



Design Review Commission Report

Meeting Date: Thursday, December 1, 2011

Subject: 625 N Elm Drive

A request for an R-1 Design Review Permit to allow a façade remodel of an existing two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard (PL1125974).

Project applicant: Hamid Omrani, Omrani Group – Project Designer

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

This project came before the Commission as a remodel to an existing two-story single-family residence at the October 6, 2011 meeting. At that meeting, the Commission directed for the project to return for restudy (see the Commission comments in Attachment A). The project is now returning before the Commission and while changes have been made to modify the architectural style and to address the Commission's concerns, staff still has concerns with the overall design of the project. The Commission may want to discuss the lack of architectural style and lack of modification from the original design.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project does not require public notification as it is continued from another meeting; however, a mailing was sent out to all residents and occupants within 100' of the project site.

Attachment(s):

- A. Staff Report and DRC's Comments from the October 6, 2011 meeting
- B. Proposed Rendering from October 6, 2011 Meeting
- C. Design Plans, Cut Sheets & Supporting Documents
- D. Project Application
- E. DRAFT Approval Resolution
- F. DRAFT Denial Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1191
cgordon@beverlyhills.org



Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached A:

Staff Report and DRC's Comments
from the October 6, 2011 meeting



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Thursday, October 6, 2011

Subject: **625 North Elm Drive**
A request for an R-1 Design Review Permit to allow a façade remodel of an existing two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard at **625 North Elm Drive**.

Project applicant: Hamid Omrani, Omrani Group – project designer

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant requests approval to remodel the façade of an existing two-story single-family residence located in the Central Area of the City. Please see the attached documents which include the project design description, materials and plans in addition to draft resolutions of approval and denial for the Commission's consideration.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed Tuesday, September 27, 2011. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. DRAFT Approval Resolution
- C. DRAFT Denial Resolution
- D. Design Plans, Cut Sheets & Supporting Documents

Report Author and Contact Information:

Shena Rojemann, Associate Planner
(310) 285-1192

sroiemann@beverlyhills.org



Design Review Commission Comments August 4, 2011 Meeting	Applicant's Response
1. The project does not contain a style of architecture and lacks character and flavor. Explore architectural styles and details that relate to one another. Consider a style of architecture that suites the roof style.	1. The applicant has made modifications to the design and added some French detailing with "eyebrow" window treatments at the second floor. However, overall, the project does not contain a style of architecture.
2. The entry design is out of proportion with the rest of the residence – it's too heavy and needs to be redesigned. The entry design does not relate to other elements in the design and appears to be stuck on the front of the residence. Consider further recessing the entry.	2. The applicant has refined the entry and removed the concrete molding. The applicant did not further recess the entry.
3. The entry door/materials should fit with the style of the residence.	3. The applicant did not provide new entry door/material information.
4. The central tower element is not working and needs further refinement.	4. The applicant has reduced the width of the central tower element and has also reduced the number of windows from three to one. The applicant also shortened the second-story roof line so as not to project into the central tower element.
5. The design contains too many horizontal planes – needs a strong vertical oriented element.	5. The applicant has removed the horizontal window moldings above the windows and from below the window on the central tower element. Arched window moldings have been added above the two second-story windows and above the one window on the central tower element. The applicant has also removed the entry molding with horizontal lines and the second-story roof line has been shorted so as not to project into the central tower element.
6. The design needs to have a focal point.	6. The applicant has made modifications to the design of the project but has not provided a focal point for the façade.
7. The arches in the design are inconsistent throughout the façade.	7. The applicant has modified the curve of the arches and has modified the two second-story windows to be arched windows.
8. If maintaining the current roof, consider redesigning the moldings so that they don't contain ledges.	8. The applicant has removed the corbels from beneath the roof ledge.



Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached B:

Proposed Rendering from October 6, 2011 Meeting



Design Review
Commission

October 6, 2011

625 North Elm Drive



Proposed 10/6/2011



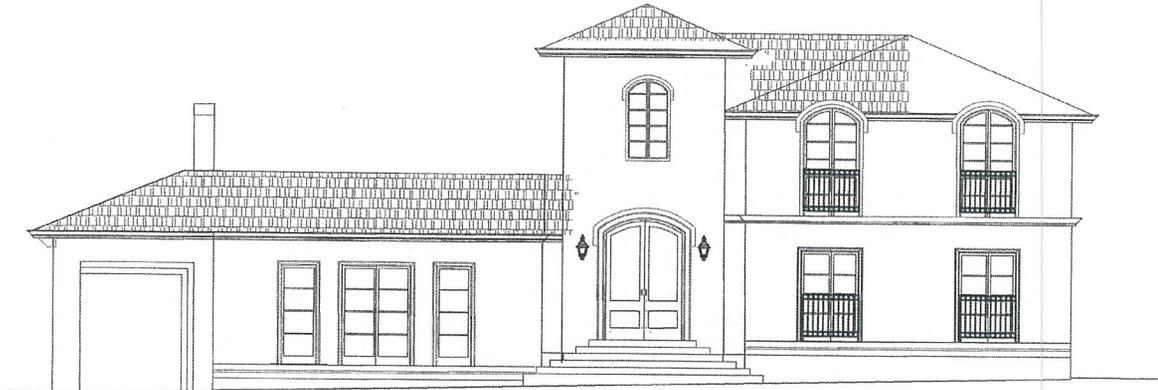
Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached C:

Design plans, cut sheets
and supporting elements



TWO-STORY SINGLE FAMILY DWELLING
625 N. ELM DRIVE, BEVERLY HILLS, CA 90210

SHEET INDEX

SP.01	TOPOGRAPHIC SURVEY
LP.01	LANDSCAPE PLAN
T1.01	TITLE SHEET INDEX AND PROJECT INFORMATION
A1.01	GENERAL NOTES
A2.01	SITE PLAN
A3.01	(E) & DEMO GROUND FLOOR PLAN
A4.01	(E) & DEMO SECOND FLOOR PLAN
A5.01	(E) & DEMO ROOF PLAN
A6.01	(E) EAST & WEST ELEVATIONS
A7.01	(E) NORTH & ELEVATIONS
A9.01	(N) GROUND FLOOR PLAN
A10.01	(N) SECOND FLOOR PLAN
A11.01	(N) ROOF PLAN
A12.01	(N) EAST & SOUTH ELEVATIONS
A13.01	(N) WEST & NORTH ELEVATIONS
A14.01	(N) SECTION 'A-A'
A15.01	AREA CALCULATION
A16.01	OND & 2ND FLOOR AREAS



OMRANI GROUP INC.

TEL : (310) 560-6161
omranikemil@aol.com

OWNER: MR. & MRS PARTIELI

PROJECT ADDRESS: TWO-STORY SINGLE FAMILY DWELLING 625 N. ELM DRIVE BEVERLY HILLS, CA 90210

DATA & SHEET INDEX

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: SEP 22, 2011
JOB NUMBER:
SHEET:

T-1.01

OF SHEETS

PROJECT DIRECTORY

DESIGNER:
NAME : OMRANI GROUP, INC.
ADD :
TEL # : (310)560-6161
E-MAIL : omranikemil@aol.com

STRUCTURAL ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

SURVEYOR:
NAME : C.D.S.
ADD : 7847 FLORENCE AVE. DOWNEY, CA 90240
TEL # : (562)760-6040 FAX # : (562)760-8481
E-MAIL : cdseng@yahoo.com/www.cdscosultinggroup.net

ELECTRICAL ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

SOIL ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

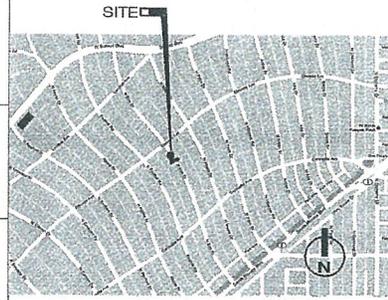
PLUMBING ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

LANDSCAPE ARCHITECT/DESIGNER:
NAME : STEVE HUG
ADD : 19162-1 INDER ST., NORTHBRIDGE, CA 91326
TEL # : 818-360-7206
E-MAIL :

MECHANICAL ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

CIVIL ENGINEER:
NAME :
ADD :
TEL # :
E-MAIL :

VICINITY MAP



625 N. ELM DR., B. H., CA 90210

PROJECT INFORMATION

SITE ADDRESS 625 N. ELM DRIVE, BEVERLY HILLS, CA. 90210

OWNER Mr. & Mrs. BEHNAM & MRS. BITA PARTIELI

PROJECT DESCRIPTION NEW 2-STORY REMODEL + ADDITION SINGLE FAMILY DWELLING

LEGAL DESCRIPTION LOT 20, TRACT BEVERLY HILLS, APN 4341-021-020

BUILDING CODE ZONE 2010 CA. BUILDING CODE/CITY OF BEVERLY HILLS AMENDMENTS CENTRAL R1

MAX. ALLOWABLE HEIGHT 28.00' HT. FROM AVE. NGL

MAX. PROPOSED HEIGHT 21'

REQUIRED FRONT SETBACK 40'-0"

PROPOSED FRONT SETBACK 40'-0"

REQUIRED REAR SETBACK 30% DEPTH - 9'-30"X(16136+1642) X 5-9-39.834'

PROPOSED REAR SETBACK 16'-0"

REQUIRED SIDE YARDS + TOTAL FRONT WIDTH - 10' (MIN. 15' EACH SIDE)

PROPOSED SIDEYARDS + (84.99+80.86+80.5-10+12.95) NORTH SIDE + PROPOSED 15' (EXISTING = 5')

SOUTH SIDE + PROPOSED 15' (EXISTING = 15')

TOTAL SIDEYARD = PROPOSED 15-15 = 22.5'

NO. OF BEDROOMS 3-BEDROOMS

REG. NO. OF PARKING 3-STALL

PROPOSED NO. OF PARKING 3-STALL

LOT SIZE 13,492.52 SF (80'x160') (SURVEY MAP)

ALLOWABLE BUILDING AREA 13,492.52 X 40% = 5000 SQ. FT. + 6,891 SQ. FT.

EXISTING BUILDING AREA

EXISTING FIRST FLOOR (MAIN HOUSE) 2,868.12 SQ. FT. 60 FT.

EXISTING GUEST HOUSE 633.70 SQ. FT.

EXISTING 2ND FLOOR 1,393.58 SQ. FT.

TOTAL = 4,895.40 SQ. FT.

EXISTING GARAGE 448.70 SQ. FT.

PROPOSED BUILDING AREA

PROP. FIRST FLOOR (MAIN HOUSE) 3,148.71 SQ. FT.

EXISTING GUEST HOUSE 633.70 SQ. FT.

PROPOSED 2ND FLOOR 16,350.00 SQ. FT.

TOTAL = 5,421.51 SQ. FT.

EXISTING GARAGE 448.70 SQ. FT.

SCOPE OF WORK

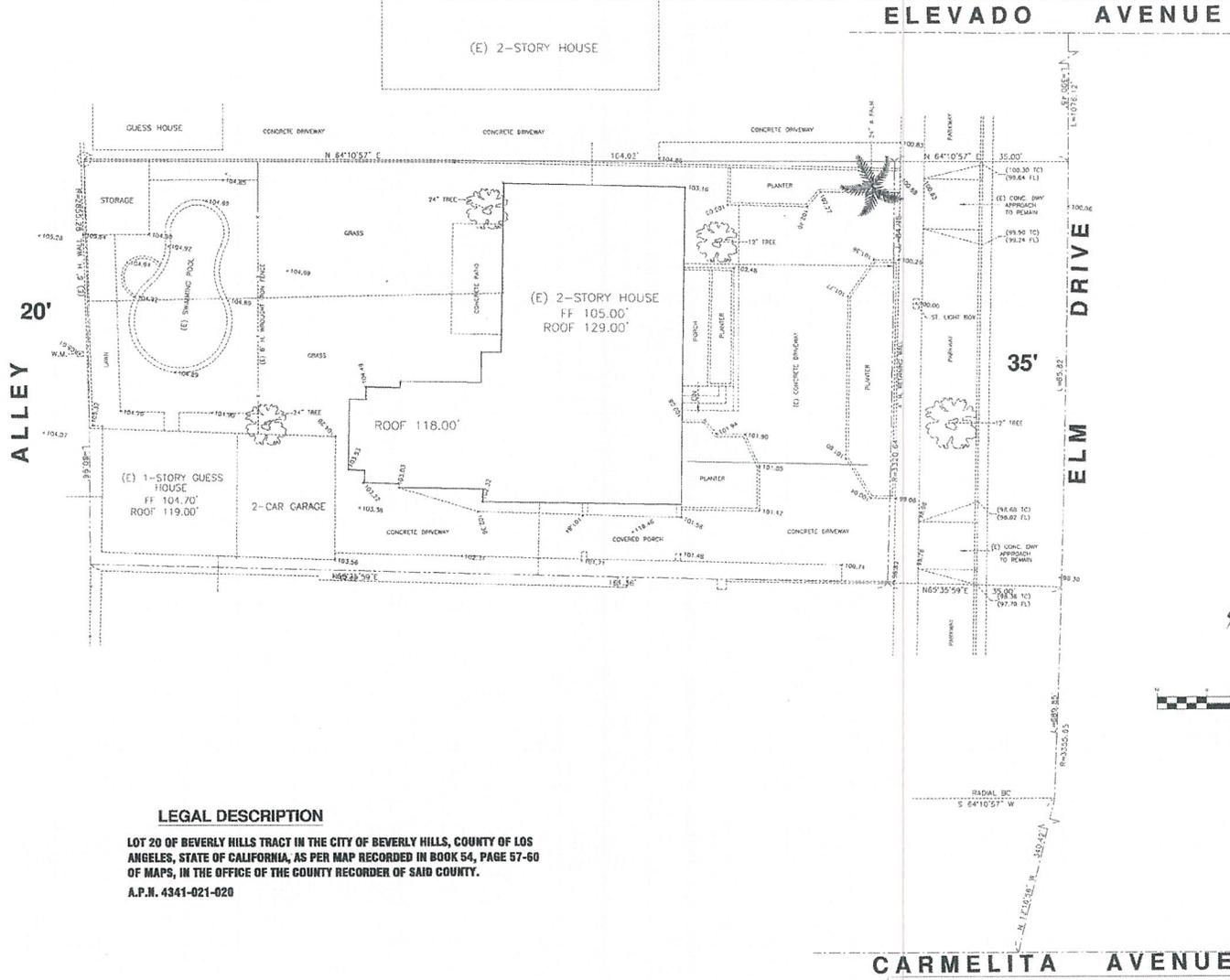
REMODELING AND ADDITION OF 779.71 SQ. FT. TO (E) SINGLE FAMILY DWELING











LEGEND

- TC TOP OF CURB
- FL FLOWLINE
- TVC TOP OF V-GUTTER
- FF FINISH FLOOR
- PAO PAO ELEVATION
- PE PLANTING AREA
- FS FINISH SURFACE
- FG FINISH GRADE
- CONC. CONCRETE
- H. HIGH
- BW BACK OF WALK
- T.B.R. TO BE REMOVE
- (E) EXIST
- FD FOUND
- EXISTING STRUCTURE
- PROPOSED STRUCTURE
- (+ 105.50) EXISTING ELEVATION
- 105.50 PROPOSED ELEVATION
- CENTERLINE
- PROPERTY LINE
- WATER LINE
- SEWER LINE

LEGAL DESCRIPTION

LOT 20 OF BEVERLY HILLS TRACT IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 54, PAGE 57-60 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
A.P.N. 4341-021-020

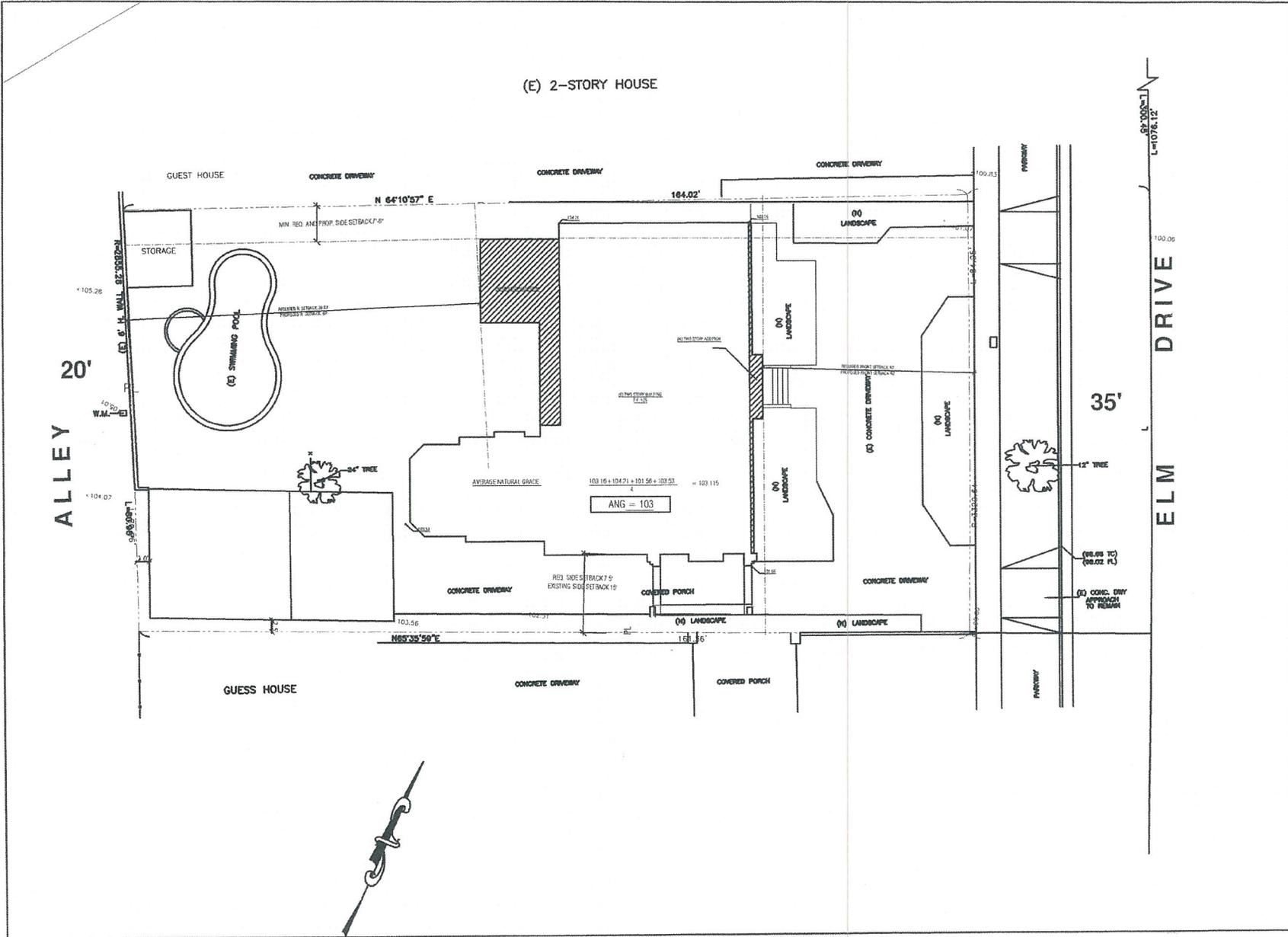
Underground Service Alert
of Southern California
CALL BEFORE YOU DIG
CALL: TOLL FREE
1-800-227-2000
The Working Days Before You Dig

PREPARED BY: **C D S**
CIVIL DESIGN SURVEYING
7847 FLORENCE AVENUE SUITE 128
DOWNEY, CA 90240
(562) 760-6040 TEL
(562) 806-0491 FAX
EMAIL: cdsv@cdsv.com
WWW.CDSVGROUP.COM

CIVIL ENGINEER
ENGINEER: PETER A. QUENTIN RCE 32085 Date
EXP. 12-31-10

BOUNDARY SURVEY AND TOPOGRAPHIC MAP
SITE ADDRESS: 625 N. ELM DRIVE
BEVERLY HILLS, CA 90210
SCALE: 1"=10' DRAWN BY: JV CHECKED BY: JV/PAO
COUNTY OF BEVERLY HILLS

JOB NO:
DATE:
SHEET 1 OF 1



(E) 2-STORY HOUSE

ALLEY
20'

ELM DRIVE
35'

OMRANI GROUP INC.
TEL. - (310) 550-6161
omranihome@aol.com

OWNER/ARCHITECT:
MR. & MRS PARTIELI

PROPERTY ADDRESS:
TWO-STORY SINGLE FAMILY DWELLING
625 N. ELM DRIVE
BEVERLY HILLS, CA 90210

REVISIONS

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: SEP. 23, 2011
JOB NUMBER:
SHEET
A-2.01
OF SHEETS



OMRANI GROUP INC.

TEL.: (310) 560-6161
omranithamidi@aol.com

CONSULTANT:
MR. & MRS PARTIELL

PROJECT ADDRESS:
TWO-STORY SINGLE FAMILY DWELLING
623 N. ELM DRIVE
BEVERLY HILLS, CA 90210

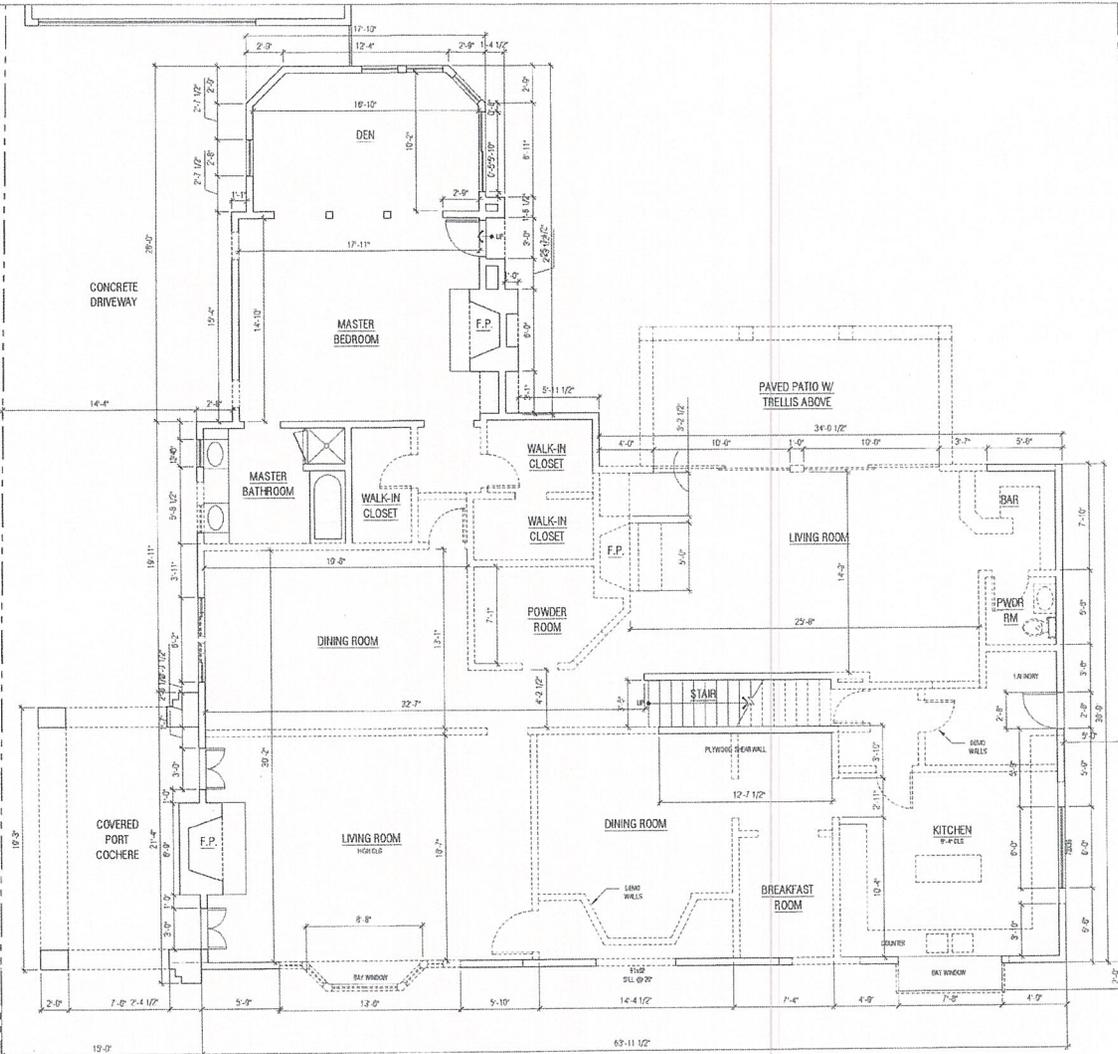
SHEET TITLE:
(E) & DEMO 1ST. FLOOR PLAN

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: 07.22.2011
JOB NUMBER:
SHEET

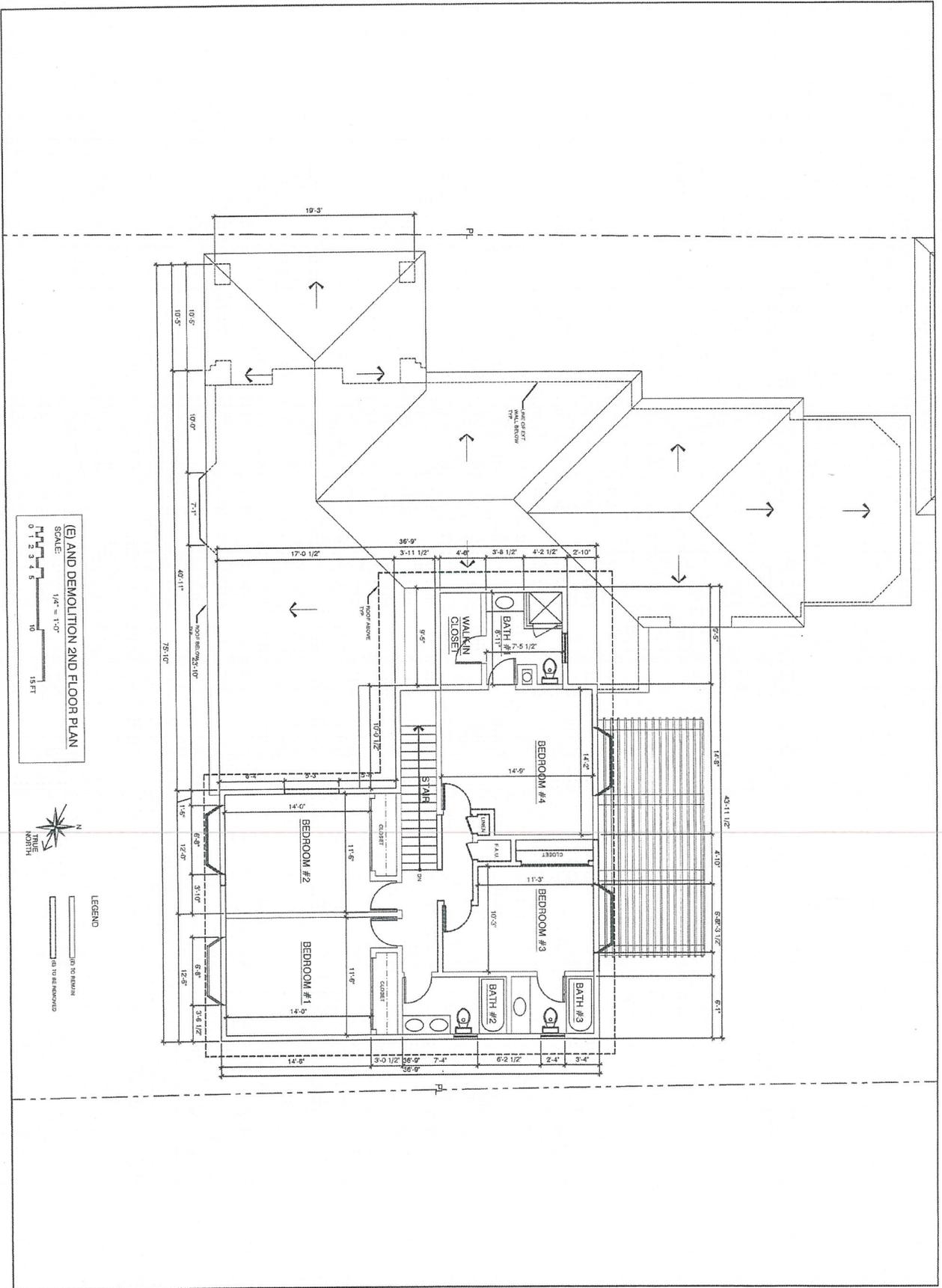
A-3.01

OF SHEETS



(E) AND DEMOLITION 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 15 FT





PROJECT TITLE:	(E) & DEMO 2ND FLOOR PLAN
DATE:	07.22.11
BY:	
CHECKED BY:	
SCALE:	1/4" = 1'-0"
DRAWN:	
DATE:	07.22.11
BY:	
CHECKED BY:	
PROJECT NUMBER:	
SHEET:	A-4.01
OF:	01

PROJECT & ADDRESS:

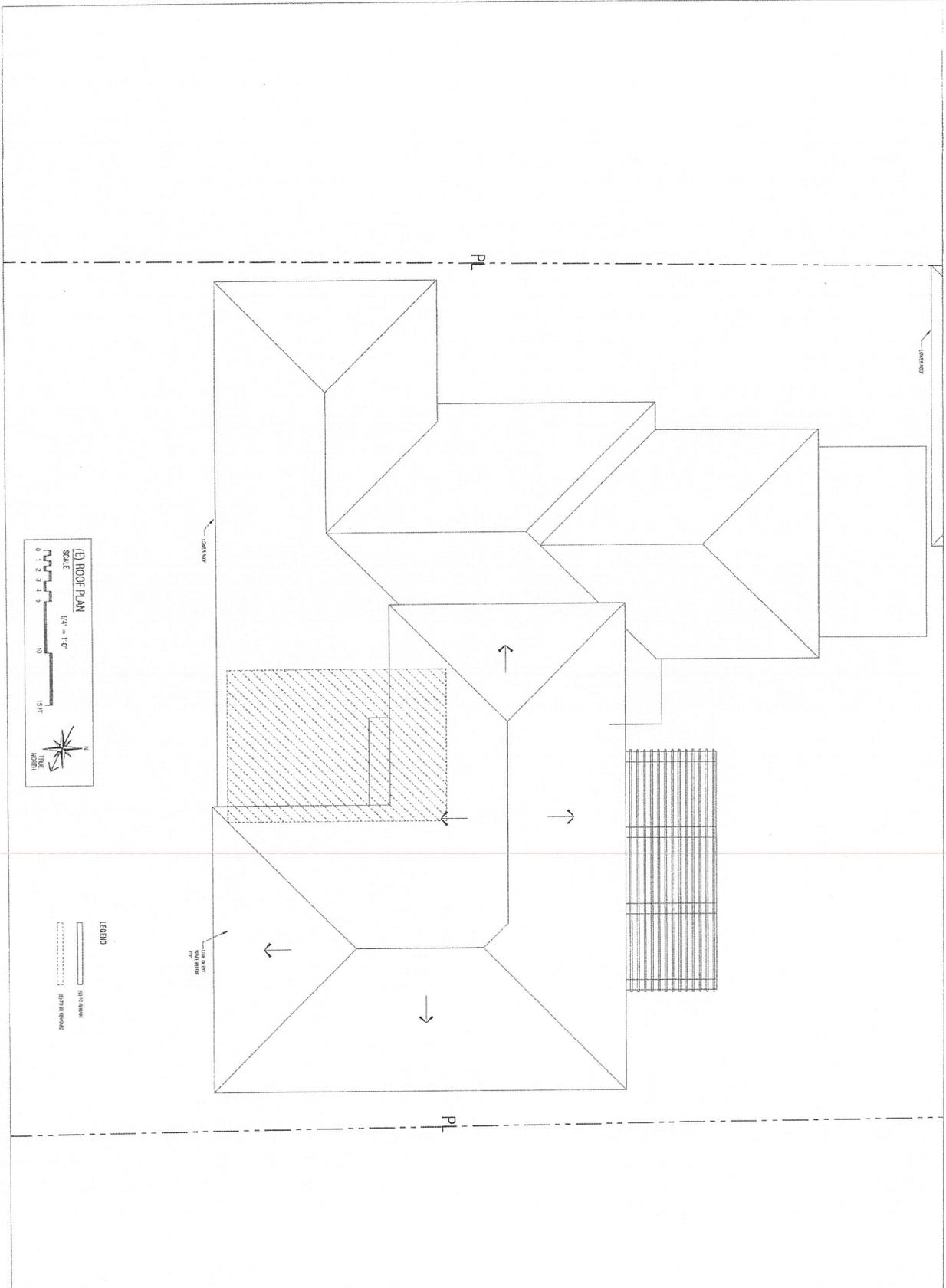
TWO-STORY SINGLE FAMILY DWELLING
 525 N. ELM DRIVE
 BEVERLY HILLS, CA 90210

OWNER/CLIENT:

MR. & MRS PARTIELI

OMRANI GROUP INC. DESIGN BUILD GROUP

TEL: 310.564.6164
 WWW.OMRANI.COM



(E) ROOF PLAN
 SCALE: 1/8" = 1'-0"
 0 1 2 3 4 5
 10 20 30
 NORTH

LEGEND
 ———— EXISTING
 - - - - - TO BE REMOVED

PROJECT TITLE	(E) & DEMO ROOF PLAN
NO. SHEET	1
OF SHEETS	1
DATE	02.22.2011
SCALE	
DRWING	
DATE	02.22.2011
NO. SHEETS	
SHEET	
OF SHEETS	

PROJECT & ADDRESS:
 TWO-STORY SINGLE FAMILY DWELLING
 625 N. ELM DRIVE
 BEVERLY HILLS, CA 90210

OWNER/APPLICANT:
 MR. & MRS PARTIELI

TEL.: (310) 561-6161
 www.omrani.com

A-5.01



OMRANI GROUP INC.

TEL : (310) 550-6161
omranibuild@aol.com

MR. & MRS PARTIELI

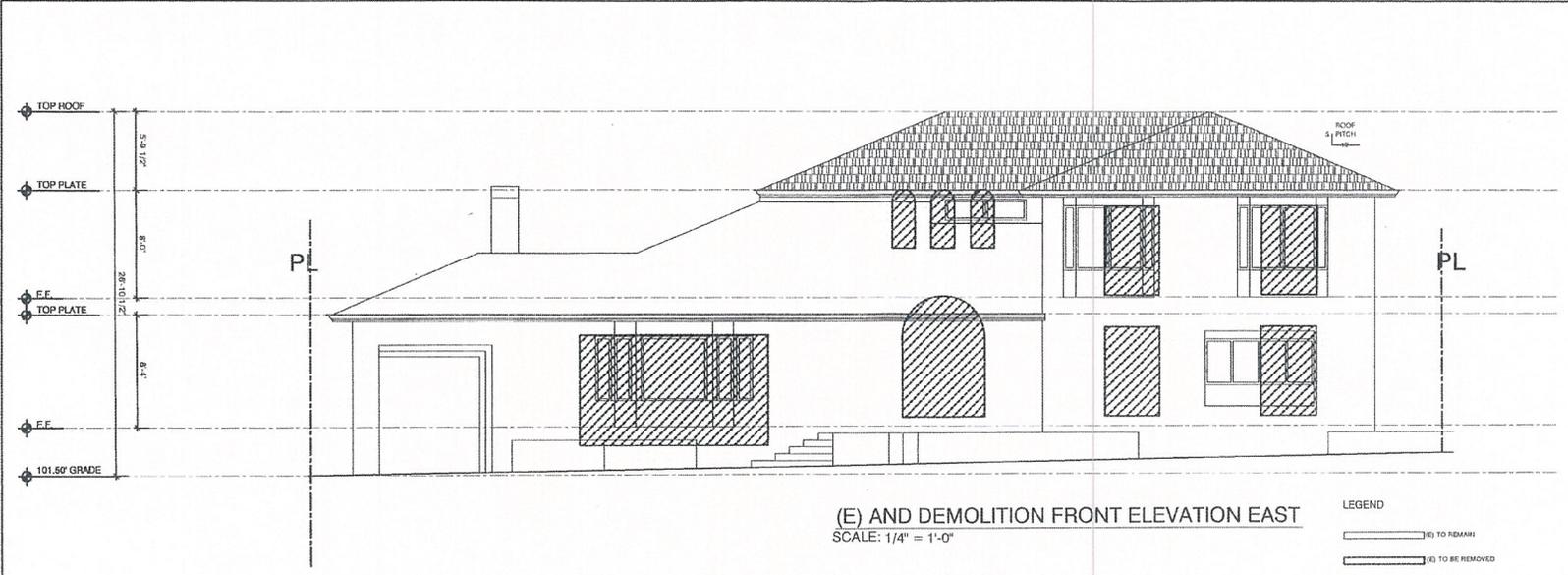
TWO-STORY SINGLE FAMILY DWELLING
625 N. ELM DRIVE
BEVERLY HILLS, CA 90210

PROJECT & ADDRESS:

SHEET TITLE
(E) EAST & WEST ELEV

NO	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: SEP. 22, 2011
XIN NUMBER:
SHEET
A-6.01
OF SHEETS





OMRANI GROUP INC.

TEL.: (310) 560-6161
omrani@omrani.com

MR. & MRS PARTIELL

PROPRIETORS:

TWO-STORY SINGLE FAMILY DWELLING
625 N. ELM DRIVE
BEVERLY HILLS, CA 90210

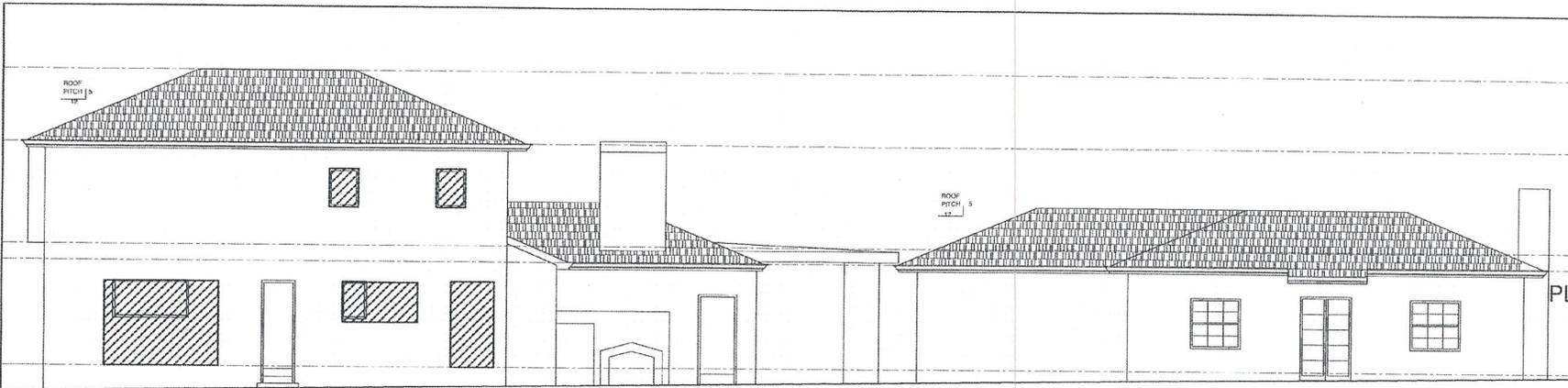
PROJECT ADDRESS:

SHEET TITLE
(E) NORTH & SOUTH ELEV

NO.	DATE	BY	REVISION

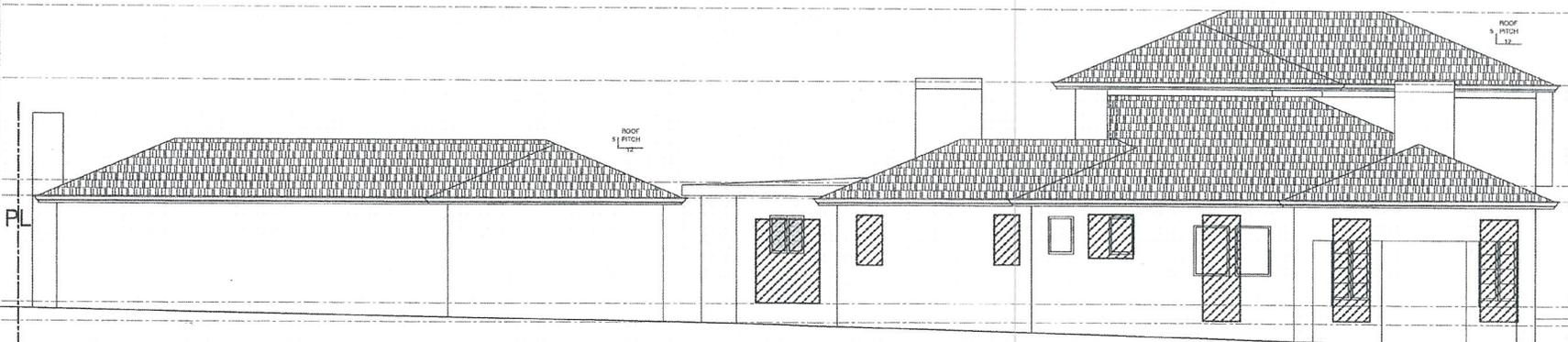
SCALE:
DRAWN:
DATE: SEP 22, 2011
JOB NUMBER:

SHEET
A-7.01
OF SHEETS



(E) AND DEMOLITION SIDE ELEVATION NORTH
SCALE: 1/4" = 1'-0"

LEGEND
[Solid line] (E) TO REMAIN
[Hatched line] (E) TO BE REMOVED



(E) AND DEMOLITION SIDE ELEVATION SOUTH
SCALE: 1/4" = 1'-0"

LEGEND
[Solid box] (E) WALL AREA
[Hatched box] DEMO WALL AREA



OMRANI GROUP INC.

TEL.: (310) 560-6161
omrani@arad.com

MR. & MRS PARTIELI

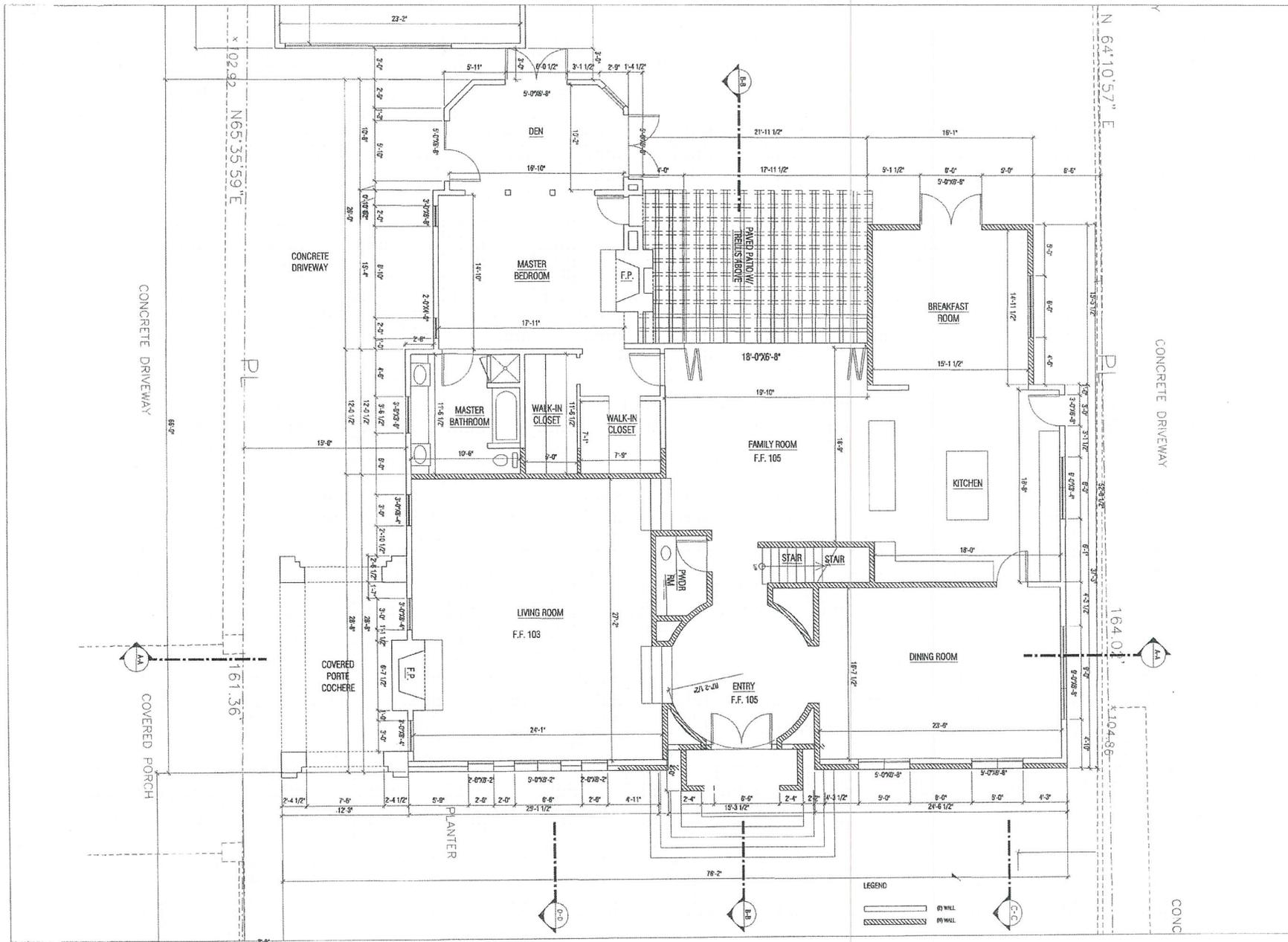
TWO-STORY SINGLE FAMILY DWELLING
623 N. ELM DRIVE
BEVERLY HILLS, CA 90210

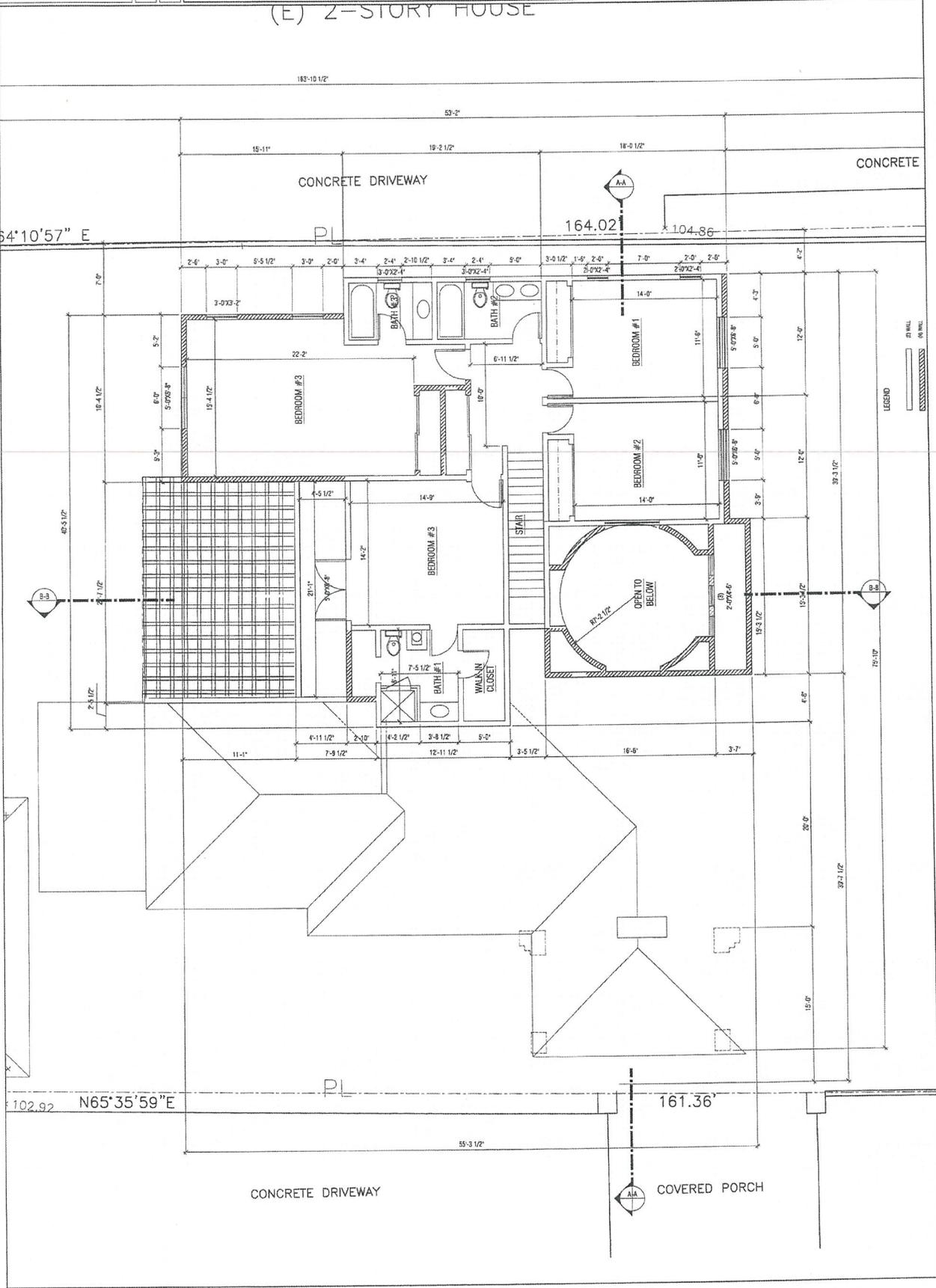
SHEET TITLE
(N) GROUND FLOOR PLAN

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: SEP. 22, 2011
JOB NUMBER:
SHEET

A-9.01
OF SHEETS







OMRANI GROUP INC.

TEL: (310) 560-0161
omranihamid@aol.com

PROJECT & ADDRESS:
MR. & MRS PARTIELI

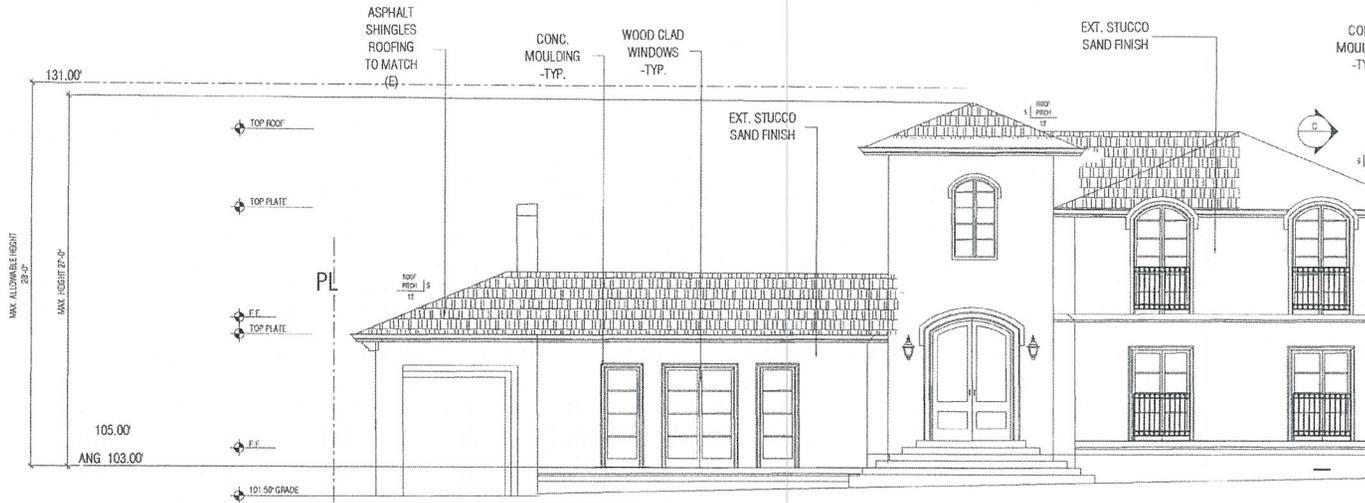
TWO-STORY SINGLE FAMILY DWELLING
625 N. ELM DRIVE
BEVERLY HILLS, CA 90210

SHEET TITLE
(N) EAST & WEST ELEV

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: 09.12.2011
JOB NUMBER:
SHEET

A-12.01
OF SHEETS



(N) FRONT ELEVATION EAST
SCALE: 1/4" = 1'-0"



(N) REAR ELEVATION WEST
SCALE: 1/4" = 1'-0"



OMRANI GROUP INC.

TEL.: (310) 500-6161
omrani@omrani.com

OWNER: MR. & MRS. PARTIELI

PROJECT ADDRESS:
TWO-STORY SINGLE FAMILY DWELLING
622 N. ELM DRIVE
BEVERLY HILLS, CA 90210

REVISIONS

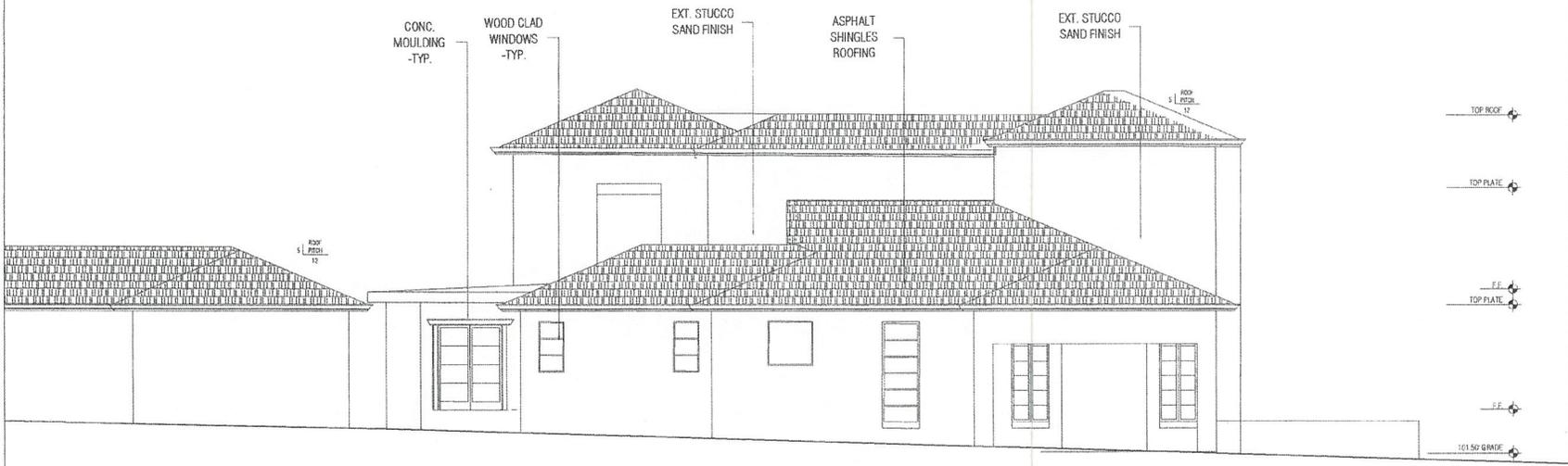
NO.	DATE	BY	REVISION

PROJECT TITLE:
(N) NORTH & SOUTH ELEV

SCALE:
DRAWN:
DATE: SEP. 23, 2011
JOB NUMBER:
SHEET
A-13.01
OF SHEETS



(N) SIDE ELEVATION NORTH
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 15 FT



(N) SIDE ELEVATION SOUTH
SCALE: 1/4" = 1'-0"



OMRANI GROUP INC.

TEL.: (310) 560-6161
omranihamid@aol.com

PREPARED BY:
MR. & MRS PARTIELI

PROJECT ADDRESS:
TWO-STORY SINGLE FAMILY DWELLING
622 N. ELM DRIVE
BEVERLY HILLS, CA 90210

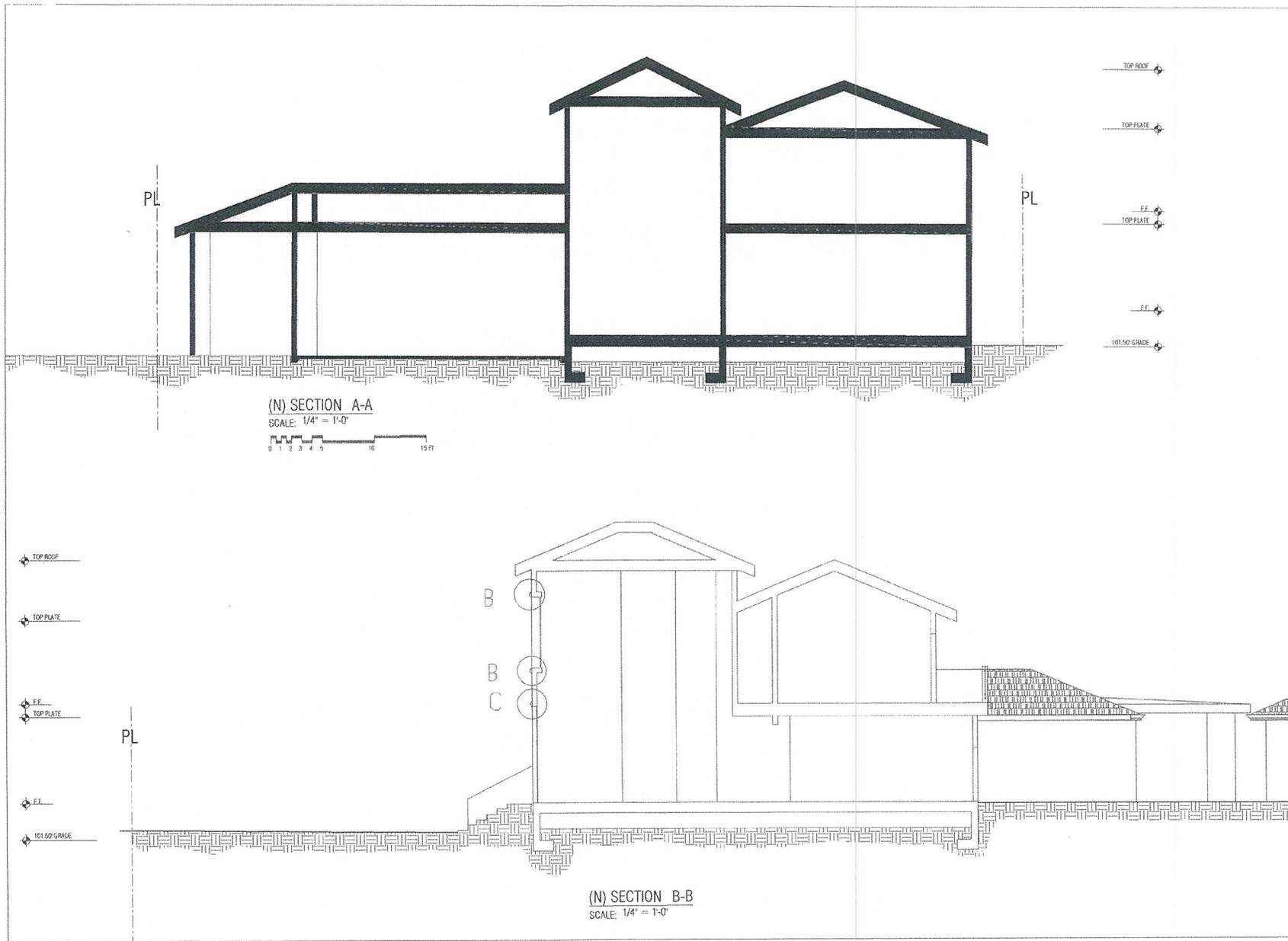
SECTION TITLE (N) SECTIONS

NO.	DATE	BY	REVISION

SCALE:
DRAWN:
DATE: SEP. 23, 2011
JOB NUMBER:
SHEET

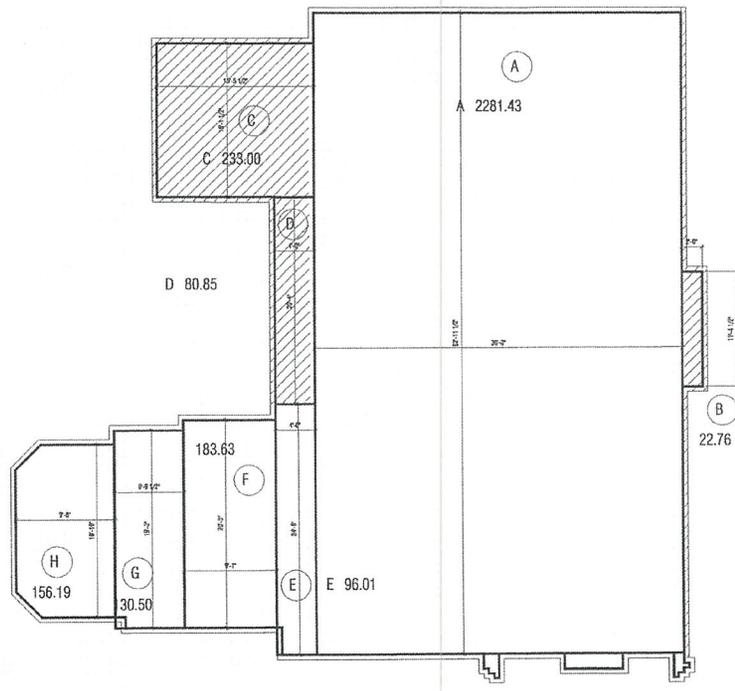
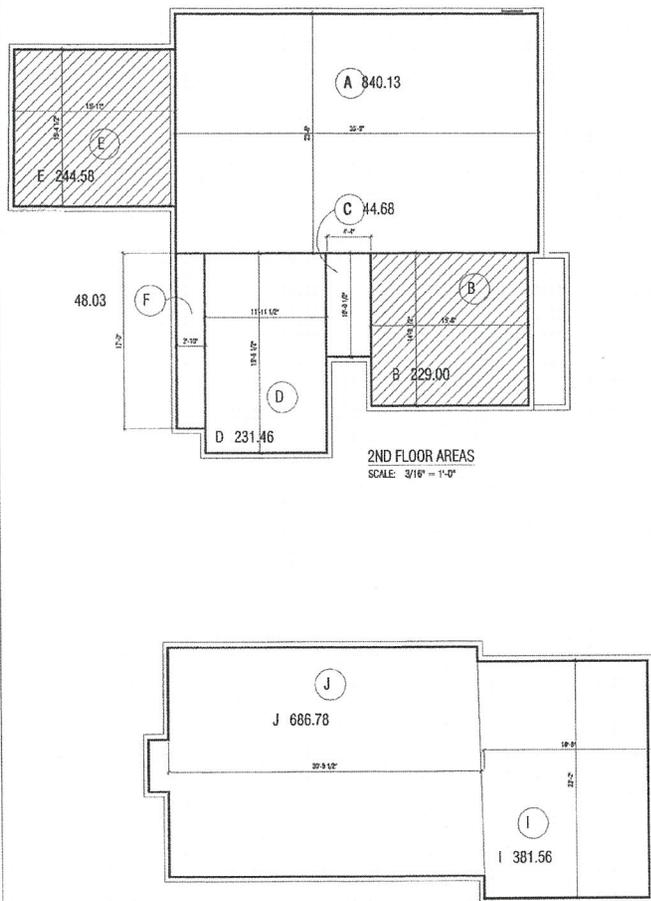
A-14.01

OF SHEETS



(N) SECTION A-A
SCALE: 1/4" = 1'-0"
0 1 2 3 4 5 10 15 FT

(N) SECTION B-B
SCALE: 1/4" = 1'-0"



- AREAS GROUND FLOOR**
- A 2281.43
 - B 22.76
 - C 233.00
 - D 80.85
 - E 96.01
 - F 183.63
 - G 130.50
 - H 156.19
 - I 381.56
 - J 686.78
- AREAS 2ND FLOOR**
- A 840.13
 - B 229.00
 - C 44.68
 - D 231.46
 - E 244.58
 - F 48.03

OWNER/CLIENT:
MR. & MRS PARTIELLI

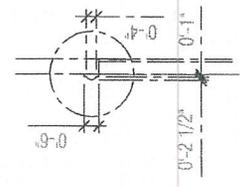
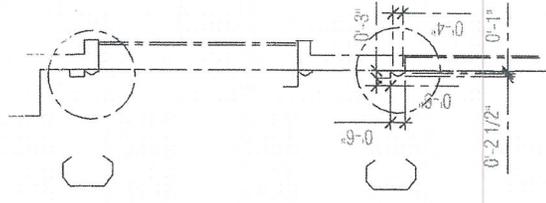
PROJECT ADDRESS:
TWO-STORY SINGLE FAMILY DWELLING
 625 N. BELM DRIVE
 BEVERLY HILLS, CA 90210

SHEET TITLE:
GND & 2ND FLOOR AREAS

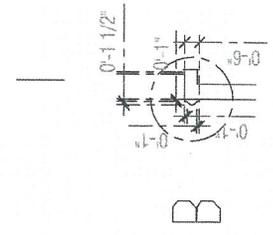
NO.	DATE	BY	REVISION

SCALE:
 DRAWN:
 DATE: SEP. 22, 2011
 JOB NUMBER:
 SHEET

A-16.01
 OF SHEETS



A



B

C

C



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



Pyrus kawakami
Evergreen Pear



Prunus cerasifera 'Krauter Vesuvius'
Purple Leaf Plum



Archontophoenix cunninghamiana
King Palm, multi trunk (2)



Azales 'George Tabor'



Ligustrum texanum
Texas Privet



Buxus japonica
Japanese boxwood



Lavandula angustifolia
English Lavender



Dietses vegata 'Varigated'
Varigated Fortnight Lily



Agapanthus 'Queene Anne'
'Lily of the Nile'



Trachelospermum jasminoides
Star jasmine



Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached D:
Project Application

SECTION 1 – AUTHORIZATION & APPLICANT TEAM

A Property Information

Project Address: 625. N. Elm dr.
Legal Description: Lot 20 / Tract Beverly Hills

B Property Owner Information¹

Name(s): M J 26 Trust
Address: 625 N. Elm dr
City: Beverly Hills State & Zip Code: Ca 90210
Phone: 213 - 944 9000 Fax: 818 - 274 2499
E-Mail: 625elmdr@gmail.com

C Applicant Information [individual(s) or entity benefiting from the entitlement]

Name(s): Bitra and Behnam Partieli
Address: 625 N. lm dr
City: Beverly Hills State & Zip Code: Ca 90210
Phone: 213 - 944 9000 Fax: 818 - 274 2499
E-Mail: 625 elmdr@gmail.com

D Architect / Designer Information [Employed or hired by Applicant]

Name(s): Omrani Group Registered Architect? Yes No
Address: 9244 Wilshire dr. #202
City: Beverly Hills State & Zip Code: Ca 90212
Phone: 310 - 560 6161 Fax: _____
E-Mail: omranihamid@aol.com

E Landscape Designer Information [Employed or hired by Applicant]

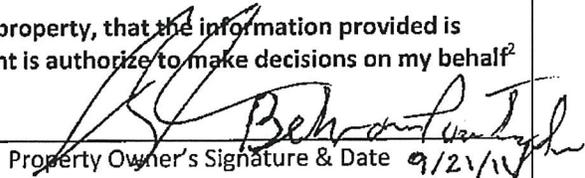
Name(s): Steve Hug
Address: 19162-1 Index street
City: Northridge State & Zip Code: Ca 91326
Phone: 818- 360 7206 Fax: _____
E-Mail: _____

F Agent [Individual acting on behalf of the Applicant] NOTE: All communication is made through the Agent.

Name(s): Hamid Omrani
Address: 9244 Wilshire Blvd. #202
City: Beverly Hills State & Zip Code: Ca 90212
Phone: 310 - 560 6161 Fax: _____
E-Mail: omranihamid@aol.com

G I hereby certify that I am the owner of the subject property, that the information provided is accurate to the best of my knowledge and the Agent is authorize to make decisions on my behalf²

M J 26 Trust / Bitra and Behnam Partieli
Property Owner's Name (PRINT)


Property Owner's Signature & Date 9/21/14

¹ If the owner is a corporate entity, signatures from two corporate officers are required from each of the following Groups:
Group A – chairperson or president of the board; Group B – board secretary or chief financial officer.

² A signed and dated authorization letter from the property owner is also acceptable.

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at:
<http://www.beverlyhills.org/civica/filebank/blobdload.asp?BlobID=3435>.
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

Italianate style / Tow story / Arched entry door / Low pitch roof / Flat facade / Front door pair / Rectangular windows / Beige color / Different front set back / Central tower / Widely overhangs/ Single story poarch with supporting square post /

C Identify the Project Zoning - City Zoning Map available online at <http://gis.beverlyhills.org/UNITEGIS/>.

- | | | |
|---------------------------------|----------------------------------|---------------------------------|
| <input type="checkbox"/> R-1 | <input type="checkbox"/> R-1.5X2 | <input type="checkbox"/> R-1.8X |
| <input type="checkbox"/> R-1X | <input type="checkbox"/> R-1.6X | |
| <input type="checkbox"/> R-1.5X | <input type="checkbox"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 84' 161' Lot Area (square feet): 13942
 Adjacent Streets: Elevado ave. / Carmelita ave.

E Lot is currently developed with (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence |
| <input checked="" type="checkbox"/> Guest House | <input checked="" type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: http://www.beverlyhills.org/services/planning_division/advance_planning/default.asp)

Yes No If yes , please list Architect’s name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	28	25'	27'
Roof Plate Height:		19'	19'
Floor Area:	6897 S.F.	4641S.F.	5421S.F.
Rear Setbacks:	39'	54'	54'
Side Setbacks:	S/E 7'-6" N/W 7'-6"	S/E 15' N/W 4'-2"	S/E 15' N/W 7'-6"
Parking Spaces:	4		

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco
Texture /Finish: Smooth
Color / Transparency: Light Beige

WINDOWS (Include frame, trim, glass, metal, etc)

Material: Clad
Texture /Finish: Matte
Color / Transparency: Dark Brown

DOORS (Include frame, trim, glass, metal, etc)

Material: Metal
Texture /Finish: Matte
Color / Transparency: Black

PEDIMENTS

Material:
Texture /Finish:
Color / Transparency:

ROOF

Material: (E) And (N) Class "A" asphalt shingle
Texture /Finish:
Color / Transparency: Dark Gray

CORBELS

Material: Wood
Texture /Finish: Matte paint
Color / Transparency: Dark Brown

CHIMNEY(S)

Material: Stucco
Texture /Finish: Smooth
Color / Transparency: Light Beige

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: _____
Texture /Finish: _____
Color / Transparency: _____

BALCONIES & RAILINGS

Material: Metal
Texture /Finish: Matte paint
Color / Transparency: Black

TRELLIS, AWNINGS, CANOPIES

Material: _____
Texture /Finish: _____
Color / Transparency: _____

DOWNSPOUTS / GUTTERS

Material: Metall
Texture /Finish: Matte paint
Color / Transparency: Dark Brown

EXTERIOR LIGHTING

Material: Leaf trim
Texture /Finish: Rust
Color / Transparency: Black

PAVED SURFACES

Material: Concrete
Texture /Finish: _____
Color / Transparency: Dark Beige

FREESTANDING WALLS AND FENCES

Material: Block wall/Stucco
Texture /Finish: Smooth
Color / Transparency: Light Beige

OTHER DESIGN ELEMENTS

Material: Concrete Moulding
Texture /Finish: Smooth
Color / Transparency: Dark Beige

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

Combination of group of houses's landscape theme. Proposed coloring complements the architectural style.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. *Describe* how the proposed development's design exhibits an internally compatible design scheme.

Same as before remodeling (No change)

2. *Describe* how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

Various height of building (One story at south side- tower-tow story at north side) / Moulding line / various set backs /

3. *Describe* how the proposed development will enhance the appearance of the neighborhood.

proposed Italianate style will enhance the appearance of the neighborhood.

4. *Describe* how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Limited window at north and south sides / No balcony or deck in middle of the building at sides

5. *Describe* how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

Design as others/Remodeling only



Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached E:
Draft Approval Resolution

DRAFT RESOLUTION NO. DR ____

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A R-1 DESIGN REVIEW PERMIT TO ALLOW A FAÇADE REMODEL OF AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 625 NORTH ELM DRIVE

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamid Omrani, applicant on behalf of the property owners, Bita and Behnam Pertieli (Collectively the “Applicant”), has applied for a R-1 Design Review Permit for design approval of a façade remodel of an existing two-story single-family residence for the property located at 625 North Elm Drive, and is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **December 1, 2011** at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
 5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
-
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
 7. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the community development department or submit an application along with applicable fees to the development for covenant preparation and filing.
 8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Special Conditions

10. No special conditions have been imposed for this project.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **December 1, 2011**

Shena Rojemann, Commission Secretary
Community Development Department

Howard Szabo, Chairperson
Design Review Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, SHENA ROJEMANN, Secretary of the Design Review Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. ____ duly passed, approved, and adopted by the Design Review Commission of said City at a meeting of said Commission on **October 6, 2011** and thereafter duly signed by the Secretary of the Design Review Commission, as indicated; and that the Design Review Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

SHENA ROJEMANN
Secretary to the Design Review
Commission/Associate Planner
City of Beverly Hills, California



Design Review Commission Report

625 North Elm Drive

December 1, 2011

Attached F:
Draft Denial Resolution

DRAFT RESOLUTION NO. DR ____

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS DENYING A R-1 DESIGN REVIEW PERMIT FOR A FAÇADE REMODEL OF THE EXISTING TWO-STORY RESIDENCE AT THE PROPERTY LOCATED AT 625 NORTH ELM DRIVE

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamid Omrani, applicant on behalf of the property owners, Bitia and Behnam Pertielli (Collectively the “Applicant”), has applied for a R-1 Design Review Permit for design approval of a façade remodel of the existing two-story residence for the property located at 625 North Elm Drive, and is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **December 1, 2011**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design does not exhibit an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are not representative of the architectural style and design scheme chosen for the building.

B. The proposed development's design does not appropriately minimize the appearance of scale and mass and does not enhance the garden like quality of the city and does not appropriately maximize the use of required open space within the proposed architectural style. Specifically, the project is overly boxy, lacks necessary articulation, and appears massive. The proposed design magnifies the overall scale and mass of the building with its lack of proportionality and out of scale design features. The existing or proposed landscape plan is inadequately sized or does not sufficiently complement the architectural design theme. Accordingly, the project does not minimize mass and scale and fails to respect the garden like quality of the city.

C. The proposed development will not enhance the appearance of the neighborhood in that its design does not provide internal compatibility or is not consistent with the prevailing pattern of development in the area and, more specifically, does not provide adequate transitions in scale to adjacent structure(s). The design theme is incongruent with and would detract from the appearance of the neighborhood.

D. The proposed development is not designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. Specifically, the project includes design features that do not provide a reasonable measure of privacy to adjacent properties. The placement of windows, entries or other open areas unreasonably impacts the neighbor's privacy with unimpeded visual access to private rooms or outdoor areas on the neighbor's property. The impact to privacy cannot be ameliorated with conditions and would require redesign.

E. The proposed development does not respect prevailing site design patterns, does not carefully analyze the characteristics of the surrounding group of homes, and does not integrate appropriate features that will ensure harmony between old and new. Specifically, the project does not represent an internally compatible architectural theme and does not incorporate elements that would provide an appropriate transition in scale or character to the adjacent properties. Moreover, the scale, lack of appropriate design proportionality and other design features, inappropriately draw attention to this building to the detriment of the surrounding neighborhood. As opposed to creating harmony between new and old, the proposed design adversely dominates the streetscape creating disharmony between it and existing homes. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby denies the request defined in this resolution.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **December 1, 2011**

Shena Rojemann, Commission Secretary
Community Development Department

Howard Szabo, Chairperson
Design Review Commission