



Design Review Commission Report

Meeting Date: Monday, July 9, 2012
(Continued from the DRC meeting on March 1, 2012)

Subject: **718 North Canon Drive (PL# 120 2375)**
A request for an R-1 Design Review Permit to allow for a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard.

Project applicant: Daryoush Safai, AIA

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting design review approval to allow for a new two-story single family residence located in the Central Area of the City. The project was previously reviewed by the Commission at its March 1, 2012 meeting. At that meeting the Commission felt the design warranted further revisions and directed for the applicant to restudy the project. The Commission provided numerous comments regarding the Neo-classical style that was proposed at that meeting and the project has since been fully redesigned. The current proposed style is Italian Renaissance Revival; however, since it does not adhere to a pure architectural style, it is before the Commission for review.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project does not require public notification as it is continued from another meeting. However, as the project has been fully re-designed, a public notice for this project was mailed Friday, June 29, 2012. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. March 1, 2012 DRC Staff Report and Rendering
- B. Revised Detailed Design Description and Materials (Applicant Prepared)
- C. Revised Design Plans, Cut Sheets & Supporting Documents
- D. Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1192
cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attachment A:

March 1, 2012 DRC Staff Report and Rendering



Design Review Commission Report

Meeting Date: Thursday, March 1, 2012

Subject: **718 North Canon Drive**

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City, north of Santa Monica Boulevard.

Project applicant: Shaw Tabanfar

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting a new two-story single-family residence located in the Central Area of the City, north of Santa Monica Boulevard. Since the project does not adhere to a pure architectural style, and has not been designed by a registered architect in the State of California, the project is before the Commission for review. The Commission may wish to discuss the overall architectural style of the proposed residence, the scale of architectural elements, and the proposed façade materials, specifically the use of foam in the moldings, trims, and columns. Additionally, while there are no building or planning regulations that would prohibit such a design, the Commission may also wish to discuss the portion of the second floor that is open to sky, with no roof, and that is surrounded by a false façade, as it is a unique element of the proposed residence.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed Friday, February 17, 2012. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets and Supporting Document

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1191

cgordon@beverlyhills.org





Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attachment B:

Revised Detailed Design Description
and Materials (Applicant Prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/civica/filebank/blobdload.asp?BlobID=3435>.
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

The Architectural Style of the proposed 2-story single family dwelling is Italian Renaissance Revival. The style is achieved by providing a very simple facade; less ornate architectural elements such as wood corbels smooth finish earth tone color precast elements for cornice, window sills, lintels columns, pilasters and balusters; projection of the eaves; tall and narrow windows and doors; wood shutters; second story of the building is shorter than the first story. The main entry and second story is modulated. The roof has a very low pitch and clay roof tiles is used for roofing materials. The landscaping used is reminiscent of the gardens found in Italianate Villas.

C Identify the Project Zoning - City Zoning Map available online at <http://gis.beverlyhills.org/UNITEGIS/>.

- | | | |
|---|----------------------------------|---------------------------------|
| <input checked="" type="checkbox"/> R-1 | <input type="checkbox"/> R-1.5X2 | <input type="checkbox"/> R-1.8X |
| <input type="checkbox"/> R-1X | <input type="checkbox"/> R-1.6X | |
| <input type="checkbox"/> R-1.5X | <input type="checkbox"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: See Survey Lot Area (square feet): 27,110 S/F
 Adjacent Streets: Lomitas Ave., Elevado Ave, Beverly Drive

E Lot is currently developed with (check all that apply):

- | | |
|---|---|
| <input type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence |
| <input checked="" type="checkbox"/> Guest House | <input type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:			
Native:			
Urban Grove:			

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: http://www.beverlyhills.org/services/planning_division/advance_planning/default.asp)

Yes No If yes, please list Architect’s name:

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

Radius Map and Mailing Label is provided to notify adjacent neighbors.

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	32 FT.	25 FT.	30 FT.
Roof Plate Height:	31 FT.	22 FT.	26 FT.
Floor Area:	12,344 S/F	6,248 S/F	12,325 S/F
Rear Setbacks:	74.45 FT.	89 FT.	128 FT.
Side Setbacks:	S/E 9.625 FT. N/W 9.625 FT.	S/E 17'-8" N/W 11'-2"	S/E 11 FT. N/W 11 FT.
Parking Spaces:	4	3	4

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco - Exterior Wall
Texture /Finish: Smooth
Color / Transparency: X-17 Misty (Base 200)

WINDOWS (Include frame, trim, glass, metal, etc)

Material: Aluminum Clad Wood & Glass
Texture /Finish: Smooth
Color / Transparency: Bronze

DOORS (Include frame, trim, glass, metal, etc)

Material: Aluminum Clad Wood & Glass (Ext. Door); African Mahogany (Entry Door)
Texture /Finish: Smooth Finish; Grain Pattern & Wood Density
Color / Transparency: Bronze; Chestnut

PEDIMENTS

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

ROOF

Material: Two-Piece Mission Clay Tile Roofing
Texture /Finish: Clay Tile
Color / Transparency: Custom Blend of Bermuda & Standard Red (Cool Roof Rated)

CORBELS

Material: Wood
Texture /Finish: Smooth
Color / Transparency: Bronze

CHIMNEY(S)

Material: Stucco
Texture /Finish: Smooth
Color / Transparency: X-17 Misty (Base 200)

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: Pre-cast concrete
Texture /Finish: Smooth Finish
Color / Transparency: X-17 Misty (Base 200)

BALCONIES & RAILINGS

Material: Pre-cast Balusters; Wrought Iron
Texture /Finish: Smooth Finish; Smooth
Color / Transparency: X-17 Misty (Base 200) Bronze

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

DOWNSPOUTS / GUTTERS

Material: Copper
Texture /Finish: Smooth
Color / Transparency: Bronze

EXTERIOR LIGHTING

Material: Metal Bronze and Smoked Glass
Texture /Finish: Aged
Color / Transparency: Bronze

PAVED SURFACES

Material: Cobblestones with Concrete Banding
Texture /Finish: Old World
Color / Transparency: Multi color (Ashlar & Parallel)

FREESTANDING WALLS AND FENCES

Material: Pre-cast concrete
Texture /Finish: Smooth Finish
Color / Transparency: X-17 Misty (Base 200)

OTHER DESIGN ELEMENTS

Material: Pre-cast Moldings, Sills, Lintels; Shutters
Texture /Finish: Smooth Finish; Wood Shutters
Color / Transparency: X-17 Misty (Base 200) Bronze to match door & window frames

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

The proposed landscape theme is to recreate the garden feel characteristics of old Villas of Tuscany. The combinations of tall & narrow trees, evergreens, flowering trees and fruit bearing trees is used to compliment the architectural elements and style of the building as well as the landscaping of its surrounding neighbors.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development's design exhibits an internally compatible design scheme.

The architectural style of the proposed 2-story single family dwelling is Italian Renaissance Revival. The character defining features of the design are 2-stories, rectangular shape floor plan with modulation in the main facade of the building facing the street, symmetry and balance in the provisions of openings and the use of architectural elements, height of the first story is higher than the second story, second story is stepped back from the first floor building line, the use of clay tile roof with earth tone colors, smooth finish on the exterior wall with earth tone color and the use of the subtropical plant materials for landscaping. +

2. Describe how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

By regulating the size of the opening (doors & windows) without compromising the requirement of Title 24 for natural lighting and ventilation; the roof pitch is set to the minimum slope of 3:12, stepping back of the 2nd floor and front entry for facade modulation are all used to minimize the appearance of scale and mass. To enhance the garden like quality of the City, the building is setback (front yard) at 66 ft. on north and 43 ft. on south to give more space for use of Landscape area and the required parking space/garage is located at the rear of the lot.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

The proposed development will enhance the appearance of the neighborhood by using only high quality material for the building and its landscaping. The classic architectural style of the building fits the residential style provided by City of Beverly Hills and its surrounding neighborhood.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

The use of appropriate Landscaping on both side yard for screening and privacy of the both the owners and neighbors. Doors and Windows provided are of standard sizes and not large. Family outdoor activities are all situated at the rear of the house. The provided side yard setback is more than what is required to provide more space for the landscaping.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

The proposed development respects the prevailing site design patterns and characteristics of the neighborhood by using a lot of the architectural elements present in the old and new homes such as columns, pilasters, moldings, wrought iron gates, circular front drives and very lush front yard landscaping.



Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attachment C:

Revised design plans, cut sheets
and supporting elements

Revisions:

Architect:

DARYOUSH SAFAI
AIA
Architect

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Santa Monica, CA 90403
Tel: (310) 453-3333
Email: info@vsaib.com
www.arsitect.com

Architect Stamp:

Project Title:

**2 - STORY
SINGLE FAMILY
DWELLING**

718, N. CANON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

718, N. CANON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

SITE PLAN

Date : 05 / 01 / 12

Scale : 3/32" = 1'-0"

CAD : RCD

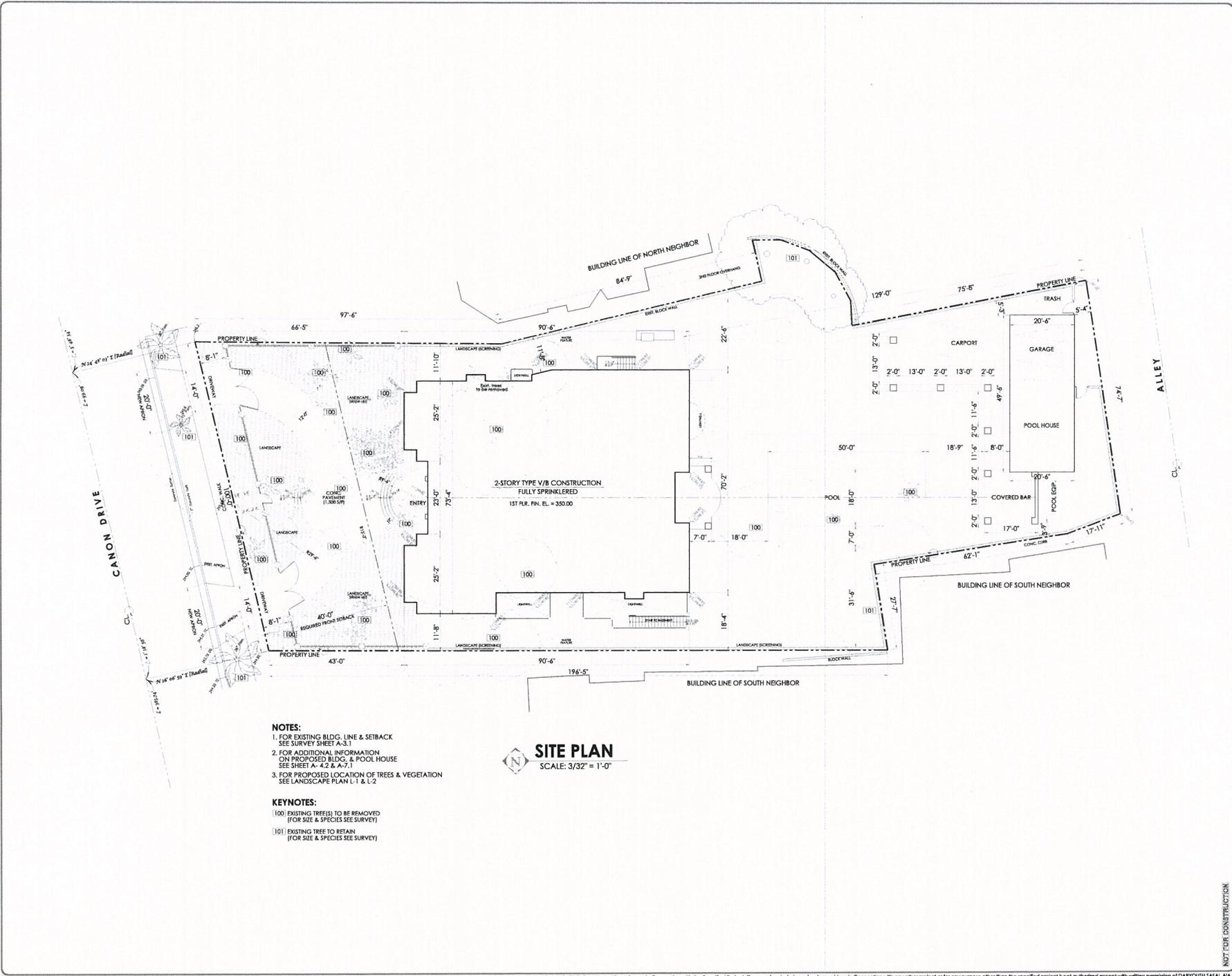
Job :

Sheet :

A-4.1

Of 0 Sheets

NOT FOR CONSTRUCTION



- NOTES:**
1. FOR EXISTING BLDG. LINE & SETBACK SEE SURVEY SHEET A-3.1
 2. FOR ADDITIONAL INFORMATION ON PROPOSED BLDG. & POOL HOUSE SEE SHEET A-4.2 & A-7.1
 3. FOR PROPOSED LOCATION OF TREES & VEGETATION SEE LANDSCAPE PLAN L-1 & L-2

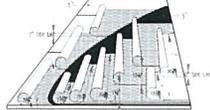
- KEYNOTES:**
- 100 EXISTING TREE(S) TO BE REMOVED (FOR SIZE & SPECIES SEE SURVEY)
 - 101 EXISTING TREE TO RETAIN (FOR SIZE & SPECIES SEE SURVEY)

SITE PLAN
SCALE: 3/32" = 1'-0"

KEYNOTES:

- 100 PROVIDE A FIRE LOUVER AT WALL (12' X 12')
- 101 GUTTERLINE
- 102 EAVE MOULDING LINE
- 103 SUN TUNNEL SKYLIGHT
- 104 ROOF ACCESS
- 105 A/C UNIT
- 106 SEE SECTION
- 107 ATTIC VENTILATION LOUVER AT WALL (12' X 12')

ROOFING SPECIFICATION
FIVE (5) PLY BUILT-UP ROOFING SYSTEM
 FOR USE OVER PLYWOOD OR OTHER UNPAVABLE DECKS.
 ALL FOUR COATINGS AND COATING SHALL BE APPLIED TO CHAPTER 15, BUILDING CODE 2022 LADC.



NOTES:
 THE ABOVE ROOFING SYSTEM IS DESIGNED UP TO 20' CLEAR HEIGHT FROM THE FINISHED FINISH FLOOR OF THE FIRST FLOOR OF GENERAL OCCUPANCY. THE ROOFING MUST BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2022 LADC. ALL CONSTRUCTION WORK MUST COMPLY WITH BUILDING CODE AND THE REQUIREMENTS OF THE MFR'S ROOFING AND WATERPROOFING MANUALS.

BY THE MANUFACTURER AND SYSTEM DESIGN SPECIFICATIONS
 SPECIFICATIONS # 10-10-10-10

REVISION	DATE	BY	REASON
1	05/01/12	AS	ISSUE FOR PERMIT
2	05/01/12	AS	ISSUE FOR PERMIT
3	05/01/12	AS	ISSUE FOR PERMIT
4	05/01/12	AS	ISSUE FOR PERMIT
5	05/01/12	AS	ISSUE FOR PERMIT

- KEYNOTES:**
- 1. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.
 - 2. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.
 - 3. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.
 - 4. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.
 - 5. ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.

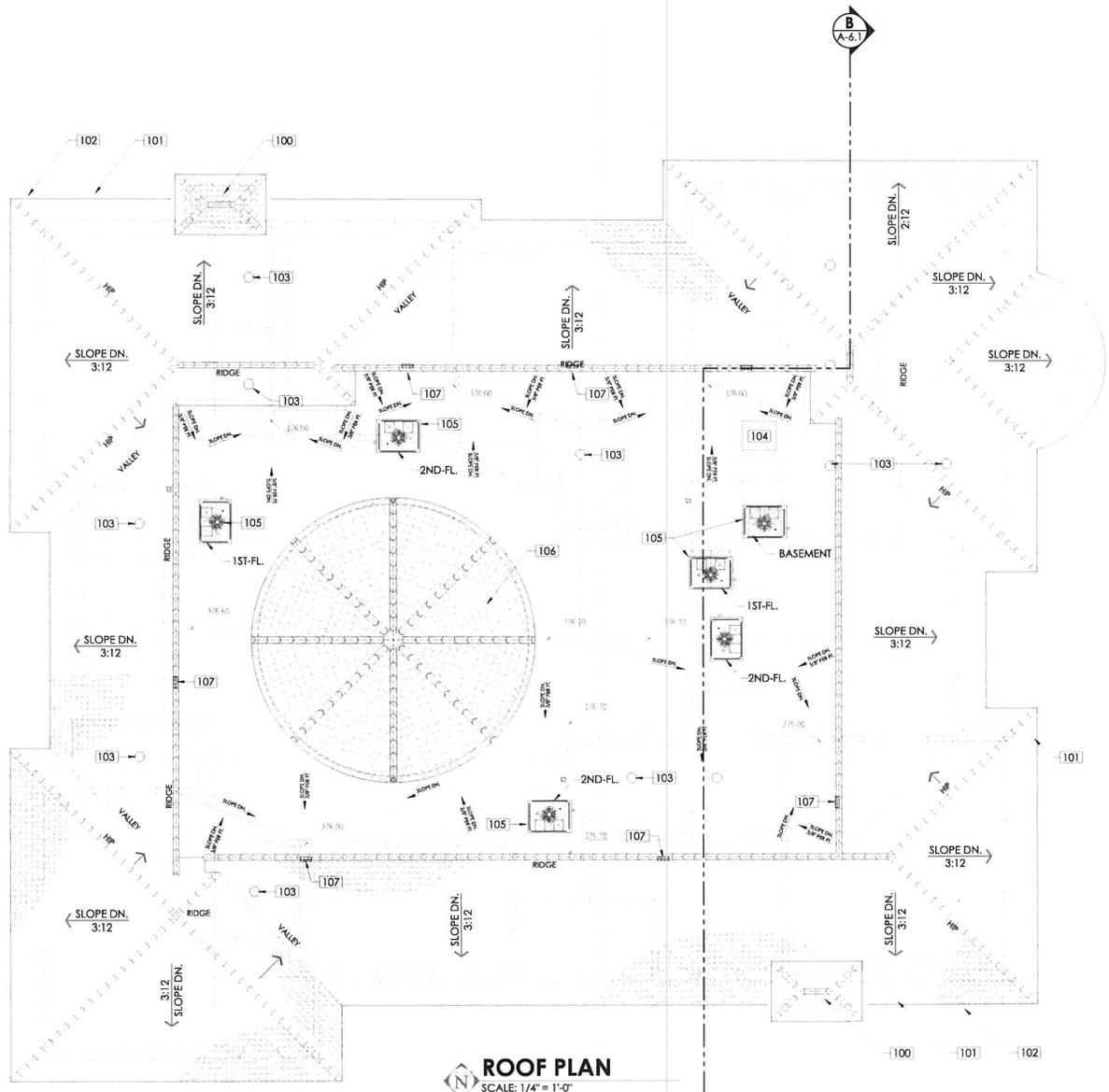
FIRE RETARDANT WATERPROOFING
 SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS. THE ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS. THE ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.

FOR MORE INFORMATION REGARDING THIS PROJECT, SEE APPLICATION AND SPECIFICATION MANUAL FOR GAR. MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S AND SYSTEM DESIGN SPECIFICATIONS.

BALCONY WATERPROOFING
FIRE RETARDANT TYPLEX # 23171

- 1. APPLY POLYURETHANE SEALANT FOR EXPANSION JOINTS AND CORNERS.
- 2. APPLY TERRAZZO FINISH.
- 3. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 4. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 5. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 6. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 7. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 8. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 9. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.
- 10. APPLY ONE COAT OF ELASTIC SEAL TO SEAL THE DECK.

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ROOF PLAN
 SCALE: 1/4" = 1'-0"

Revisions:

Architect:
DARYOUSH SAFAI
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 www.dsafai.com

Architect Stamp:

Project Title:
2 - STORY SINGLE FAMILY DWELLING

718, N. CANYON DR.
 BEVERLY HILLS, CA 90210

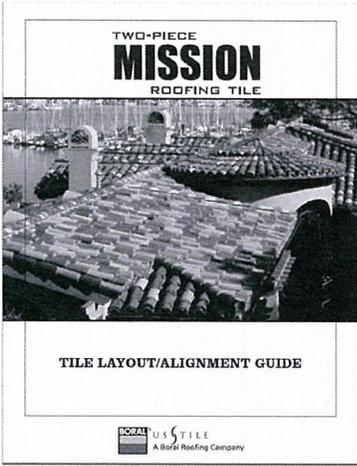
Owner:
Ephraim & Jila Shraga

718, N. CANYON DR.
 BEVERLY HILLS, CA 90210

Sheet Content:
ROOF PLAN

Date : 05 / 01 / 12
 Scale : 1/4" = 1'-0"
 CAD : ROD
 Job :
 Sheet :
A-4.5
 Of 0 Sheets

All drawings, designs, arrangements and ideas depicted herein are copyrighted and protected by the Architectural Works Copyright Protection Act of 1990, as amended and other applicable laws. They are the property of DARYOUSH SAFAI, AIA, Architect, for use in connection with the specified project. The use of such designs, drawings or ideas in connection with any other project or for any purpose other than the specified project is not authorized except with written permission of DARYOUSH SAFAI, AIA, Architect.



TILE LAYOUT/ALIGNMENT GUIDE

SORAL US TILE
A Boral Roofing Company

2-Piece Mission Tile Layout/Alignment Guide

NOMINAL WIDTH	7' 1 1/2"	APPROX. TILES PER SQ. FT. (TYPICAL) (CALCULATED)	120
NOMINAL LENGTH	10"	APPROX. HEIGHT PER TILE AT RECOMMENDED OVERLAP	1 3/8 IN.
MINIMUM OVERLAP	2"		

The Boral Advantage: We build our tiles to meet or exceed the ASTM C1103 - 14 standard for residential colored "premium" dimension. Due to this standard compliance, it is the installer's responsibility to verify the substrate surface dimensions prior to commencing with the roof work, to verify that the intended application is compatible with the product's intended purpose per its application and to allow for the tolerance zone as indicated with a minimum 2" overlap and within the maximum 10" center spacing requirement.

Notes: 1. Tiles are intended to be used in accordance with the instructions on the back of the tile. The instructions should be followed for all applications. 2. Tiles are not to be used in areas where they will be subjected to impact or other damage. 3. Tiles are not to be used in areas where they will be subjected to impact or other damage. 4. Tiles are not to be used in areas where they will be subjected to impact or other damage. 5. Tiles are not to be used in areas where they will be subjected to impact or other damage.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 1

2-Piece Mission Tile Layout/Alignment Guide

TILE LAYOUT/ALIGNMENT
The specifier or owner should properly specify and identify all application details, such as exposure, location, slope or climate, and any detail, such as detail, underlay, underlayment, etc., before an installation. Two-piece Mission Tile can be installed using a multitude of application techniques to achieve a wide variety of architectural effects.

OVERLAP SPACING
REGULATIONS ON EXPOSED LINES FOR 2-PIECE TILE
Two-piece tile is applied horizontally along the top and eave. The first pan course is determined by subtracting the overhang from the length of the tile at the eave. The first pan tile course line should then be marked and installed with a chalk line. The first tile course line is then marked and installed 2" lower from the first pan course line along the eave. From this point, the tile is applied in a staggered fashion. The pan and top tile are then applied along the roof. The remaining exposed lines are marked by measuring the distance from the first pan or top tile line along the slope to approximately 1/2" from the eave of the ridge line and installing that distance. If horizontal spacing for an 18" tile, then you must attempt to finish with a full tile along the ridge by decreasing the exposure. The pan tile will finish at the ridge line when finished with a full tile. At minimum, 2" horizontal spacing is required for both the top and pan tiles. Once all horizontal lines have been marked, snap chalk lines starting at the eave and finishing at the ridge.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 2

2-Piece Mission Tile Layout/Alignment Guide

VERTICAL ALIGNMENT
The vertical lines for an eave or rafter spacing for Two-Piece tiles are marked perpendicular to the horizontal course lines. This can be accomplished by marking the eave and ridge course lines with the positions of the vertical lines, typically the center of the two-piece tile. The pan tile deck, the lines vertical lines should be marked approximately 4" from the middle of each of the left and right side pan tiles. Measure between these two lines and divide by 12" (the minimum tile-center spacing) to determine the number of vertical lines of the needed. The tile-center spacing for distances of 10" to 14" are marked between 10" to 14" in increments of 4" from the eave end to a hip or valley, the tile-center distance should also be 12". After the vertical lines are marked along the eave as described above, snap the center spacing along the ridge perpendicular to the previous marks along the eave. Every must be taken that the vertical lines are snapped at right angles to the course lines. Vertical alignment can be checked with the use of a three-conductor's square taking the eave and by "snapping" a vertical line to the slope in an effort to determine a true 90 degree angle.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 3

2-Piece Mission Tile Layout/Alignment Guide

LEARNING GUIDE
Two-piece tile can be installed by starting from either the right or left side of the roof deck, so the starting of the tile can be done from either the right or the left to suit the installation preferences. The typical learning pattern is to start marking top and pan tiles and end by adding starting on the first course up from the eave and on the third course line in from the eave based on whichever side the installer chooses. Equal marks of top and pan are then placed on every third course line up the roof deck. As slope work, install two-piece tile using a reference line and tool.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 4

2-Piece Mission Tile Layout/Alignment Guide

STARTER TILE INSTALLATION
Secure fasteners between eaves of pan tiles along the eave. The starter-course tile is then separated into two pieces at the eave line. The 12" starter tile is placed over the smaller 2" starter piece and covered between the pan tiles.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 5

2-Piece Mission Tile Layout/Alignment Guide

FIELD TILE INSTALLATION
Once the first row of booster tiles are installed along the eave, continue on the roof deck by installing the pan tiles first and then the top tiles.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 6

2-Piece Mission Tile Layout/Alignment Guide

MANHOLE AND ROOF OVERLAP
Water benefits are to be of uniform height to maintain an even plane of the tile lines. The typical water benefit for 2-piece tile is nominal 2' x 6. Some roof slopes may require a different water benefit size.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 7

2-Piece Mission Tile Layout/Alignment Guide

US TILE REAL CLAY ROOF TILE COME WITH A TRANSFERABLE LIFETIME LIMITED WARRANTY THAT INCLUDES FADE AND LABOR COVERAGE.

US TILE'S ROOFING WARRANTY OFFERS—

- Lifetime coverage for the original owner
- Transferability to a future owner
- No prorated coverage for the entire term of the warranty
- FADE AND LABOR COVERAGE* so that your customer knows their roof will look good both now and in the future.

***See our warranty for specific details.**

COLOR
Colors depicted may vary from actual colors due to the inherent variation in natural clay production and the limitations of the lithographic printing process variations in equipment and monitor settings on the Web.

The contractor should specify actual color numbers on the order of initial color selection and once again from the delivered production run prior to roof loading and installation.

In order to avoid undesirable color patching during the installation of finished color, the shilled surface should periodically with the soft form ground level at the distance of about 50 feet and make any necessary corrections. This will help ensure that any "hot spots," color patching, streaks, or mottling in the finished roof surface will be avoided.

Acceptable blending cannot be done at the factory or on the ground, it can only be done at the product's installation.

MISSION TILE LAYOUT/ALIGNMENT GUIDE 8

Revisions:

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AIA
Architect
2512 Wilshire Boulevard, #210
Santa Monica, CA 90409
Tel: (310) 453-3333
Email: info@dsafai.com
www.dsafai.com

Architect Stamp:

Project Title:
2 - STORY SINGLE DWELLING
718 N. CANNON DR.
BEVERLY HILLS, CA 90210

Owner:
Ephraim & Jila Shraga

Sheet Content:
ROOF SPECIFICATION

Date : 05 / 01 / 12
Scale : 1/4" = 1'-0"
CAD : ROD
Job :
Sheet

A-4.5.1
Of 0 Sheets

KEYNOTES:

- 100 CHIMNEY
PROVIDE SPARK ARRESTER
- 101 LOW-PITCHED ROOF 3:12 SLOPE
CLAY ROOFING TILE
TWO-PIECE MISSION
CUSTOM BLENDS: BERMUDA BLEND, STANDARD RED
MANUFACTURED BY: USTILE
- 102 GUTTER
- 103 NON-ORNATE WOOD CORBELS
- 104 EXTERIOR STUCCO WALL
BY: LAHABRA
COLOR: X-17 MISTY (BASE 200)
FINISH: SMOOTH FINISH
FOLLOWING PRE-CAST BY: SANDSTONE DESIGNS, INC.
COLOR: X-17 MISTY (BASE 200)
FINISH: SANDSTONE/LIMESTONE TEXTURE
- 105 CORNICE
- 106 LINTELS
- 107 POST, BALUSTRADE & CAPS
- 108 RUNNING MOLDING / MOLDING
- 109 QUINS
- 110 SILL MOLDING
- 111 COLUMN
- 112 WOOD SHUTTER
- 113 DOORS & WINDOWS
BY: MAXVIN WINDOWS
COLOR (EXT.): BRONZE
FINISH: ALUMINUM CLAD WOOD
- 114 WROUGHT IRON RAILING
COLOR: BRONZE (MATCH WITH DOOR FRAME)

Revisions:

Architect:

DARYOUSH SAFAI
AIA
Architect

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Email: dsafai@verizon.net
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Architect Stamp:

Project Title:

**2 - STORY
SINGLE FAMILY
DWELLING**

716 N. CANON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

716 N. CANON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

**EAST
ELEVATION**
(rearyard)

Date : 05 / 01 / 12

Scale : 1/4" = 1'-0"

CAD : ROD

Job :

Sheet :

A-5.2

Of 0 Sheets

NOT FOR CONSTRUCTION



EAST ELEVATION (Alley)
SCALE: 1/4" = 1'-0"

KEYNOTES:

- 100 CHIMNEY
PROVIDE SPARK ARRESTER
- 101 LOW-PITCHED ROOF 3:12 SLOPE
CLAY ROOFING TILE
TWO-Piece MISSION
CUSTOM BLENDS: BERMUDA BLEND, STANDARD RED
MANUFACTURED BY: USTILE
- 102 GUTTER
- 103 NON-ORNATE CORBELS
- 104 EXTERIOR STUCCO WALL
BY: LAHARRA
COLOR: X-17 MISTY (BASE 200)
FINISH: SMOOTH FINISH
- FOLLOWING PRECAST BY: SANDSTONE DESIGNS, INC.
COLOR: X-17 MISTY (BASE 200)
FINISH: SANDSTONE/LIMESTONE TEXTURE
- 105 CORNICE
- 106 LINTELS
- 107 POST, BALUSTRADE & CAPS
- 108 RUNNING MOLDING / MOLDING
- 109 QUOINS
- 110 SILL MOLDING
- 111 COLUMN
- 112 WOOD SHUTTER
- 113 DOORS & WINDOWS
BY: HARVIN WINDOWS
COLOR (EXT.): BRONZE
FINISH: ALUMINUM CLAD WOOD
- 114 WROUGHT IRON RAILING
COLOR: BRONZE (MATCH WITH DOOR FRAME)



SOUTH ELEVATION (Sideyard)
SCALE: 1/4" = 1'-0"

Revisions:

Architect:

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Project Title:

**2 - STORY
SINGLE FAMILY
DWELLING**

718. N. CANYON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

718. N. CANYON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

**SOUTH
ELEVATION
(sideyard)**

Date : 05 / 01 / 12

Scale : 1/4" = 1'-0"

CAD : ROD

Job :

Sheet :

A-5.4

Of 0 Sheets

NOT FOR CONSTRUCTION

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	THICK	TYPE	MATERIAL	CORE	FIRE RATE	FRAME MATERIAL	GLASS	SCREEN	THRES-HOLDS	FINISH	S/L	REMARKS
1	3'-0"	10'-0"	2"	B	WOOD	S/C	---	WOOD	---	---	YES	STAIN	YES	ENTRY DOOR, PAIR
2	3'-0"	8'-0"	1 3/4"	A	WOOD	H/C	---	WOOD	---	---	---	PAINT	NO	HER & HIS POWDER RM., PANTRY
3	3'-0"	8'-0"	1 3/4"	A	WOOD	H/C	---	WOOD	---	---	---	PAINT	YES	BED ROOMS
4	2'-8"	8'-0"	1 3/4"	A	WOOD	H/C	---	WOOD	---	---	---	PAINT	YES	BATH ROOMS
5	2'-8"	8'-0"	1 3/4"	A	WOOD	H/C	---	WOOD	---	---	---	PAINT	NO	WALKING CLOSETS
6	3'-0"	8'-0"	1 3/4"	A	WOOD	H/C	20 MIN.	WOOD	---	---	---	---	---	ELEVATOR DOOR, SELF-CLOSING
7	2'-8"	8'-0"	1 3/4"	B	WOOD	H/C	---	WOOD	---	---	---	---	---	CLOSETS, PAIR
8	3'-0"	8'-0"	1 3/4"	B	WOOD	H/C	---	WOOD	---	---	---	---	---	OFFICE, PAIR
9	3'-0"	8'-0"	1 3/4"	B	WOOD	H/C	---	WOOD	---	---	---	---	---	KITCHEN, PAIR
10	3'-0"	8'-0"	---	C	WD/GLASS	---	---	WOOD	TEMP	---	---	---	---	KITCHEN, DINNING, PAIR
11	2'-0"	8'-0"	1 3/4"	B	WOOD	H/C	---	WOOD	---	---	---	---	---	CLOSET, PAIR
12	2'-8"	8'-0"	1 3/4"	A	WOOD	H/C	20 MIN.	WOOD	---	---	---	---	---	BASEMENT(ELEV. MACHINE RM.)
13	2'-8"	8'-0"	---	A	WD/GLASS	---	---	WOOD	TEMP DUAL GLAZED	---	---	---	---	BASEMENT(SAUNA)
14	3'-0"	8'-0"	---	B	GLASS	---	---	N/A	TEMP	---	---	---	---	BASEMENT(GAME RM.)
15														
16														
17														
18	3'-0"	10'-0"	---	D	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	---	YES	BRONZE	YES	1ST FLR. EXTERIOR DOORS, PAIR
19	3'-0"	10'-0"	---	C	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	---	YES	BRONZE	YES	1ST FLR. EXTERIOR DOORS
20	3'-0"	8'-0"	---	D	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	---	YES	BRONZE	YES	2ND FLR. BALCONY DOORS, PAIR
21	3'-0"	8'-0"	---	D	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	---	YES	BRONZE	YES	2ND FLR. FRONT BALCONY DOOR
22	3'-6"	8'-0"	---	C	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	YES	YES	BRONZE	YES	BASEMENT LIGHTWELLS DR'S, PAIR
23	6'-0"	8'-0"	---	E	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	YES	YES	BRONZE	YES	BASEMENT LIGHTWELLS DR'S
24	5'-0"	8'-0"	---	E	ALUMINUM CLAD WOOD	---	---	ALUMINUM CLAD WOOD	TEMP DUAL GLAZED	YES	YES	BRONZE	YES	BASEMENT LIGHTWELLS DR'S

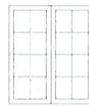
WINDOW SCHEDULE

NO	WIDTH	HEIGHT	TYPE	MATERIAL	FRAME	SCREEN	GLASS	GRILL	FINISH	REMARKS
1	6'-0"	7'-0"	A	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
2	2'-6"	7'-0"	B	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
3	6'-0"	8'-6"	C	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	NO	BRONZE
4	6'-0"	6'-6"	C	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
5	3'-0"	4'-6"	B	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
6	2'-6"	4'-6"	B	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
7	2'-6"	4'-6"	C	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
8	2'-0"	4'-6"	C	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	YES	BRONZE
9	4'-0"	2'-0"	D	ALUMINUM CLAD WOOD	ALUMINUM CLAD WOOD	---	TEMP DUAL GLAZED	---	NO	BRONZE

NOTES: 1) SHOP DRAWING IS REQUIRED
2) ALL DOORS AND WINDOWS ARE DOUBLE GLAZED



A SWING DOOR B DOUBLE SWING DOOR C SWING GLASS DOOR D DOUBLE SWING TEMP. GLASS DOOR E DOUBLE SLIDING TEMP. GLASS DOOR



A DOUBLE CASEMENT B SINGLE CASEMENT C FIXED WINDOW D SLIDING WINDOW

Revisions:

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Architect Stamp:

Project Title:

**2 - STORY
SINGLE FAMILY
DWELLING**

718, N. CANYON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

718, N. CANYON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

**DOOR & WINDOW
SCHEDULE**

Date : 05 / 01 / 12
Scale : 1/4" = 1'-0"
CAD : ROD
Job :
Sheet :

A-15

Of 0 Sheets

NOT FOR CONSTRUCTION



PHOTO NO. 1: 709 N. CANON DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 2: 708 N. CANON DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 3: 711 N. CANON DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 8: 718 N. BEVERLY DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 4: 712 N. CANON DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 7: 9640 LOMITAS AVE.
BEVERLY HILLS, CA.



PHOTO NO. 6: 715 N. CANON DRIVE
BEVERLY HILLS, CA.



PHOTO NO. 5: 713 N. CANON DRIVE
BEVERLY HILLS, CA.

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**2 - STORY
SINGLE FAMILY
DWELLING**

718 N. CANON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

718 N. CANON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

**PICTURES OF
NEIGHBORING
PROPERTIES**

Date : 05 / 01 / 12

Scale : 3/32" = 1'-0"

CAD : KOD

Job :

Sheet :

A-14.2

Of 0 Sheets



ARCHES AT BALCONYS
VILLA I COLLAZZI Giogoli, Florence



QUOINS
VILLA MANSI Segromigno, Lucca



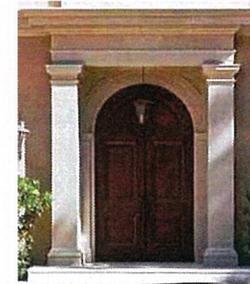
PILASTERS & BALUSTERS
VILLA MEDICI AT ARTIMINO Prato



LINTELS & MOLDINGS
VILLA OPPENHEIM - CORA Florence



718 CANON DR. BEVERLY HILLS, CA. 90210



COLUMNS AT ENTRY



WOOD SHUTTERS
VILLA BIANCHI Geggiano, Siena



CIRCULAR ENTRY COURT
VILLA CORSI Sesto Fiorentino, Florence



ENTRY STAIR
BREAKENS MANSION

Revisions:

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Project Title:

**2 - STORY
SINGLE FAMILY
DWELLING**

718 N. CANON DR.
BEVERLY HILLS, CA 90210

Owner:

**Ephraim & Jila
Shraga**

718 N. CANON DR.
BEVERLY HILLS, CA 90210

Sheet Content:

**CONCEPTS OF
ARCHITECTURAL
DESIGN
ELEMENTS**

Date : 05 / 01 / 12

Scale : 1/4" = 1'-0"

CAD : RCD

Job :

Sheet :

A-14.3

Of 0 Sheets

718 N. CANON DR. BEVERLY HILLS, CA 90210



PROPOSED PROJECT WITH LANDSCAPING



PROPOSED PROJECT WITHOUT LANDSCAPING

718 N. CANON DR. BEVERLY HILLS, CA 90210



WEST ELEVATION ALT #1



WEST ELEVATION ALT #2

718 N. CANON DR. BEVERLY HILLS, CA 90210



STREETSCAPE PHOTO MONTAGE

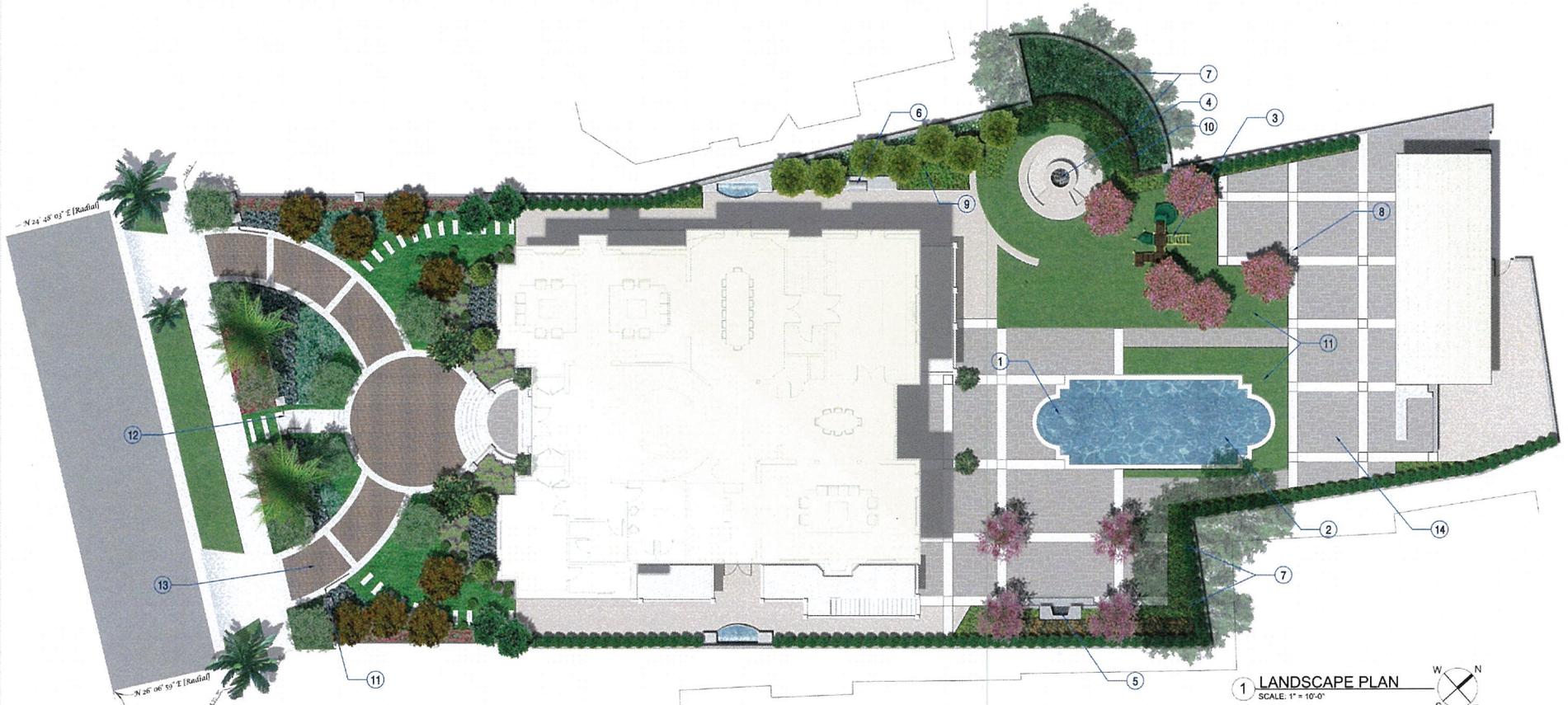
718 N. CANON DR. BEVERLY HILLS, CA 90210



BEFORE



AFTER



1 LANDSCAPE PLAN
SCALE: 1" = 10'-0"



PLANTING LEGEND

- | TREE | |
|------|--|
| | PHOENIX DALTYLIFERA
PALM TREE |
| | OR
PHOENIX CAHARENSIS
PALM TREE |
| | TABERJUIA PFE
PINK TRUMPET TREE |
| | PRUNUS SERIPLICATA 'NWANZAN'
FLOWERING CHERRY |
| | OLEA EUROPAEA SWAN HILL
OLIVE TREE |
| | PLATANUS ACERIFOLIA BLOODGOOD
LONDON PLANE TREE |
| | CUPRESSUS SEMPERVIRENS 'GLAUCA'
ITALIAN CYPRESS |
| | ARBUTUS 'MARINA'
HYBRID STRAWBERRY TREE |
| | CITRUS LEMON 'IMPROVED MEYER'
LEMON TREE |
| | CITRUS ORANGE 'KUMQUAT'
ORANGE TREE |
| | FICUS MICROCARPA NITIDA
INDIAN LAUREL FIG |
| | FRUIT TREES BY OWNER |
| | EXISTING TREES TO REMAIN |
| | EXISTING PALM TREES TO REMAIN |

SHRUB & GROUNDCOVER

- | | | | |
|--|---|--|---|
| | BUXUS JAPONICA
JAPANESE BOXWOOD (BALL SHAPE) | | TRACHELOSPERMUM JASMINOIDES
STAR JASMINE |
| | STRELITZIA REGINAE
BIRD OF PARADISE | | XYLOCOA CONGESTUM
DENSE LOGWOOD |
| | LAVANDULA ANGUSTIFOLIA
ENGLISH LAVANDER | | CAREX PRAEGRACILIS
CLUSTERED FIELD SEDGE |
| | BOUGAINVILLEA OO LA LA MONIKA
BOUGAINVILLEA | | MARATHON 2 |
| | ROSAE 'ICEBERG'
ICEBERG ROSE | | HERB & VEG GARDEN BY OWNER |
| | ROSEMARINUS OFFICINALIS HUNTINGTON CARPET
HUNTINGTON CARPET ROSEMARY | | |
| | GARDENIA AUGUSTA MYSTERY
GARDENIA | | |
| | LONICERA JAPONICA
JAPANESE HONEYSUCKLE | | |

KEYNOTES

1. SPA
2. POOL
3. PLAY AREA W/ PLAY EQUIPMENT
4. SUNKEN FIREPIT
5. FIREPLACE
6. BBQ W/ BAR
7. EXISTING TREE TO BE SAVED
8. BASKETBALL
9. HERB & VEG. GARDEN
10. DRY STONE WALL
11. PLASTER W/ FENCE
12. GATE W/ FENCE
13. COBBLE STONE W/ CONCRETE BANDING
14. PEACOCK PAVER W/ CONCRETE BANDING

Revisions	
△ 6-25-2012	△
△ 6-27-2012	△
△	△
△	△

SQL
Landscape Architects
300 W. 14th Street, Suite 100
Beverly Hills, CA 90212
Tel: 310.255.1000
www.sqla.com

718 N. CANNON DR.
BEVERLY HILLS, CA 90210

drawing title: **LANDSCAPE PLAN**

designed	project number
drawn	21219
checked	scale
revised	AS SHOWN
date	drawing number
3-06-2012	LP-1

718 N. CANON DR. BEVERLY HILLS, CA 90210



FRONT PLAN

PLANTING LEGEND

TREE

- PHOENIX DALTYLIFERA
PALM TREE
- OR
PHOENIX CANARIENSIS
PALM TREE
- TABEBUIA IFE
PINK TRUMPET TREE

- PRUNUS SERRULATA KWANZAN
FLOWERING CHERRY

- OLEA EUROPAEA 'SWAN HILL'
OLIVE TREE

- PLATANUS ACERIFOLIA 'BLOODGOOD'
LONDON PLANE TREE

- CUPRESSUS SEMPERVIRENS 'GLAUCO'
ITALIAN CYPRESS

- ARBUTUS 'MARINA'
HYBRID STRAWBERRY TREE

- CITRUS LEMON 'IMPROVED MEYER'
LEMON TREE

- CITRUS ORANGE 'KUMQUAT'
ORANGE TREE

- FICUS MICROCARPA NITIDA
INDIAN LAUREL FIG

- FRUIT TREES BY OWNER

- EXISTING TREES TO REMAIN

- EXISTING PALM TREES TO REMAIN

SHRUB & GROUNDCOVER

- BUXUS JAPONICA
JAPANESE BOXWOOD (BALL SHAPE)

- STRELITZIA REGINAE
BIRD OF PARADISE

- LAVANDULA ANGUSTIFOLIA
ENGLISH LAVANDER

- BOLGAINVILLEA OO LA LA 'MONIKA'
BOLGAINVILLEA

- ROSAS 'ICEBERG'
ICEBERG ROSE

- ROSEMARINUS OFFICINALIS 'HUNTINGTON CARPET'
HUNTINGTON CARPET ROSEMARY

- GARDENIA AUGUSTA 'MYSTERY'
GARDENIA

- LONICERA JAPONICA
JAPANESE HONEYSUCKLE

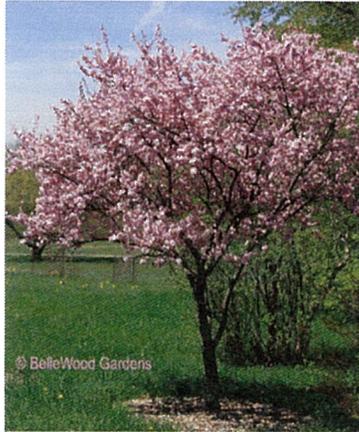
- TRACHELOSPERMUM JASMINOIDES
STAR JASMINE

- XYLISMA CONGESTUM
DENSE LOGWOOD

- CAREX PRAECURVIS
CLUSTERED FIELD SEDGE

- MARATHON 2

- HERB & VEG. GARDEN BY OWNER



PRUNUS BLEIRIANA
FLOWERING PLUM



CYPRESSUS SEMPERVIRENS 'GLAUCA'
ITALIAN CYPRESS



OLEA EUROPAEA 'SWAN HILL'
OLIVE TREE



PRUNUS SERRULATA 'KWANZAN'
FLOWERING CHERRY



CITRUS LEMON 'IMPROVED MEYER'
LEMON TREE



TABEBUIA IMPETIGINOSA
PINK TRUMPET TREE



CITRUS ORANGE 'KUMQUAT'
ORANGE TREE



ARBUTUS 'MARINA'
HYBRID STRAWBERRY TREE



PHOENIX DALTYLIFERA
PALM TREE



PHOENIX CANARLENSIS
PALM TREE



PLATANUS ACERIFOLIA 'BLOODGOOD'
LODON PLANE TREE



FICUS MICROCARPA 'NITIDA'
INDIAN LAUREL FIG



LAVANDULA AUGUSTIFOLIA
ENGLISH LAVANDER



BUXUS JAPONICA
JAPANESE BOXWOOD



LONICERA JAPONICA
JAPANESE HONEYSUCKLE



WESTRINGIA FRUTICOSA
COAST ROSEMARY



BOUGAINVILLEA OO LA LA 'MONKA'
BOUGAINVILLEA



TRACHELOSPERMUM JASMINOIDES
STAR JASMINE



CAREX PRAEGRACILIS
CLUSTERED FIELD SEDGE



GARDENIA AUGUSTA 'MYSTERY'
GARDENIA



ROSAS 'ICEBERG'
ICEBERG ROSE



ROSEMARINUS OFFICINALIS
'HUNTINGTON CARPET'
HUNTINGTON CARPET ROSEMARY



STRELITZIA REGINAE
BIRD OF PARADISE



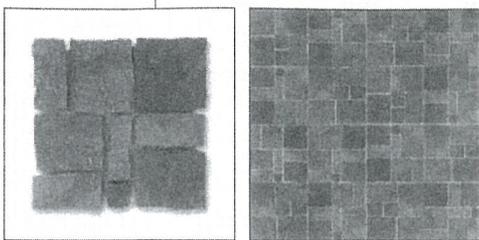
XYLOSMA CONGESTUM
DENSE LOGWOOD



BACKYARD PAVING
www.peacockpavers.com



FRONTYARD PAVING
 COBBLE STONE
 W/ CONCRETE BANDING

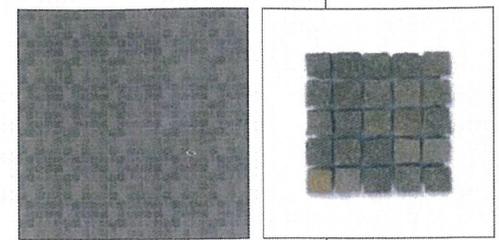


2850 - ASHLAR

- **STYLES:** Multicolor
- **UNIT SIZE:** 20" x 20"
- **THICKNESS:** 1.5"

2150 - PARALLEL

- **STYLES:** Multicolor
- **UNIT SIZE:** 20" x 20"
- **THICKNESS:** 1.5"





NAME: PRECAST
 FINISH: SANDSTONE/LIME STONE, SMOOTH
 COLOR: X-17, MISTY
 USAGE: MOLDINGS, BALUSTERS, SILLS, COLUMNS,
 CORNICES, & LINTELS.
 MANUFACTURER: SANDSTONE DESIGN INC



NAME: STUCCO
 FINISH: SMOOTH
 COLOR: X-17, MISTY
 USAGE: EXTERIOR WALLS
 MANUFACTURER: LAHABRA



718, CANON DR. BEVERLY HILLS, CA. 90210



NAME: SHUTTERS
 FINISH: WOOD
 COLOR: BRONZE
 USAGE: EXTERIOR DOORS & WINDOWS



NAME: ALUMINUM CLAD WOOD
 FINISH: SMOOTH
 COLOR: BRONZE
 USAGE: WINDOWS & EXTERIOR DOORS
 MANUFACTURER: MARVIN



NAME: FENCE RAILING
 FINISH: WROUGHT IRON
 COLOR: BRONZE
 USAGE: EXTERIOR HANDRAILING



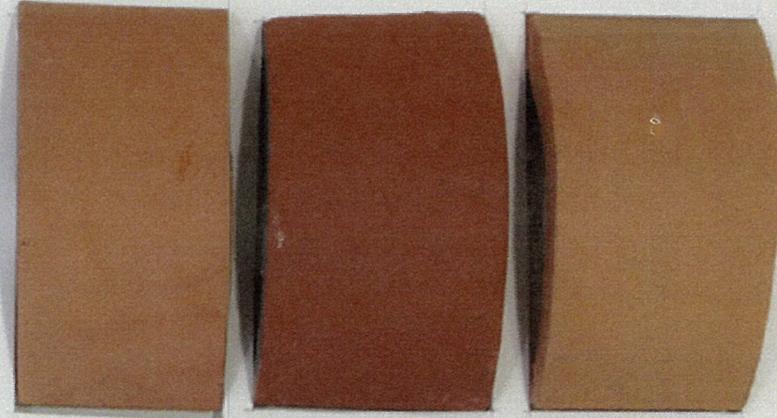
NAME: MAIN ENTRY DOOR
 FINISH: WOOD
 COLOR: DARK BROWN
 MANUFACTURER: JELDWIN



NAME: LIGHTING FIXTURE
 FINISH: METAL
 COLOR: BRONZE
 USAGE: EXTERIOR LIGHTING
 MANUFACTURER: MADE TO ORDER



718, CANON DR. BEVERLY HILLS ,CA. 90210



2-Piece Mission Tile Layout/Alignment Guide

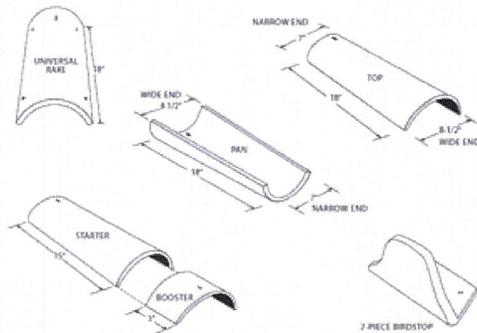


NOMINAL WIDTH*	7' - 4 1/2"	APPROX. TILES PER SQ. AT RECOMMENDED HEADLAP	172
NOMINAL LENGTH*	18"		
HEIGHT	7"		
MINIMUM HEADLAP	2"	APPROX. WEIGHT PER SQ. AT RECOMMENDED HEADLAP	1,800 lbs.

***Tile Size Disclaimer:** Kiln fired clay roof tiles are allowed, by ASTM C1782, a plus or minus 5% variance from the manufacturer's stated "nominal dimensions." Due to these allowable tolerances, it is the installer's responsibility to verify the delivered roof tile's dimensions prior to commencing with the roof layout. Be aware that the delivered roof tiles are compatible with the proposed fastening system (prior to installation and 60 days) that the installed tiles are installed with a maximum 2" headlap and within the maximum on-center spacing requirements.

Notice: U.S. Tile Co. clay roofing tiles shall be installed in accordance with the Concrete and Clay Roof Tile Installation Manual for Moisture Climate Regions (CCRC) 1-5, 2019 published by the Tile Roofing Industry (TRI). THIS GUIDE IS PROVIDED TO ASSIST THE ROOFING CONTRACTOR WITH ONLY THE ALIGNMENT ASPECT OF THE ROOFING TILES THEMSELVES. ALWAYS WITH BASIC PICTORIAL REPRESENTATIONS OF OUR PRODUCTS FOR ARCHITECTS AND BUILDERS. Where plans specify about any of the ASPECTS OF THIS GUIDE, please refer to the TRI Installation Manual for clarification BEFORE COMMENCING WITH INSTALLATION.

Disclaimer: This alignment guide is being furnished as general information to users of US Tile products. US Tile is only the manufacturer of clay roofing tiles. The installation of the roofing tiles is the responsibility of the roofing contractor and must be performed in accordance with prevailing building code requirements. In some instances, a licensed engineer must also approve the roofing tile installation. Accordingly, US Tile makes no representation or warranty of any type regarding (1) the effectiveness of any particular method of installation, (2) the accuracy of the information contained herein, or (3) the suitability of its materials for any particular application.



MISSION
Clay Roofing Tile

Cool Roof

"US Tile, a Rural Roofing Company, offers the deepest, most vibrant CCRC 1-5 Cool Roof colors of any manufacturer in the nation, without the use of paints, dyes or special overglazes."



Why You Want a US Tile Cool Roof

1. **Lower Utility Bills:** PORE inside a typical home will experience a reduction of 15% to 20% in an air conditioning energy consumption.
2. **Lower Energy Costs:** Using Pore Inside US Tile, a Rural Roofing Company Cool Roof products will help you save on high energy costs during peak "time of use" periods.
3. **Cool Roof Reflects:** US Tile Cool Roof products qualify for IRMA and SDC Cool Roof Rating Programs that can reduce your air conditioning bills by 10%.
4. **A Longer-Lasting Roof:** US Tile Cool Roof tiles are made with a special polymer matrix that helps them last longer.

What Makes a Cool Roof a Cool Roof?

Cool Roofs don't "heat up" like other types of roofs. That's because Cool Roofs have been prepared from special materials that help them reflect the sun better and absorb heat more efficiently.

1. **High Solar Reflectance:** The ability to reflect solar energy rather than absorb that energy to heat. Asphaltic tiles US Tile Cool Roof tiles reflect up to 65% of the sun's solar energy. By comparison, asphaltic tiles reflect less than 10% of the sun's energy.
2. **High Thermal Emittance:** Cool Roofs have the ability to give off heat rather than absorb and hold it. US Tile Cool Roof tiles perform better than most products on the market today and have a thermal emittance of up to 90%.

Additional Benefits of a US Tile Clay Roof versus other Non-Clay Products

1. **Healthier:** US Tile Cool Roof products reduce 20% less indoor heat pollution than standard building products, helping to reduce indoor air pollution and reduce stress on your home's heating systems, increasing energy efficiency.
2. **Concrete Made Better:** US Tile Cool Roof products absorb less heat and increase the heat factor than asphalt shingles and contribute to the greater energy efficiency.

Cool Roof Rating Council Approved US Tile Colors

Color	Reflectivity	Emittance	SR	Pre-Consumer Recycled Content
Red	0.42	0.80	88	50%
Wine/Red	0.50	0.80	91	49%
Fire Pink	0.30	0.80	83	49%

NAME: CLAY ROOFING TILE
FINISH: TWO-PIECE MISSION
COLOR: CUSTOM BLEND (BERMUDA & STANDARD RED)
USAGE: ROOF
MANUFACTURER: US TILE





Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attachment D:
Approval Resolution

RESOLUTION NO. DR XX-XX

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 718 NORTH CANON DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Daryoush Safai, AIA, applicant on behalf of the property owners, Ephraim & Jila Shraga (Collectively the "Applicant"), has applied for a R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 718 North Canon Drive, and is located in the city's Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city's Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city's local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on July 9, 2012 at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
7. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the community development department or submit an application along with applicable fees to the development for covenant preparation and filing.
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Special Conditions

10. No special conditions have been imposed for this project.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: July 9, 2012

Shena Rojemann, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, SHENA ROJEMANN, Secretary of the Design Review Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. ~~XX-XX~~ duly passed, approved, and adopted by the Design Review Commission of said City at a meeting of said Commission on July 9, 2012 and thereafter duly signed by the Secretary of the Design Review Commission, as indicated; and that the Design Review Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

SHENA ROJEMANN
Secretary to the Design Review
Commission/Associate Planner
City of Beverly Hills, California