applicant”), has applied for an R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 8701 Clifton Way which is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment. Since the property has not been designed by an architect listed on the City’s Master Architect List nor has it been listed on the City’s

Historic Resource Survey, it does not warrant further review as a potential historical resource. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on May 1, 2014 at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors' existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review, the Design Review Commission carefully studied the proposed project in context to adjacent

properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Project-Specific Conditions

1. No special conditions have been imposed for this project.

Standard Conditions

2. **Revised Plan Submittal.** For all projects that are approved with project-specific conditions, a revised plan set that has fully incorporated all such conditions shall be submitted to the project planner, both in hard copy format and in electronic format, prior to submitting for the building permit plan check process.
3. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
4. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
5. **Compliance with Special Conditions.** Any special conditions that require approval by the Director of Community Development, or designee, shall be submitted to the staff liaison to the Commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

6. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the Director of Community Development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
7. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
8. **Substantial Compliance with Approved Plans.** The Director of Community Development, or designee, shall determine if changes to the approved project are in substantial compliance with the Commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
9. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the Community Development Department or submit an application along with applicable fees to the development for covenant preparation and filing.
10. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

11. Appeals. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the Community Development Department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: May 1, 2014

William Crouch, Commission Secretary
Community Development Department

Ilene Nathan, Chairperson
Design Review Commission