



Design Review Commission Report

Meeting Date: Thursday, August 2, 2012
(Continued from the DRC meeting on July 9, 2012)

Subject: **711 North Beverly Drive (PL# 120 7804)**
A request for an R-1 Design Review Permit to allow for a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard.

Project applicant: Selena Linkous, agent – Rios Clemente Hale Studios

Recommendation: Conduct public hearing and provide the applicant with a project approval.

REPORT SUMMARY

The applicant is requesting design review approval to allow for a new two-story single family residence located in the Central Area of the City. The project was previously reviewed by the Commission at its June 7, 2012 and July 9, 2012 meetings (Attachment A). At those meetings the Commission felt the design warranted further revisions and directed for the applicant to restudy the project. The following comments were provided by the Commission at its July 9, 2012 meeting:

- A perspective from the street of the proposed single-family residence should be provided.
- The façade is very bare and there is no elegance in the design. Consider adding openings on the ground floor to provide a more streetscape-oriented design.
- Even though the house is small, the design makes it appear bulky.
- Consider eliminating the gate to allow openings so that people walking or driving by can see where the entry is.

As a result of the Commission's direction, the applicant has modified the project to address the Commission's concerns. Modifications include:

- Addition of new trellis and entry feature to create entry point visual from the streetscape.
- New window added to the office on the first floor.
- Translucent gate adjacent to driveway entrance.

The applicant has provided responses to the Commission's comments in Attachment B of this report.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

Attachment(s):

- A. June 7, 2012 and July 9, 2012 DRC Staff Reports and Previously Proposed Projects
- B. Applicant's written response to Commission's Comments
- C. Revised Design Plans, Cut Sheets & Supporting Documents
- D. Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1192
cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

August 2, 2012

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project does not require public notification as it is continued from another meeting.



Design Review Commission Report

455 North Rexford Drive

August 2, 2012

Attachment A:

June 7, 2012 and July 9, 2012 DRC Staff Reports and Previously Proposed Projects



Design Review Commission Report

Meeting Date: Thursday, June 7, 2012

Subject: 711 North Beverly Drive (PL# 120 7804)

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard.

Project applicant: Selena Linkous, agent – Rios Clemente Hale Studios

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence in the Central Area of the City, north of Santa Monica Boulevard. Since the project does not adhere to a pure architectural style, the project is before the Commission for review.

Additionally, it should be noted that both 709 North Beverly Drive and 711 North Beverly Drive are owned by the same individual. As such, the two properties have considerable architectural commonalities that the Commission may wish to discuss during their review of both projects.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed May 24, 2012. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets & Supporting Documents

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1191

cgordon@beverlyhills.org



Design Review Commission Report

Meeting Date: Monday, July 9, 2012
(Continued from the DRC meeting on June 7, 2012)

Subject: **711 North Beverly Drive (PL# 120 7804)**
A request for an R-1 Design Review Permit to allow for a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard.

Project applicant: Selena Linkous, agent – Rios Clemente Hale Studios

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting design review approval to allow for a new two-story single family residence located in the Central Area of the City. The project was previously reviewed by the Commission at its June 7, 2012 (see Attachment A) meeting. At that meeting the Commission felt the design warranted further revisions and directed for the applicant to restudy the project. The following comments were provided by the Commission:

- The current orientation of the house is not aesthetically appealing to the streetscape. The front of the house needs to read as the front of the house.
- The design of the rest of the house should be incorporated onto the elevation facing the street.
- Please include the proposed façade for 709 North Beverly Drive into the streetscape image.

As a result of the Commission's direction, the applicant has modified the project to address the Commission's concerns and provided further clarification for the proposed design choices.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project does not require public notification as it is continued from another meeting.

Attachment(s):

- A. June 7, 2012 DRC Staff Report
- B. Applicant's written response to Commissioner's Comments
- C. Revised Design Plans, Cut Sheets & Supporting Documents
- D. Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner

(310) 285-1192

cgordon@beverlyhills.org



7 JUNE 2012



25 JUNE 2012

ADDED GATE TO ALIGN WITH SIDEYARD SETBACK HEIGHT RESTRICTION

NEW DETAIL OF BATHROOM WINDOW

BATHROOM WINDOW PROJECTS 18" VS. THE PREVIOUS 12" PROJECTION

TWO ADDED WINDOWS ON THE EAST FACE THAT PROJECT 6" OFF THE FACADE

HEDGE NOW RUNS IN FRONT OF FACADE

DELETED METAL SHUTTERS

ADDED ENTRY LANTERN

ADDED PEDESTRIAN WELCOME GATE

ELEVATION COMPARISON

711 N. BEVERLY DRIVE | 1/8" = 1'-0" | 25 JUNE 2012

EAST (FRONT) ELEVATION
RIOS CLEMENTI HALE STUDIOS



Design Review Commission Report

455 North Rexford Drive

August 2, 2012

Attachment B:

Applicant's written response to
Commission's Comments

MARK RIOS
JULIE SMITH CLEMENTI
FRANK CLEMENTI
ROBERT HALE
JONATHAN BLACK
JENNIFER SCHAB
FRITZ CONNOLLY
SAMANTHA HARRIS
ANTHONY PARADOWSKI
CHIAKI KANDA
MIKE CHENG
ED FIGLEWICZ
MATT RICHMOND
SEBASTIAN SALVADÓ
DANIEL TORRES
MICHAEL MARTINEZ
CLAUDIA MORELLO
JOHN FISHBACK
CAROLYN SUMIDA
MICHAEL SWEENEY
JESSA CHISARI
NASEEMA ASIF
ERVIN LEVENT
JENIFER SIMMONS
JAKUB TEJCHMAN
HUAY WEE
LAURA KOS
AIMEE LESS
RYAN VASQUEZ
GREG KOCHANOWSKI
TAVI PERTTULA
ALISSA HISOIRE
ANTHONY ANDERSON
AMANDA SIGAFOOS
CLANCY PEARSON
MICHAEL POIRIER
LEILANI LACUSONG
MARK MOTONAGA
FANGFANG OUYANG
MIKE TRAMUTOLA
RANI RANADE
BROOKS ROSENBERG
TOM MYERS
JULIEN HARCC
MARIBETH GALLION
JULIA CORLETT
BROOKE WOOSLEY
ELISA READ
MICHAEL BOUCHER
HAMILTON HADDEN
TROY SHOWERMAN
SABRINA SCHMIDT WETEKAM
RUSSELL DYKANN
BRENT JACOBSEN
BEN STOUGH
ASAF DALI
KAREN MADRID
ANDY LANTZ
SELENA LINKOUS
ADAM PIERCE
LIZZ GARCIA

2012 July 23

Design Review Commission
City of Beverly Hills
455 N. Rexford Dr.
Beverly Hills, CA 90210

M E M O R A N D U M

FROM Selena Linkous
REGARDING 711 N. Beverly Drive
Response to Comments

See responses below each comment. Please note that there are two elevation comparison sheets in the drawing sets.

- *Comment: A perspective from the street of the proposed single-family residence should be provided.*
 - Proposed Solutions:
 - See package.
- *Comment: The façade is very bare and there is no elegance in the design. Consider adding openings on the ground floor to provide a more streetscape-oriented design.*
 - Proposed Solutions:
 - A trellis and new gateway was added to create a ceremonial entry from the street.
 - A window was added into the office.
- *Comment: Even though the house is small, the design makes it appear bulky.*
 - Proposed Solution:
 - The new colonnade breaks up the front of the façade adding lightness.
- *Comment: Consider eliminating the gate to allow openings so that people walking or driving by can see where the entry is.*
 - Proposed Solution:
 - The gate is now translucent to provide visual access to the property and the entry.



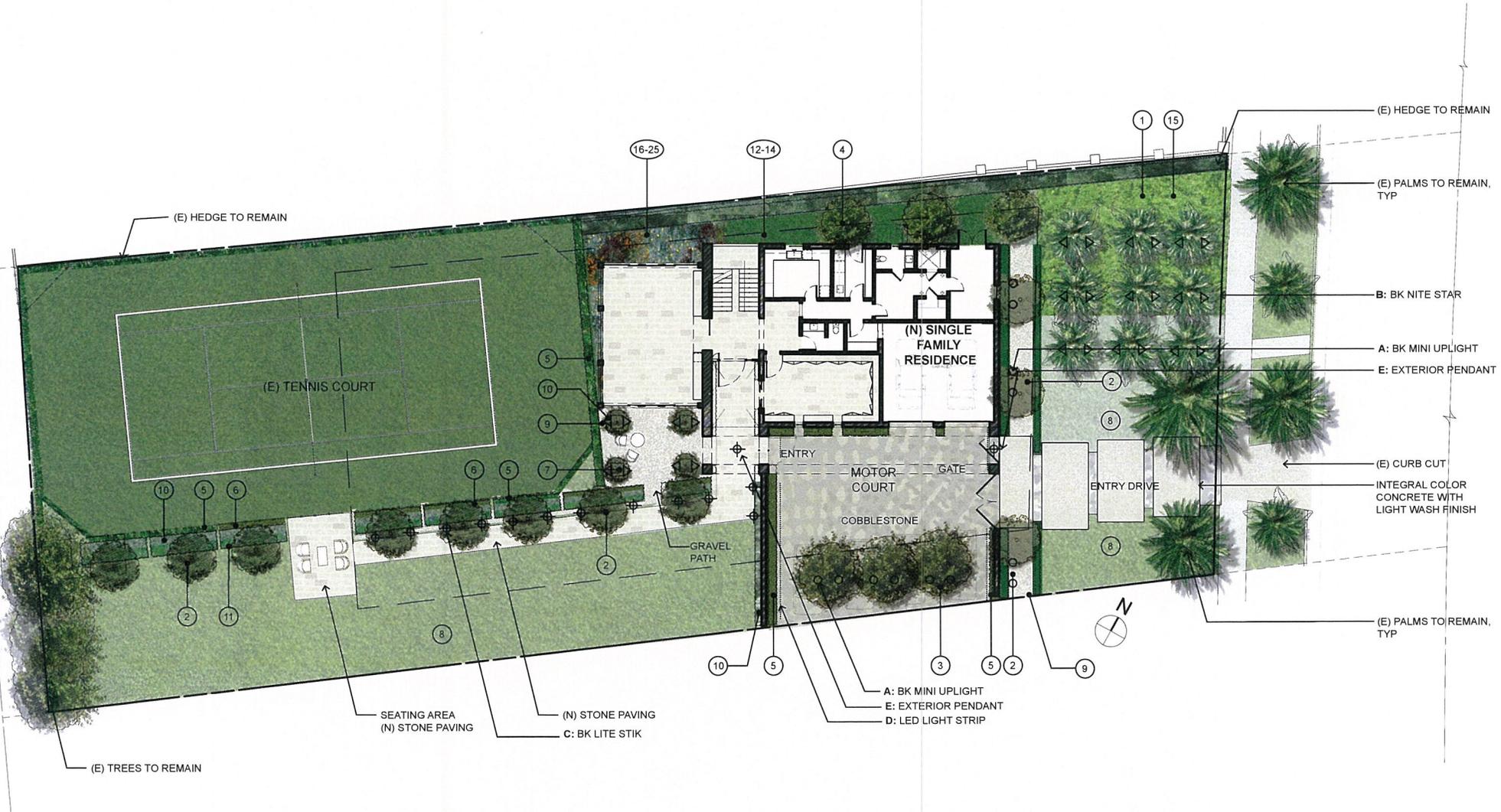
Design Review Commission Report

455 North Rexford Drive

August 2, 2012

Attachment C:

Revised design plans, cut sheets
and supporting elements



PAVING PROPOSED TOTAL: 9,721 SQ FT

LIGHTING LEGEND

- ○ A: BK MINI UPLIGHT - FLUSH MOUNT
- ▽ B: BK DELTA STAR - UPLIGHTS
- ⊕ C: BK LITE STIK - PATH LIGHT
- D: LED LIGHT STRIP

LANDSCAPE PLAN

711 N. BEVERLY DRIVE BEVERLY HILLS CA 90210 | SCALE: 1/16" 1'-0" | 25 JUNE 2012

RIOS CLEMENTI HALE STUDIOS



EAST (FRONT) ELEVATION



NORTH (SIDE) ELEVATION

ELEVATIONS

711 N. BEVERLY DRIVE | 1/8" = 1' - 0" | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



25 JUNE 2012

- ADDED GATE TO ALIGN WITH SIDEYARD SETBACK HEIGHT RESTRICTION —————
- ADDED ENTRY TRELLIS —————
- NEW DETAIL OF BATHROOM WINDOW —————
- ADDED LANTERN —————
- TWO ADDED WINDOWS ON THE EAST FACE THAT PROJECT 6" OFF THE FACADE —————
- HEDGE NOW RUNS IN FRONT OF FACADE —————
- DELETED METAL SHUTTERS —————
- ADDED WINDOW IN OFFICE —————
- ADDED PEDESTRIAN WELCOME GATE —————



23 JULY 2012

EAST (FRONT) ELEVATION

ELEVATION COMPARISON

711 N. BEVERLY DRIVE | 1/8" = 1' - 0" | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



WEST (BACK) ELEVATION



SOUTH (SIDE) ELEVATION

ELEVATIONS

711 N. BEVERLY DRIVE | 1/8" = 1' - 0" | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



FULL ELEVATION PERSPECTIVE

711 N. BEVERLY DRIVE | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



25 JUNE 2012



23 JULY 2012

ELEVATION COMPARISON

711 N. BEVERLY DRIVE | 1/16" = 1' - 0" | 23 JULY 2012

EAST (FRONT) ELEVATION

RIOS CLEMENTI HALE STUDIOS



PERSPECTIVE 1

711 N. BEVERLY DRIVE | 23 JULY 2012

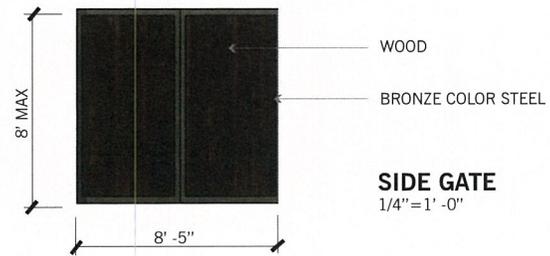
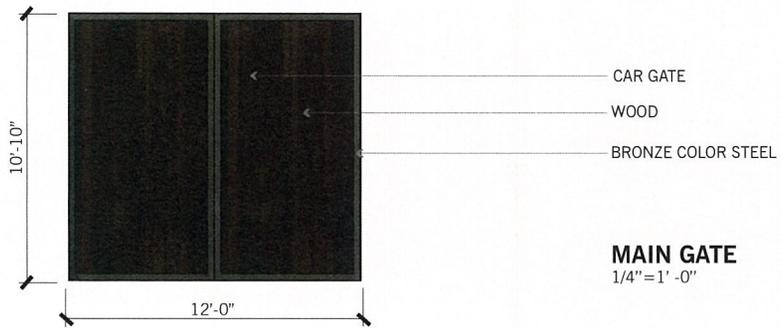
RIOS CLEMENTI HALE STUDIOS



PERSPECTIVE 2

711 N. BEVERLY DRIVE | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



SITE WALLS AND FENCES

711 N. BEVERLY DRIVE | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



709 N Beverly Dr

711 N Beverly Dr

713 N Beverly Dr

SITE PANORAMA

711 N. BEVERLY DRIVE | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



709 N Beverly Dr

711 N Beverly Dr

713 N Beverly Dr

STREETScape PHOTO MONTAGE

711 N. BEVERLY DRIVE | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS



5. FICUS NITIDA 'GREEN GEM' - FICUS
36" BOX @ 36" O.C.



6. LIGUSTRUM J. TEXANUM - PRIVET
24" BOX @ 24" O.C.



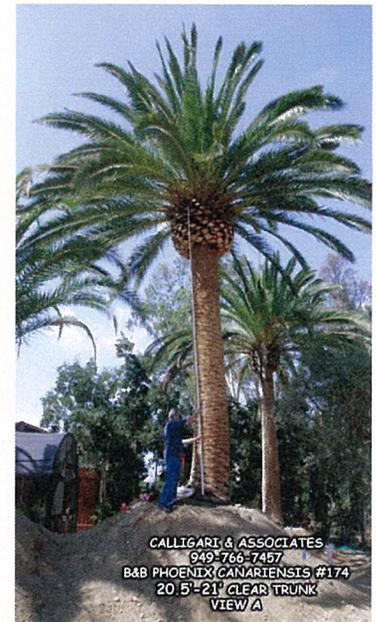
7. MEYER LEMON TREE
36" BOX



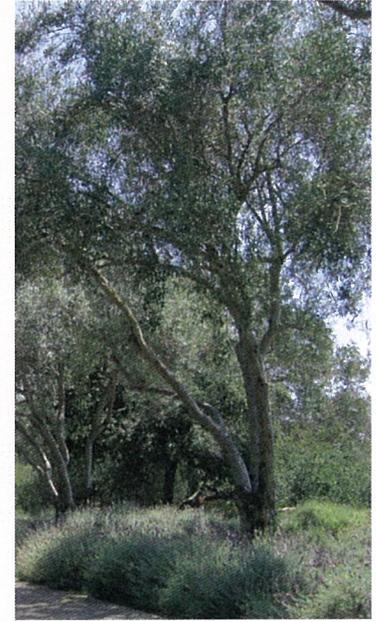
3. ACACIA MELANOXYLON - AUSTRALIAN BLACKWOOD
50" BOX



4. MAGNOLIA SOULANGIANA
36" BOX



1. PHOENIX CANARIENSIS - CANARY ISLAND PALM
20' BTH. 16'-0" O.C.



2. OLEA - OLIVE MANZANILLO - FIELD GROWN
16'-0" TALL



24. DRYOPTERIS ERYTHROSORA - JAPANESE SHIELD FERN
5 GAL @ 24" O.C.



20. ASPLENIUM BULBIFERUM - MOTHER FERN
5 GAL @ 24" O.C.



16. ACANTHUS MOLLIS - BEAR'S BREECH
5 GAL @ 24" O.C.



12. GARDENIA 'AIMEE'
15 GAL @ 30" O.C.



8. MARATHON II SOD - LAWN



25. PLEIOBLASTUS DISTICHUS - FERN LEAF BAMBOO
1 GAL @ 24" O.C.



21. PHILODENDRON XANADU - PHILODENDRON
5 GAL @ 24" O.C.



17. ALCANTAREA IMPERIALIS - BROMELIAD
5 GAL @ 24" O.C.



13. HELLEBORUS SPP - LENTEN ROSE
5 GAL @ 18" O.C.



9. BUXUS MACROPHYLLA GREEN GEM - BOXWOOD
15 GAL @ 18" O.C.



22. DAVALLIA FEJEENSIS - RABBITS FOOT FERN
5 GAL @ 24" O.C.



18. ALPINIA ZERUMBET 'VARIEGATA' SHELL GINGER
5 GAL @ 24" O.C.



14. CAREX ELATA BOWLES - CAREX
5 GAL @ 18" O.C.



10. WESTRINGIA FRUTICOSA
5 GAL @ 18" O.C.



23. CYRTOMIUM FALCATUM - JAPANESE HOLLY FERN
5 GAL @ 24" O.C.



19. ASPLENIUM NIDUS - BIRDS NEST FERN
5 GAL @ 24" O.C.



15. MYOPORUM PARVIFOLIUM - MYOPORUM
FLATS SPACE 6" O.C.



11. BEARDED IRIS - MIDNIGHT OIL
1 GAL @ 18" O.C.

PLANT IMAGES - SHRUBS AND GROUNDCOVER - 6" - 4' TALL AND WIDE

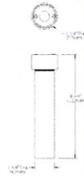
711 N. BEVERLY DRIVE, BEVERLY HILLS CA 90210 | 23 JULY 2012

RIOS CLEMENTI HALE STUDIOS

MINI-MICRO RECESSED UPLIGHT™ 3 WATT

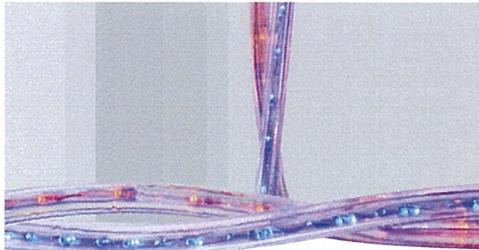
With its compact design and solid construction, Mini-Micro Recessed Uplight™ is a practical and convenient choice for lighting designers. Machined from top quality aluminum, it comes with an integral mounting ledge that is suitable for both flush or for installation into concrete. For more information, visit us at www.bklighting.com.

RECESSED UPLIGHT



40

A - WELL LIGHT, BK MINI UPLIGHT



LED Instant Flexilight

The LED Instant Flexilight, 1.25" in diameter and rated at 1.7W/0.001" square, is the newest addition to the Flexilight™ strip lighting series. The Flexilight™ series is made of high quality "MIL" industrial quality LED's. The LED Instant Flexilight can be used in a variety of applications and has excellent performance and long life expectancy.



No Driver Required

Number of feet	2
Number of bulb feet	12
Diameter	1.25"
Shape	Round
Colors available (PVC)	Clear, Amber, Blue, Green, Gold White, Warm White

bk lighting www.bklighting.com • TEL: 877-875-5375 • FAX: 877-875-3131

D - LED EXTERIOR STRIP LIGHT

Return to Table of Contents

Nite Star™

Nite Star™ is a fully machined aluminum MR16 lighting instrument. The Nite Star is fully enclosed and waterproof because of its unique sleeveless design. Nite Star is finished in a durable, luxurious, polyester powder coating. All hardware is stainless steel. The Nite Star, along with the wide choice of MR16 lamps and optical accessories, gives the lighting designer an economical, yet highly architectural lighting fixture for the most discriminating designs.

Features

- Tempered glass lens
- Highest optical consumption
- Engraved recessed mounting knuckle
- Clear tempered glass lens, factory sealed
- Machined aluminum construction with stainless steel hardware
- **A** & **B** Lenses with MR16 lamps to 60 watts
- For use with remote transformers, see pages 92, 94, and 97.

Available in Brass, see page 90

CATALOG NUMBER LOGIC

Example: **NS-8-SAP-3-11**

Series

0 - No Series	16 - EYEVIEW, 20" H. Flood
1 - SIDEVIEW, 40" Flood	17 - EYEVIEW, 40" Flood
2 - SIDEVIEW, 40" Flood	8 - SIDEVIEW, 12" Spot
3 - SIDEVIEW, 20" H. Flood	9 - SIDEVIEW, 20" H. Flood
4 - SIDEVIEW, 20" H. Flood	2 - SIDEVIEW, 40" Flood
5 - SIDEVIEW, 40" Flood	9 - SIDEVIEW, 40" Flood
15 - EYEVIEW, 12" Spot	

Finish

Finish	Code	Finish	Code
Black	BLK	White	WHT
Aluminum	ALU	Ver	VER

Lens Type

0 - Clear (Standard)	10 - Spigot	12 - Soft Focus	13 - Fleckliner
11 - Honeycomb Gaffe			

B-K LIGHTING

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B - FLOOD LIGHT, BK NITE STAR



BRONZE COLOR METAL GUARD / SCREEN

ROPE LIGHT

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Litestick™

The Litestick™ brings several words to mind when used for path and small area lighting such as Sleek, Sexy and Wow! Its one inch diameter and small lens opening belie its ability to make a dramatic lighting statement after dark, but says it all about its ability to disappear during the daylight hours. Litestick is available in both machined aluminum and machined brass and is available in both adjustable and fixed versions. The adjustable version allows the lighting designer to tweak the lighting pattern from a three inch mounting height up to an 18" height. The Litestick is unique in its design and unequaled in its quality. The adjustable glare shield option adds a unique look and is field adjustable for that finishing touch.

Features

- Tempered glass lens
- Power Pipe™ fixed mounting option or adjustable mounting option available
- Tempered treated glass lens, factory sealed
- 1" diameter machined aluminum cap and stem
- **A** & **B** Lenses to 20 watts
- Machined aluminum construction with stainless steel hardware
- For use with remote transformers, see pages 92, 94, and 97.

Available in Brass, see page 90

CATALOG NUMBER LOGIC

Example: **LT-13-BLM-A18-08**

Series

0 - No Series	16 - EYEVIEW, 20" H. Flood
1 - SIDEVIEW, 40" Flood	17 - EYEVIEW, 40" Flood
2 - SIDEVIEW, 40" Flood	8 - SIDEVIEW, 12" Spot
3 - SIDEVIEW, 20" H. Flood	9 - SIDEVIEW, 20" H. Flood
4 - SIDEVIEW, 20" H. Flood	2 - SIDEVIEW, 40" Flood
5 - SIDEVIEW, 40" Flood	9 - SIDEVIEW, 40" Flood
15 - EYEVIEW, 12" Spot	

Finish

Finish	Code	Finish	Code
Black	BLK	White	WHT
Aluminum	ALU	Ver	VER

Lens Type

0 - Clear (Standard)	10 - Spigot	12 - Soft Focus	13 - Fleckliner
11 - Honeycomb Gaffe			

B-K LIGHTING

43

C - PATH LIGHT, BK LITESTICK

HOLLY HUNT LIGHTING KEVIN REILLY COLLECTION



SANDS HANGING LAMP

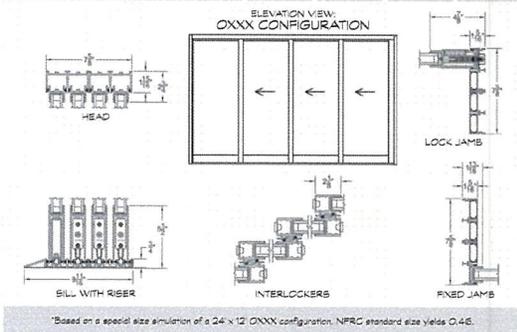
SANDA	SIZE 1	SIZE 2	SIZE 3	SIZE 4	SIZE 5	SOFT SHADE DIM.
CEILING MOUNT	12 1/2" H. 12 1/2" W.	15 1/2" H. 15 1/2" W.	18 1/2" H. 18 1/2" W.	21 1/2" H. 21 1/2" W.	24 1/2" H. 24 1/2" W.	10000 LUM. 10000 LUM.
WALL MOUNT	12 1/2" H. 12 1/2" W.	15 1/2" H. 15 1/2" W.	18 1/2" H. 18 1/2" W.	21 1/2" H. 21 1/2" W.	24 1/2" H. 24 1/2" W.	10000 LUM. 10000 LUM.

E - EXTERIOR PENDANT

NORWOOD 3070-EX
MULTI-SLIDE & POCKET DOOR



CONFIGURATIONS • Unlimited Multi-Slide, Curved, Pocket, and Corner applications.	MAX PANEL WIDTH 96"	MAX PANEL HEIGHT 162"	RISE/ING 0.16	RISE/OUT VALUE 0.29^x
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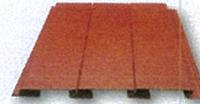
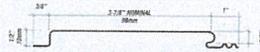
5 Made in the U.S.A.

A - FLEETWOOD MULTI-SLIDE AND POCKET DOOR

Berridge Flush Seam Panel

Soffit and facade system
 With rigid embossed texture for soft, uniform reflectivity.
 Prefinished fascia or soffit panel for open spans
 to provide flat appearance.

- Spans over open framework or solid sheathing
- Hidden fasteners
- Flat appearance
- Multi-purpose panel
- Self-venting



The rigid embossed texture of Berridge Flush Seam Panel allows it to self-ventilate for both interior wall and ceiling and exterior applications.

Berridge Manufacturing Co.

SECTION PROPERTIES BASED ON 24 GAUGE 40 K.S.I.

FLUSH SEAM PANEL	D _L (In/ft ²)	M _x (ft-lb/ft)	V _x (lb)
POSITIVE BONDING	0.01596	78.8	516
NEGATIVE BONDING	0.01323	64.8	516

RECOMMENDED LOAD IN POUNDS PER SQUARE FOOT
 Panel Weight = 1.4 p.s.f.

SPAN (feet)	SIT VERTICAL WIND LOAD			SIT VERTICAL WIND UPLIFT		
	1 SPAN	2 SPAN	3 SPAN	1 SPAN	2 SPAN	3 SPAN
2'-0"	80	80	80	80	80	80
2'-6"	83	83	83	72	60	60
3'-0"	88	72	87	68	60	60
3'-6"	25	25	25	48	68	76
4'-0"	35	42	47	77	60	54
4'-6"	17	24	26	19	41	26
5'-0"	12	17	24	12	25	26
5'-6"		29	18	24	26	26
6'-0"		17	14	19	26	26

NOTE:
 1. All loads are 1.00 unless otherwise noted. (Self-weight is included.)
 2. Wind Load Allowance (WAL) is increased by 20%.
 3. Values based on 10% suction for windward pressure.

For specific job application recommendations, please contact Berridge Technical Department 1-800-837-8127.

SPECIFICATIONS
(Refer to complete specifications from factory)

Furnish and install Berridge Flush Seam Panel as manufactured by Berridge Manufacturing Co., Houston, Texas.

MANUFACTURE:
 Panels shall be well formed in continuous lengths (maximum 40').

MATERIAL AND FINISH:
 Not available in either prefinished or Satin Finish Galvalume® (See web site: www.berridge.com)

CONSTRUCTION DETAILS
 (See web site: www.berridge.com)



B - ROOF SYSTEM

RIOS CLEMENTI HALE STUDIOS

PROJECT ID **1136**

711 N. Beverly

711 N. Beverly Drive
Beverly Hills, CA
90210

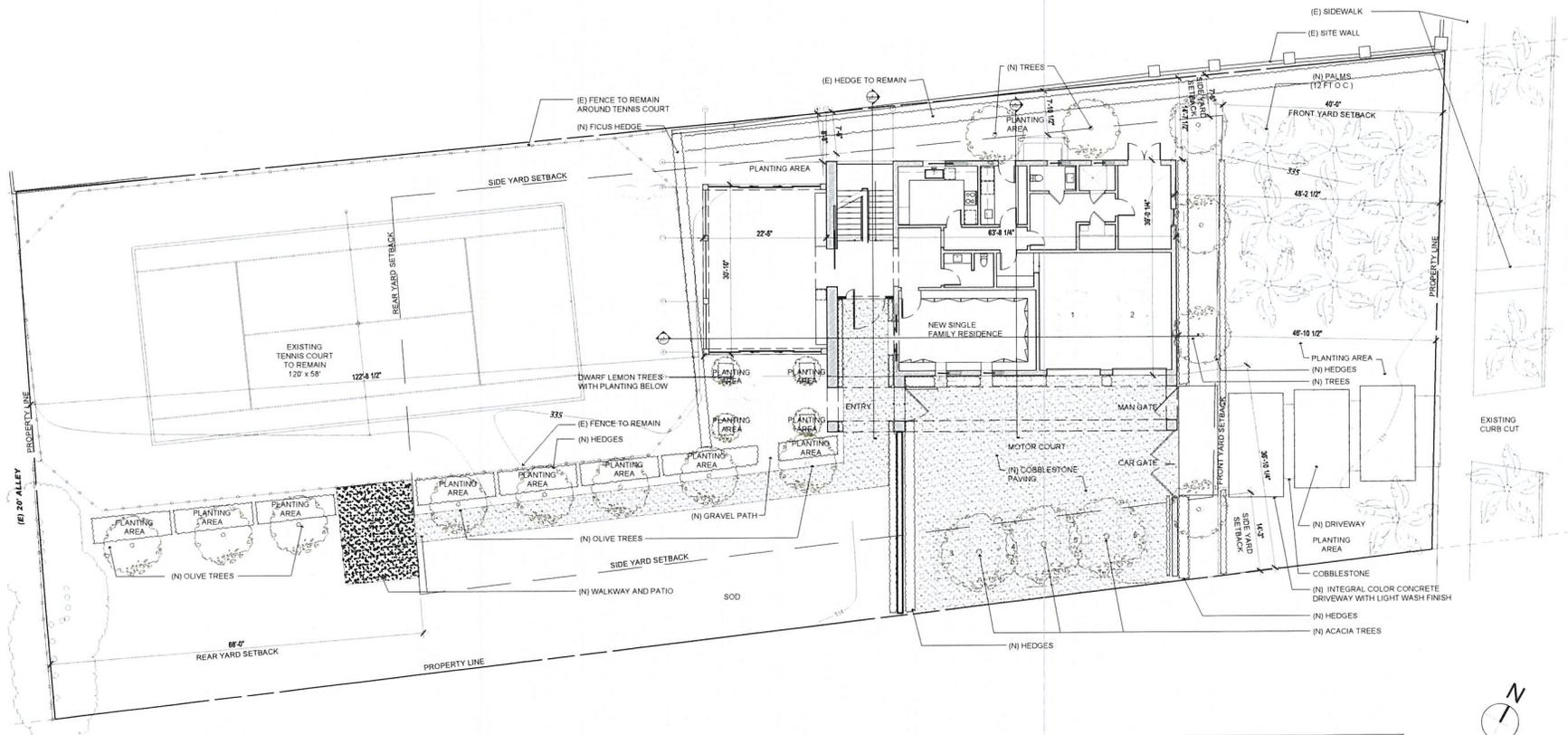
DESIGN REVIEW 23 MAY 2012

Proposed Plot Plan

July 19, 2012

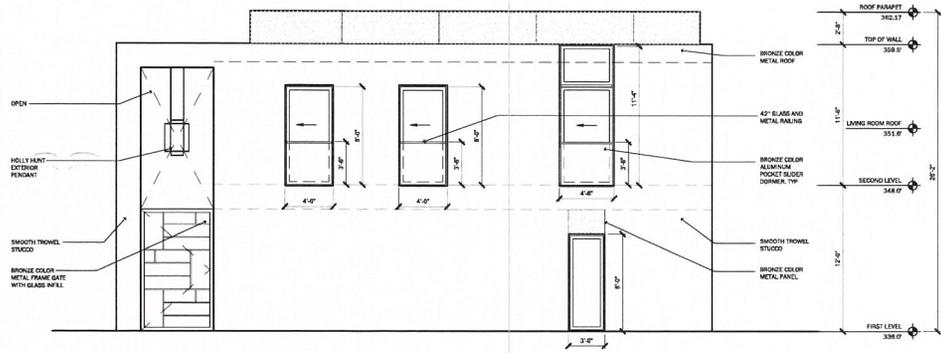
1/16" = 1'-0"

A-101

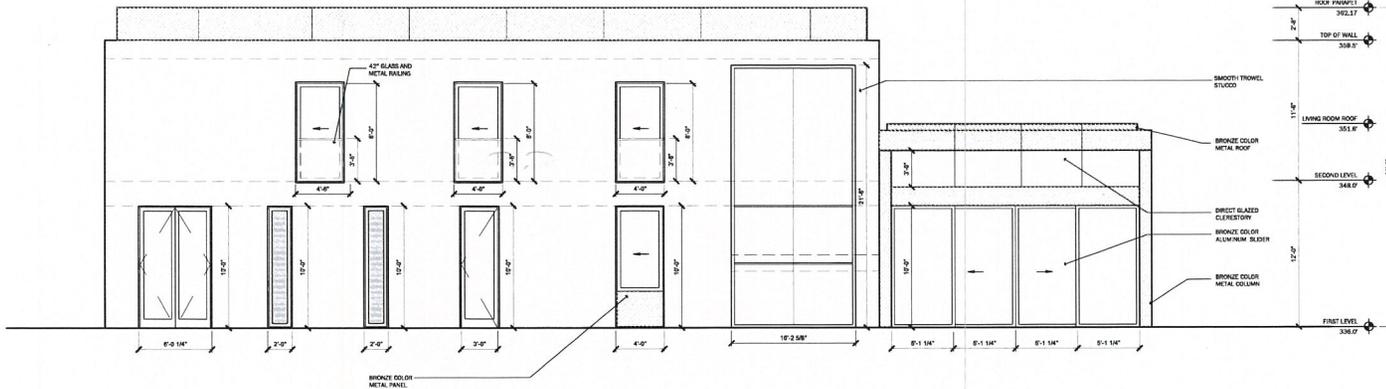


PROJECT DATA	
LOT SIZE	23,638 SF
MAXIMUM FLOOR AREA	10,955 SF (1500 + 40% OF SITE AREA(9455))
FLOOR AREA EXISTING	3,479 SF
FLOOR AREA PROPOSED	3,067 SF
FLOOR AREA REMOVED	-412 SF
PAVING EXISTING TOTAL	15,824 SF
PAVING PROPOSED TOTAL	9,721 SF (-6,103 DEMO)





EAST ELEVATION ②



NORTH ELEVATION ①

PROJECTS **1136**

711 N. Beverly

711 N. Beverly Drive
Beverly Hills, CA
90210

DESIGN REVIEW 23 MAY 2012

Exterior
Elevations

July 25, 2012

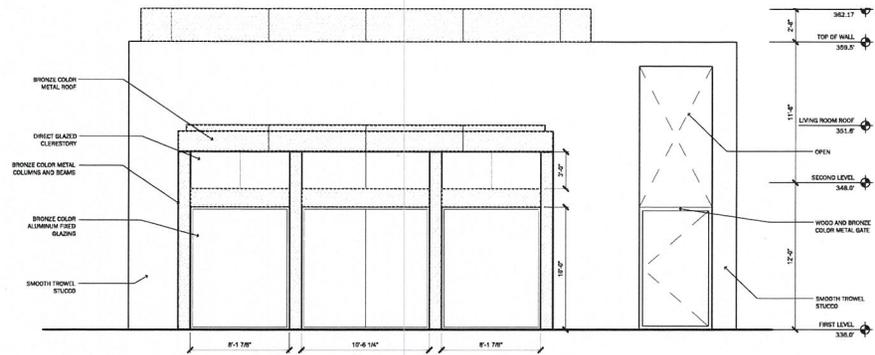
1/8" = 1'-0"

A-201

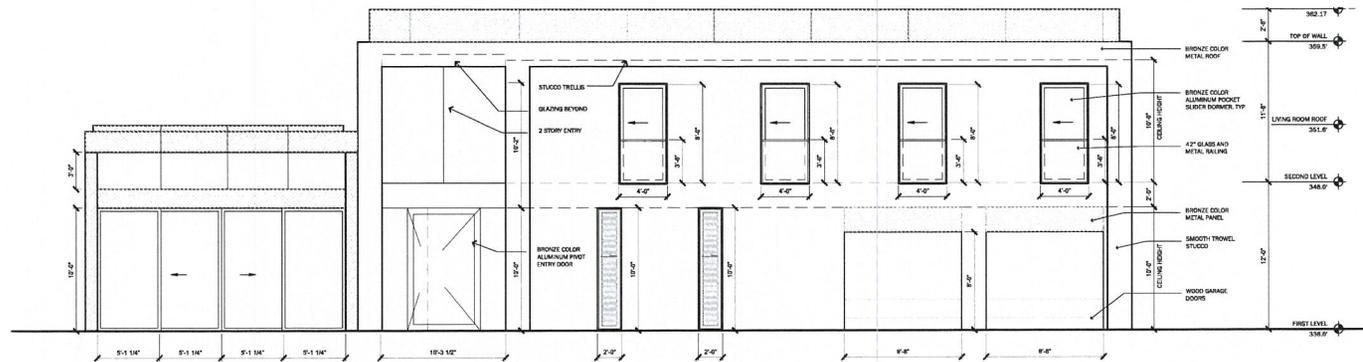
RIOS CLEMENTI HALE STUDIOS

618 N. LARCHMONT BLVD SUITE 100 LOS ANGELES, CA 90004 PH: 323.785.1100 FAX: 323.785.1101 www.riosstudios.com

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WEST ELEVATION ②



SOUTH ELEVATION ①

PROJECT ID
1136

711 N. Beverly

711 N. Beverly Drive
Beverly Hills, CA
90210

DATE DESIGN REVIEW 23 MAY 2012

Exterior
Elevations

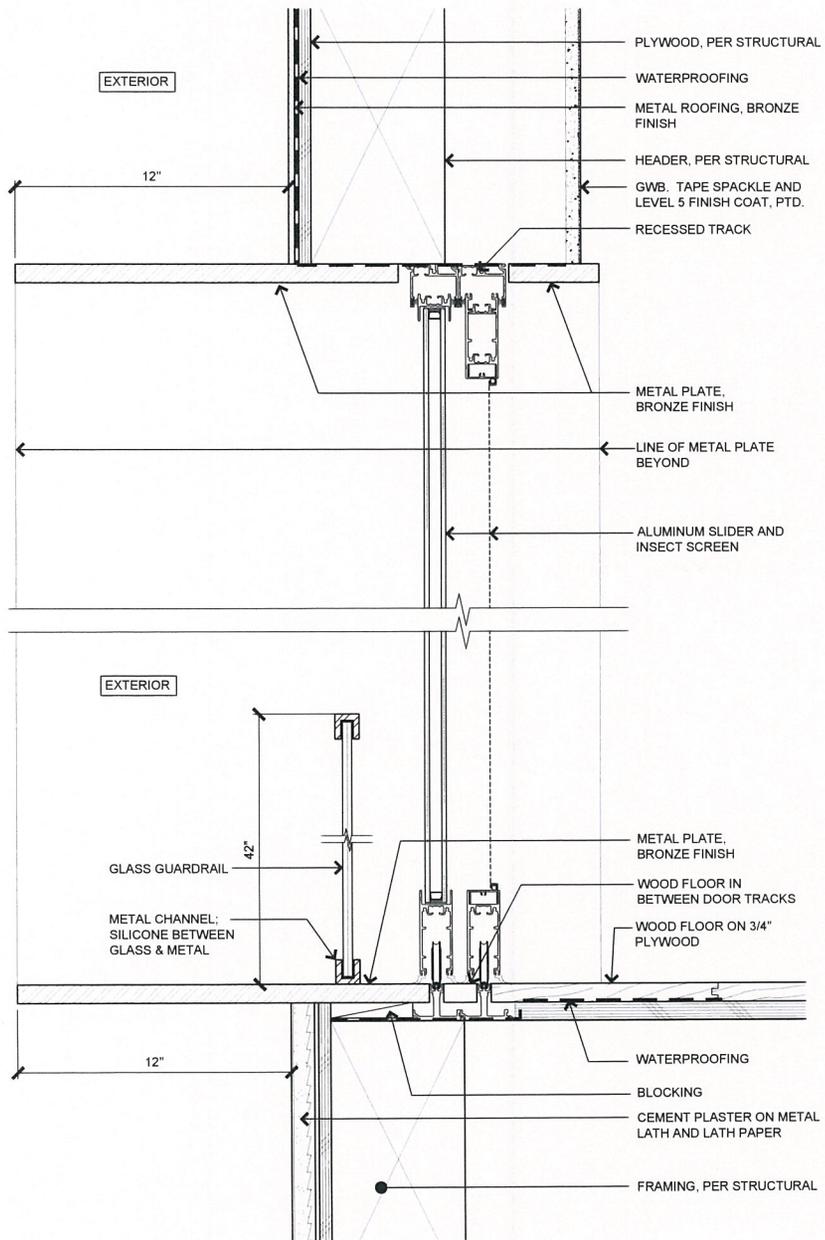
DATE July 25, 2012

SCALE 1/8" = 1'-0"

A-202

RIOS CLEMENTI HALE STUDIOS

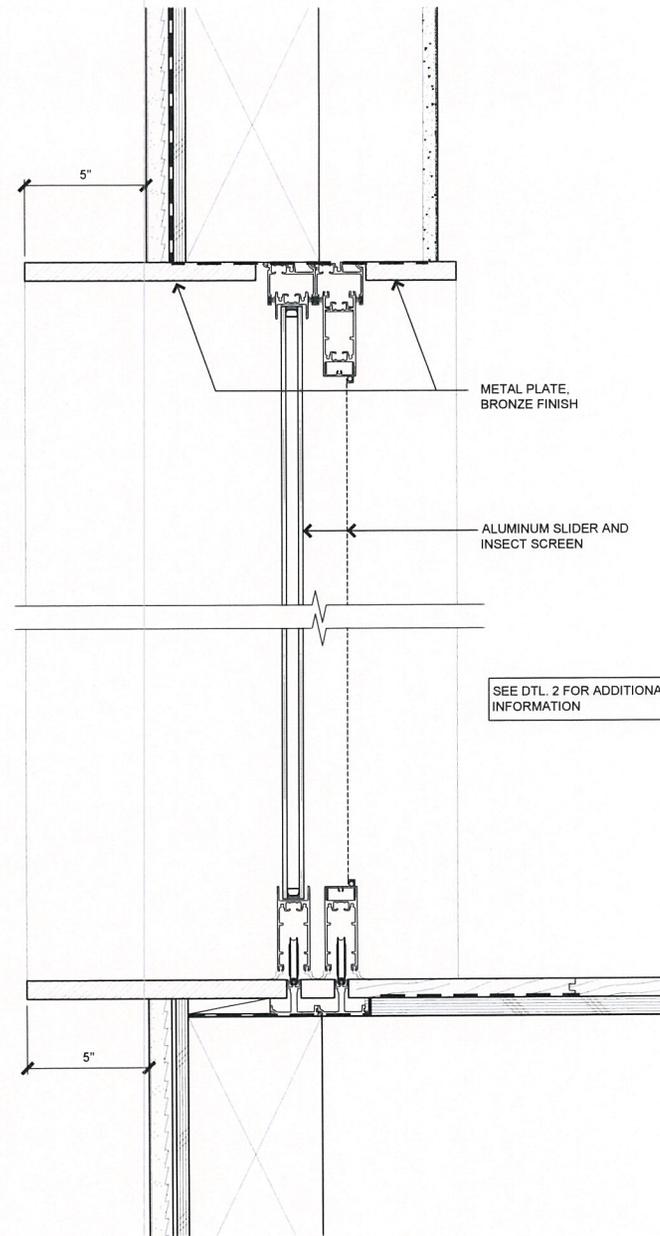
525 N. LARCHMONT BLVD SUITE 100 LOS ANGELES CA 90004 PH: 323.785.1881 FAX: 323.785.1900 WWW.RCHSTUDIO.COM



DORMER WINDOW HEAD & SILL DETAIL

SCALE: 3" = 1'-0"

2



TYPICAL WINDOW HEAD & SILL DETAIL

SCALE: 3" = 1'-0"

1

PROJECT 1136

711 N. Beverly

711 N. Beverly Drive
Beverly Hills, CA
90210

DESIGN REVIEW 23 MAY 2012

Details

3" = 1'-0"

A-701

RIOS CLEMENTI HALE STUDIOS

www.rioscl.com

PH: 310.796.1801

PH: 310.796.1800

LOS ANGELES, CA 90004

DATE: 03

CON: R. LUCASHEIM/RLD

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Design Review Commission Report

455 North Rexford Drive

August 2, 2012

Attachment D
Approval Resolution

RESOLUTION NO. DR XX-XX

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 711 NORTH BEVERLY DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Selena Linkous, applicant on behalf of the property owners, Jack Rimokh Trust (Collectively the “Applicant”), has applied for a R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 711 North Beverly Drive, and is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **August 2, 2012** at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
7. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the community development department or submit an application along with applicable fees to the development for covenant preparation and filing.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Special Conditions

10. No special conditions have been imposed for this project.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: August 2, 2012

Shena Rojemann, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, SHENA ROJEMANN, Secretary of the Design Review Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. ~~XX-XX~~ duly passed, approved, and adopted by the Design Review Commission of said City at a meeting of said Commission on August 2, 2012 and thereafter duly signed by the Secretary of the Design Review Commission, as indicated; and that the Design Review Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

SHENA ROJEMANN
Secretary to the Design Review
Commission/Associate Planner
City of Beverly Hills, California