



# Design Review Commission Report

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**Meeting Date:** Thursday, October 6, 2011

**Subject:** **625 North Elm Drive**  
A request for an R-1 Design Review Permit to allow a façade remodel of an existing two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard at **625 North Elm Drive**.

**Project applicant:** Hamid Omrani, Omrani Group – project designer

**Recommendation:** Conduct public hearing and provide the applicant with design direction.

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## REPORT SUMMARY

The applicant requests approval to remodel the façade of an existing two-story single-family residence located in the Central Area of the City. Please see the attached documents which include the project design description, materials and plans in addition to draft resolutions of approval and denial for the Commission's consideration.

## ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

## ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

## PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed Tuesday, September 27, 2011. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. DRAFT Approval Resolution
- C. DRAFT Denial Resolution
- D. Design Plans, Cut Sheets & Supporting Documents

Report Author and Contact Information:

Shena Rojemann, Associate Planner  
(310) 285-1192  
[srojemann@beverlyhills.org](mailto:srojemann@beverlyhills.org)



## **Design Review Commission Report**

445 North Rexford Drive

September 13, 2011

### **Attached A:**

Detailed Design Description  
and Materials (applicant prepared)

**SECTION 1 – AUTHORIZATION & APPLICANT TEAM**

**A Property Information**

Project Address: 625. N. Elm dr.  
Legal Description: Lot 20 / Tract Beverly Hills

**B Property Owner Information<sup>1</sup>**

Name(s): M J 26 Trust  
Address: 625 N. Elm dr  
City: Beverly Hills State & Zip Code: Ca 90210  
Phone: 213 - 944 9000 Fax: 818 - 274 2499  
E-Mail: 625elmdr@gmail.com

**C Applicant Information [individual(s) or entity benefiting from the entitlement]**

Name(s): Bita and Behnam Partieli  
Address: 625 N. lm dr  
City: Beverly Hills State & Zip Code: Ca 90210  
Phone: 213 - 944 9000 Fax: 818 - 274 2499  
E-Mail: 625 elmdr@gmail.com

**D Architect / Designer Information [Employed or hired by Applicant]**

Name(s): Omrani Group Registered Architect? Yes  No   
Address: 9244 Wilshire dr. #202  
City: Beverly Hills State & Zip Code: Ca 90212  
Phone: 310 - 560 6161 Fax: \_\_\_\_\_  
E-Mail: omranihamid@aol.com

**E Landscape Designer Information [Employed or hired by Applicant]**

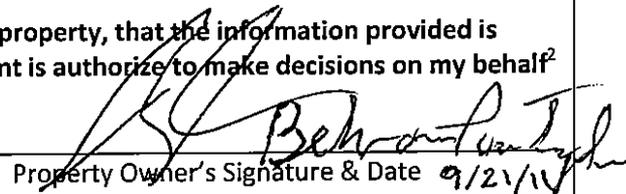
Name(s): Steve Hug  
Address: 19162-1 Index street  
City: Northridge State & Zip Code: Ca 91326  
Phone: 818- 360 7206 Fax: \_\_\_\_\_  
E-Mail: \_\_\_\_\_

**F Agent [Individual acting on behalf of the Applicant] NOTE: All communication is made through the Agent.**

Name(s): Hamid Omrani  
Address: 9244 Wilshire Blvd. #202  
City: Beverly Hills State & Zip Code: Ca 90212  
Phone: 310 - 560 6161 Fax: \_\_\_\_\_  
E-Mail: omranihamid@aol.com

**G I hereby certify that I am the owner of the subject property, that the information provided is accurate to the best of my knowledge and the Agent is authorize to make decisions on my behalf<sup>2</sup>**

M J 26 Trust / Bita and Behnam Partieli  
Property Owner's Name (PRINT)

  
Property Owner's Signature & Date 9/21/14

<sup>1</sup> If the owner is a corporate entity, signatures from two corporate officers are required from each of the following Groups:  
Group A – chairperson or president of the board; Group B – board secretary or chief financial officer.

<sup>2</sup> A signed and dated authorization letter from the property owner is also acceptable.

**SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION**

**A Indicate Requested Application:**

- Track 1 Application (Administrative Review)
  - Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/civica/filebank/blobdload.asp?BlobID=3435>.
  - Plans must be prepared and stamped by an architect licensed in the State of California.
  - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
  - Eight (8) sets of plans required (see Section 6 for plan size requirements).
  - Public Notice materials required (see Section 5 for public notice requirements).

**B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):**

Italianate style / Tow story / Arched entry door / Low pitch roof / Flat facade / Front door pair / Rectangular windows / Beige color / Different front set back / Central tower / Widely overhangs/ Single story poarch with supporting square post /

**C Identify the Project Zoning - City Zoning Map available online at <http://gis.beverlyhills.org/UNITEGIS/>.**

- |                                 |                                  |  |
|---------------------------------|----------------------------------|--|
| <input type="checkbox"/> R-1    | <input type="checkbox"/> R-1.5X2 | <input checked="" type="checkbox"/> R-1.8X |
| <input type="checkbox"/> R-1X   | <input type="checkbox"/> R-1.6X  |  |
| <input type="checkbox"/> R-1.5X | <input type="checkbox"/> R-1.7X  |  |

**D Site & Area Characteristics**

Lot Dimensions: 84/ 161' Lot Area (square feet): 13942  
 Adjacent Streets: Elevado ave. / Carmelita ave.

**E Lot is currently developed with (check all that apply):**

- |   |  |
|---|--|
| <input type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence    |
| <input checked="" type="checkbox"/> Guest House | <input checked="" type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant                 | <input type="checkbox"/> Other: _____                      |

**F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?**

Yes  No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____		
Native:	_____		
Urban Grove:	_____		

**G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: [http://www.beverlyhills.org/services/planning\\_division/advance\\_planning/default.asp](http://www.beverlyhills.org/services/planning_division/advance_planning/default.asp))**

Yes  No  If yes , please list Architect’s name: \_\_\_\_\_

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)**

**A Describe your public outreach efforts to adjacent neighbors and property owners:**

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**B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:**

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	28	25'	27'
Roof Plate Height:		19'	19'
Floor Area:	6897 S.F.	4641 S.F.	5421 S.F.
Rear Setbacks:	39'	54'	54'
Side Setbacks:	S/E 7'-6"	S/E 15'	S/E 15'
	N/W 7'-6"	N/W 4'-2"	N/W 7'-6"
Parking Spaces:	4		

**C List the specific materials and finishes for all the architectural features of the project (Be Specific):**  
**FAÇADE** (List all material for all portions visible from the street)

*Material:* Stucco  
*Texture /Finish:* Smooth  
*Color / Transparency:* Light Beige

**WINDOWS** (Include frame, trim, glass, metal, etc)

*Material:* Clad  
*Texture /Finish:* Matte  
*Color / Transparency:* Dark Brown

**DOORS** (Include frame, trim, glass, metal, etc)

*Material:* Metal  
*Texture /Finish:* Matte  
*Color / Transparency:* Black

**PEDIMENTS**

*Material:*  
*Texture /Finish:*  
*Color / Transparency:*

**ROOF**

*Material:* (E) And (N) Class "A" asphalt shingle  
*Texture /Finish:*  
*Color / Transparency:* Dark Gray

**CORBELS**

*Material:* Wood  
*Texture /Finish:* Matte paint  
*Color / Transparency:* Dark Brown

**CHIMNEY(S)**

*Material:* Stucco  
*Texture /Finish:* Smooth  
*Color / Transparency:* Light Beige

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)**

**COLUMNS**

*Material:* \_\_\_\_\_  
*Texture /Finish:* \_\_\_\_\_  
*Color / Transparency:* \_\_\_\_\_

**BALCONIES & RAILINGS**

*Material:* Metal  
*Texture /Finish:* Matte paint  
*Color / Transparency:* Black

**TRELLIS, AWNINGS, CANOPIES**

*Material:* \_\_\_\_\_  
*Texture /Finish:* \_\_\_\_\_  
*Color / Transparency:* \_\_\_\_\_

**DOWNSPOUTS / GUTTERS**

*Material:* Metall  
*Texture /Finish:* Matte paint  
*Color / Transparency:* Dark Brown

**EXTERIOR LIGHTING**

*Material:* Leaf trim  
*Texture /Finish:* Rust  
*Color / Transparency:* Black

**PAVED SURFACES**

*Material:* Concrete  
*Texture /Finish:* \_\_\_\_\_  
*Color / Transparency:* Dark Beige

**FREESTANDING WALLS AND FENCES**

*Material:* Block wall/Stucco  
*Texture /Finish:* Smooth  
*Color / Transparency:* Light Beige

**OTHER DESIGN ELEMENTS**

*Material:* Concrete Moulding  
*Texture /Finish:* Smooth  
*Color / Transparency:* Dark Beige

**D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:**

Combination of group of houses's landscape theme. Proposed coloring complements the architectural style.

**SECTION 4 – DESIGN ANALYSIS AND FINDINGS**

**A** Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. **Describe** how the proposed development's design exhibits an internally compatible design scheme.

Same as before remodeling (No change)

2. **Describe** how the proposed development's design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

Various height of building (One story at south side- tower-low story at north side) / Moulding line / various set backs /

3. **Describe** how the proposed development will enhance the appearance of the neighborhood.

proposed Italianate style will enhance the appearance of the neighborhood.

4. **Describe** how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

Limited window at north and south sides / No balcony or deck in middle of the building at sides

5. **Describe** how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

Design as others/Remodeling only



**Design Review Commission Report**

445 North Rexford Drive

September 13, 2011

**Attached B:**

Draft Approval Resolution

DRAFT RESOLUTION NO. DR \_\_\_\_

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A R-1 DESIGN REVIEW PERMIT TO ALLOW A FAÇADE REMODEL OF AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 625 NORTH ELM DRIVE

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamid Omrani, applicant on behalf of the property owners, Bita and Behnam Pertieli (Collectively the “Applicant”), has applied for a R-1 Design Review Permit for design approval of a façade remodel of an existing two-story single-family residence for the property located at 625 North Elm Drive, and is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **October 6, 2011** at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.
  
5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
  
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.
  
7. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the community development department or submit an application along with applicable fees to the development for covenant preparation and filing.
  
8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Special Conditions

10. No special conditions have been imposed for this project.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **October 6, 2011**

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Shena Rojemann, Commission Secretary  
Community Development Department

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Howard Szabo, Chairperson  
Design Review Commission

STATE OF CALIFORNIA                    )  
COUNTY OF LOS ANGELES            )     SS.  
CITY OF BEVERLY HILLS                )

I, SHENA ROJEMANN, Secretary of the Design Review Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. \_\_\_\_ duly passed, approved, and adopted by the Design Review Commission of said City at a meeting of said Commission on **October 6, 2011** and thereafter duly signed by the Secretary of the Design Review Commission, as indicated; and that the Design Review Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

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SHENA ROJEMANN  
Secretary to the Design Review  
Commission/Associate Planner  
City of Beverly Hills, California



**Design Review Commission Report**

445 North Rexford Drive

September 13, 2011

**Attached C:**  
Draft Denial Resolution

DRAFT RESOLUTION NO. DR \_\_\_\_

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS DENYING A R-1 DESIGN REVIEW PERMIT FOR A FAÇADE REMODEL OF THE EXISTING TWO-STORY RESIDENCE AT THE PROPERTY LOCATED AT 625 NORTH ELM DRIVE

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Hamid Omrani, applicant on behalf of the property owners, Bitia and Behnam Pertielli (Collectively the “Applicant”), has applied for a R-1 Design Review Permit for design approval of a façade remodel of the existing two-story residence for the property located at 625 North Elm Drive, and is located in the city’s Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on **October 6, 2011**, at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design does not exhibit an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are not representative of the architectural style and design scheme chosen for the building.

B. The proposed development's design does not appropriately minimize the appearance of scale and mass and does not enhance the garden like quality of the city and does not appropriately maximize the use of required open space within the proposed architectural style. Specifically, the project is overly boxy, lacks necessary articulation, and appears massive. The proposed design magnifies the overall scale and mass of the building with its lack of proportionality and out of scale design features. The existing or proposed landscape plan is inadequately sized or does not sufficiently complement the architectural design theme. Accordingly, the project does not minimize mass and scale and fails to respect the garden like quality of the city.

C. The proposed development will not enhance the appearance of the neighborhood in that its design does not provide internal compatibility or is not consistent with the prevailing pattern of development in the area and, more specifically, does not provide adequate transitions in scale to adjacent structure(s). The design theme is incongruent with and would detract from the appearance of the neighborhood.

D. The proposed development is not designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. Specifically, the project includes design features that do not provide a reasonable measure of privacy to adjacent properties. The placement of windows, entries or other open areas unreasonably impacts the neighbor's privacy with unimpeded visual access to private rooms or outdoor areas on the neighbor's property. The impact to privacy cannot be ameliorated with conditions and would require redesign.

E. The proposed development does not respect prevailing site design patterns, does not carefully analyze the characteristics of the surrounding group of homes, and does not integrate appropriate features that will ensure harmony between old and new. Specifically, the project does not represent an internally compatible architectural theme and does not incorporate elements that would provide an appropriate transition in scale or character to the adjacent properties. Moreover, the scale, lack of appropriate design proportionality and other design features, inappropriately draw attention to this building to the detriment of the surrounding neighborhood. As opposed to creating harmony between new and old, the proposed design adversely dominates the streetscape creating disharmony between it and existing homes. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby denies the request defined in this resolution.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **October 6, 2011**

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Shena Rojemann, Commission Secretary  
Community Development Department

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Howard Szabo, Chairperson  
Design Review Commission



## **Design Review Commission Report**

445 North Rexford Drive

September 13, 2011

### **Attached D:**

Design plans, cut sheets  
and supporting elements



**TWO-STORY SINGLE FAMILY DWELLING**  
 REMODEL AND ADDITION 625 N. ELM DRIVE, BEVERLY HILLS, CA 90210

**SHEET INDEX**

SP.01	TOPOGRAPHIC SURVEY
LP.01	LANDSCAPE PLAN
T1.01	TITLE, SHEET INDEX AND PROJECT INFORMATION
A1.01	GENERAL NOTES
A2.01	SITE PLAN
A3.01	(E) & DEMO GROUND FLOOR PLAN
A4.01	(E) & DEMO SECOND FLOOR PLAN
A5.01	(E) & DEMO ROOF PLAN
A6.01	(E) EAST & WEST ELEVATIONS
A7.01	(E) NORTH & ELEVATIONS
A9.01	(N) GROUND FLOOR PLAN
A10.01	(N) SECOND FLOOR PLAN
A11.01	(N) ROOF PLAN
A12.01	(N) EAST & SOUTH ELEVATIONS
A13.01	(N) WEST & NORTH ELEVATIONS
A14.01	(N) SECTION 'A-A'
A15.01	AREA CALCULATION
A16.01	GND & 2ND FLOOR AREAS



**OMRANI GROUP INC.**

TEL. : (310) 560-6161  
 omranihamid@aol.com

OWNER/APPLICANT:  
**MR. & MRS PARTIELI**

PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
 625 N. ELM DRIVE  
 BEVERLY HILLS, CA 90210

**DATA & SHEET INDEX**

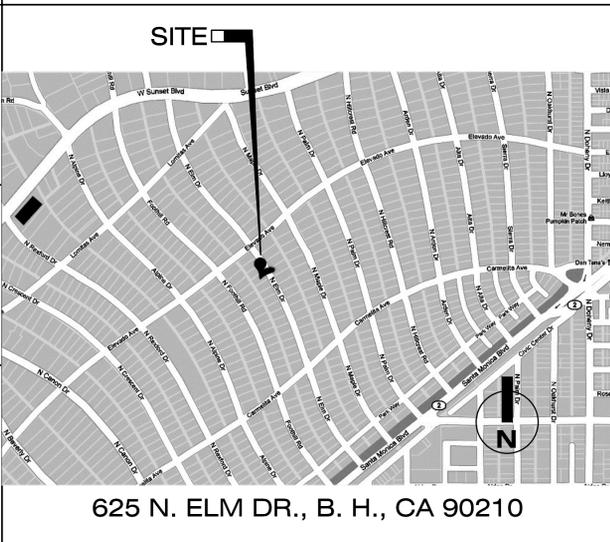
NO.	DATE	BY	REVISION

SCALE :  
 DRAWN :  
 DATE : SEP 22, 2011  
 JOB NUMBER :  
 SHEET  
**T-1.01**  
 OF SHEETS

**PROJECT DIRECTORY**

<b>DESIGNER:</b> NAME : <u>OMRANI GROUP, INC.</u> ADD : _____ TEL. # : <u>(310)560-6161</u> E-MAIL : <u>omranihamid@aol.com</u>	<b>STRUCTURAL ENGINEER :</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____
<b>SURVEYOR :</b> NAME : <u>CDS</u> 7847 FLORENCE AVE. DOWNEY, CA 90240 TEL. # : <u>(562)760-6040</u> ,FAX # : <u>(562)806-8481</u> E-MAIL : <u>cdseng@yahoo.com/www.cdsconsultinggroup.net</u>	<b>ELECTRICAL ENGINEER :</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____
<b>SOIL ENGINEER:</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____	<b>PLUMBING ENGINEER :</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____
<b>LANDSCAPE ARCHITECT/DESIGNER :</b> NAME : <u>STEVE HUG</u> ADD : <u>19162-1 INDEX ST., NORTHDRIDGE, CA 91326</u> TEL. # : <u>818-360-7206</u> E-MAIL : _____	<b>MECHANICAL ENGINEER :</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____
<b>CIVIL ENGINEER :</b> NAME : _____ ADD : _____ TEL. # : _____ E-MAIL : _____	

**VICINITY MAP**



**SCOPE OF WORK**

REMODELING AND ADDITION OF 779.71 SQ. FT.  
 TO (E) SINGLE FAMILY DWELING

**PROJECT INFORMATION**

<b>SITE ADDRESS</b>	625 N. ELM DRIVE, BEVERLY HILLS, CA. 90210
<b>OWNER</b>	Mr. & Mrs. BEHNAME & MRS. BITA PARTIELI
<b>PROJECT DESCRIPTION</b>	NEW 2-STORY REMODEL & ADDITION SINGLE FAMILY DWELLING
<b>LEGAL DESCRIPTION</b>	LOT 20, TRACT BEVERLY HILLS, APN 4341-021-020
<b>BUILDING CODE ZONE</b>	2010 CA. BUILDING CODE/CITY OF BEVERLY HILLS AMMENDMENTS CENTRAL R1
<b>MAX. ALLOWABLE HEIGHT</b>	28.00' HT. FROM AVE. N.G.L
<b>MAX. PROPOSED HEIGHT</b>	27'
<b>REQUIRED FRONT SETBACK</b>	40'-0"
<b>PROPOSED FRONT SETBACK</b>	40'-0"
<b>REQUIRED REAR SETBACK</b>	30% DEPTH -9'=30%X(161.36+164.2) X.5-9=39.834'
<b>PROPOSED REAR SETBACK</b>	=68'
<b>REQUIRED SIDE YARDS</b>	= TOTAL=FRONT WIDTH -70' (MIN. 7.5' EACH SIDE) = (84.95+80.96)X0.5-70=12.955'
<b>PROPOSED SIDEYARDS</b>	NORTH SIDE = PROPOSED 7.5' (EXISTING = 5') SOUTH SIDE = PROPOSED 15' (EXISTING =15') TOTAL SIDEYARD = PROPOSED 7.5+15= 22.5'
<b>NO. OF BEDROOMS</b>	5-BEDROOMS
<b>REQ. NO. OF PARKING</b>	3-STALL
<b>PROPOSED NO. OF PARKING</b>	3-STALL
<b>LOT SIZE</b>	13,492.52 SF (80'x160') (SURVEY MAP)
<b>ALLOWABLE BUILDING AREA</b>	13,492.52 X 40%+1500 SQ. FT. =6,897 SQ. FT.
<b>EXISTING BUILDING AREA</b>	
<b>EXISTING FIRST FLOOR (MAIN HOUSE)</b>	2,868.12 SQ. FT. SQ. FT.
<b>EXISTING GUEST HOUSE</b>	633.70 SQ. FT.
<b>EXISTING 2ND FLOOR</b>	1,139.96 SQ. FT.
	-----
	TOTAL = 4,641.78 SQ. FT.
<b>EXISTING GARAGE</b>	448.70 SQ. FT.
<b>PROPOSED BUILDING AREA</b>	
<b>PROP. FIRST FLOOR (MAIN HOUSE)</b>	3,148.77 SQ. FT.
<b>EXISTING GUEST HOUSE</b>	633.70 SQ. FT.
<b>PROPOSED 2ND FLOOR</b>	1,639.10 SQ. FT.
	-----
	TOTAL=5,421.57 SQ. FT.
<b>EXISTING GARAGE</b>	448.70 SQ. FT.



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OWNER/APPLICANT:  
**MR. & MRS PARTIELI**

PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(N) 2ND FLOOR PLAN**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-10.01**  
OF SHEETS

**(E) 2-STORY HOUSE**

163'-10 1/2"

53'-2"

15'-11"

19'-2 1/2"

18'-0 1/2"

CONCRETE DRIVEWAY

CONCRETE

64'-10'57" E

P1

164.02'

104.86'

102.92' N65°35'59" E

161.36'

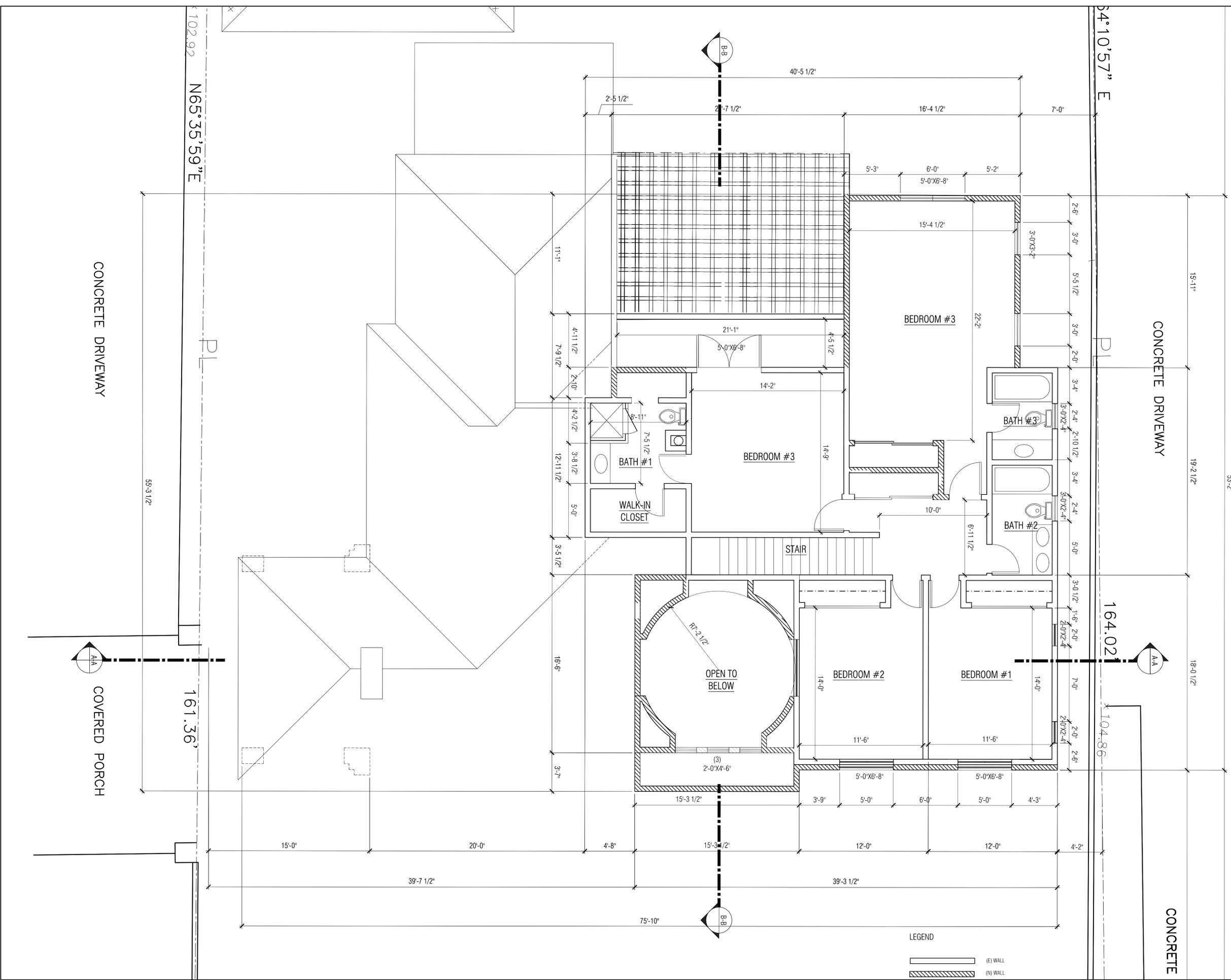
56'-3 1/2"

CONCRETE DRIVEWAY

COVERED PORCH

LEGEND

- (E) WALL
- (N) WALL





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SHEET TITLE  
**(N) ROOF PLAN**

NO.	DATE	BY	REVISION

SCALE:

DRAWN:

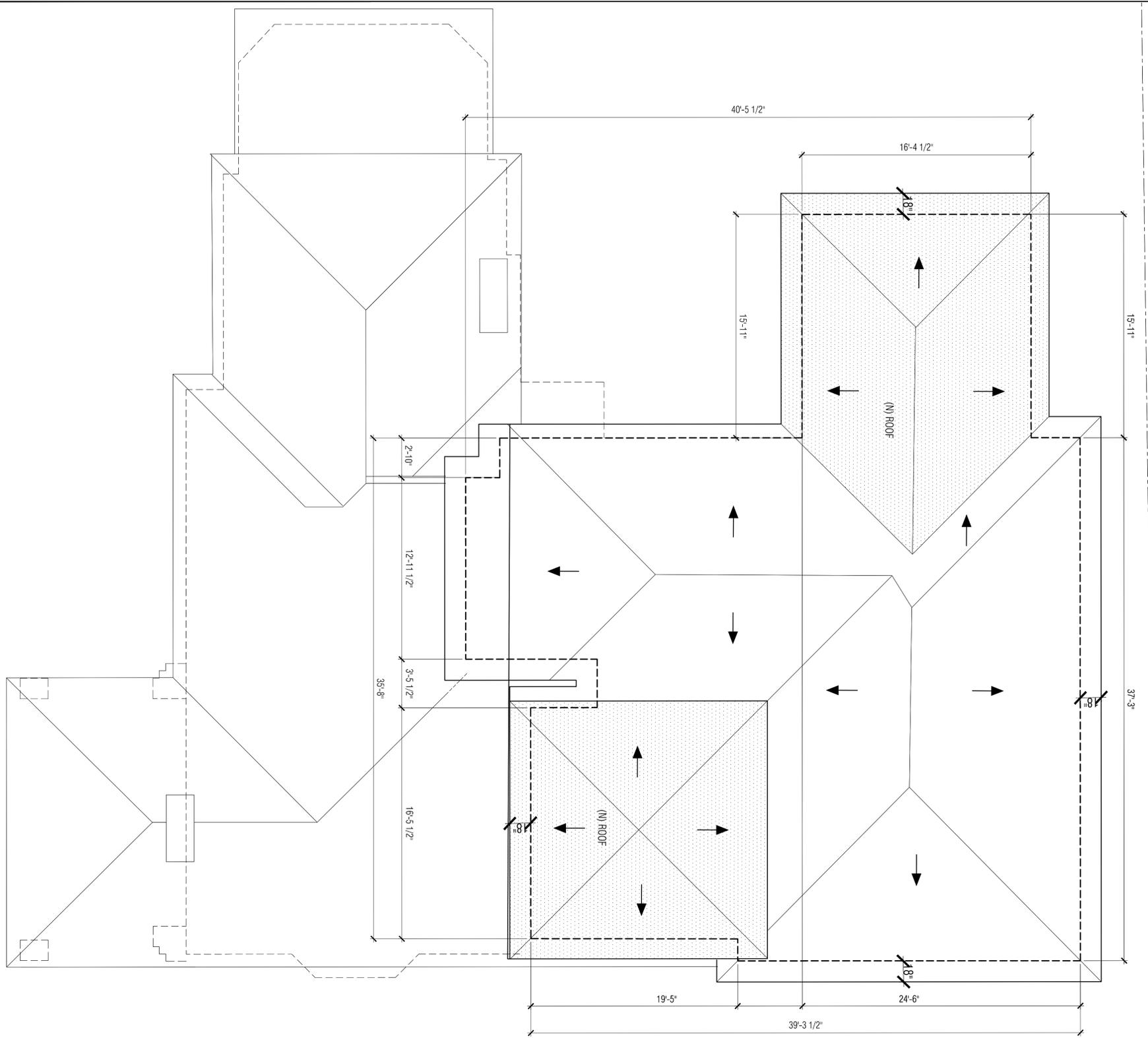
DATE: SEP. 22, 2011

JOB NUMBER:

SHEET

**A-11.01**

OF SHEETS

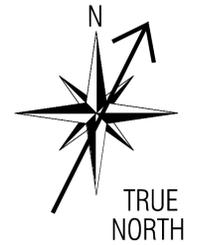


LEGEND

-  (E) ROOF
-  (N) ROOF

**(N) ROOF PLAN**

SCALE: 1/4" = 1'-0"





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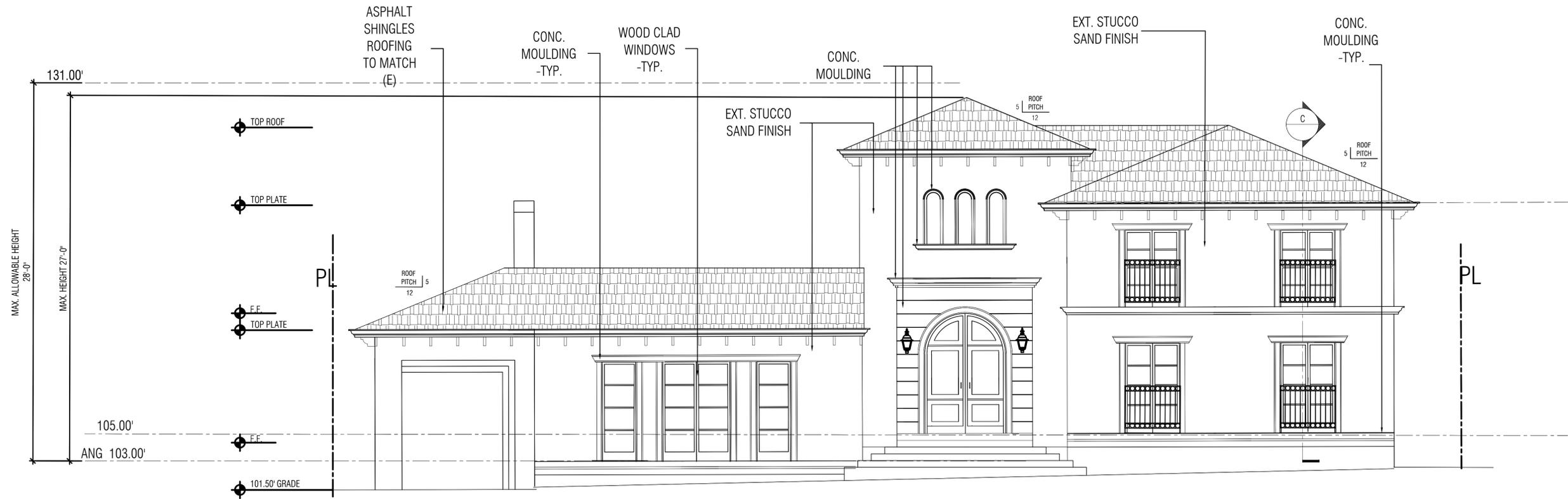
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(N) EAST & WEST ELEV**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-12.01**  
OF SHEETS



**(N) FRONT ELEVATION EAST**  
SCALE: 1/4" = 1'-0"



**(N) REAR ELEVATION WEST**  
SCALE: 1/4" = 1'-0"



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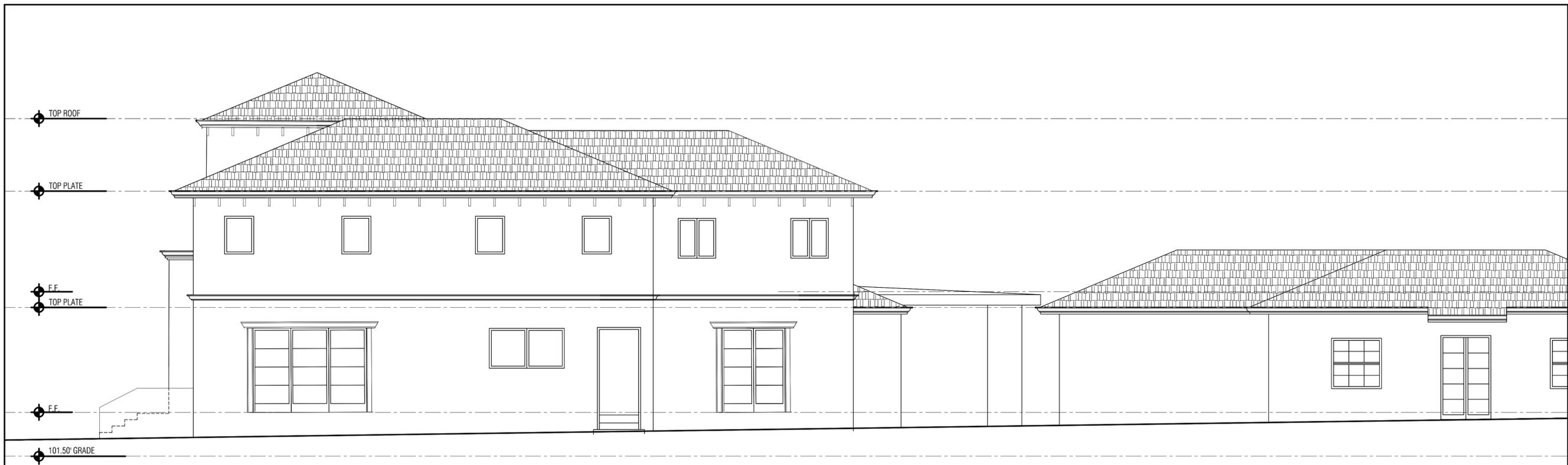
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(N) NORTH & SOUTH ELEV**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-13.01**  
OF SHEETS



**(N) SIDE ELEVATION NORTH**

SCALE: 1/4" = 1'-0"



**(N) SIDE ELEVATION SOUTH**

SCALE: 1/4" = 1'-0"



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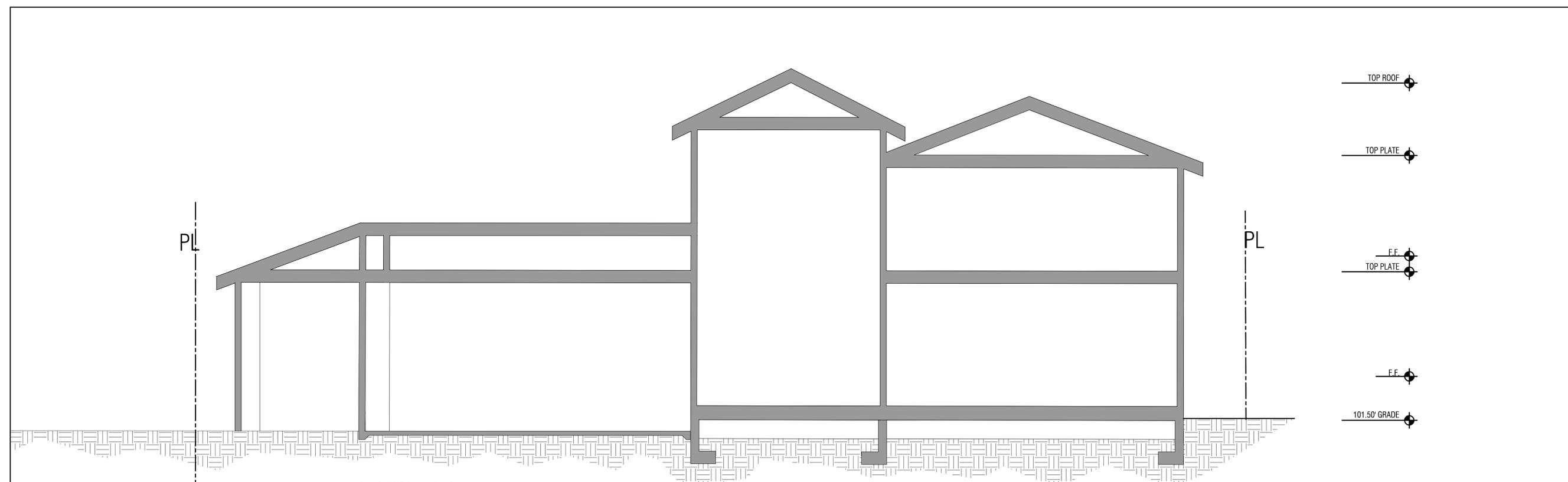
OWNER/APPLICANT:  
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PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

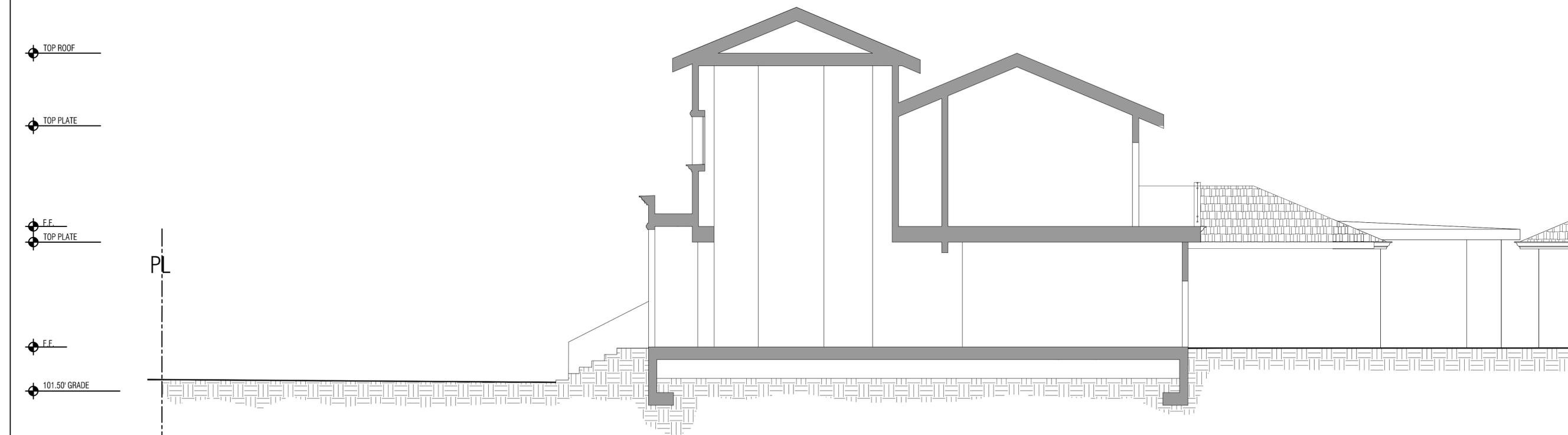
SHEET TITLE  
**(N) SECTIONS**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:  
SHEET  
**A-14.01**  
OF SHEETS



**(N) SECTION A-A**  
SCALE: 1/4" = 1'-0"  
0 1 2 3 4 5 10 15 FT



**(N) SECTION B-B**  
SCALE: 1/4" = 1'-0"



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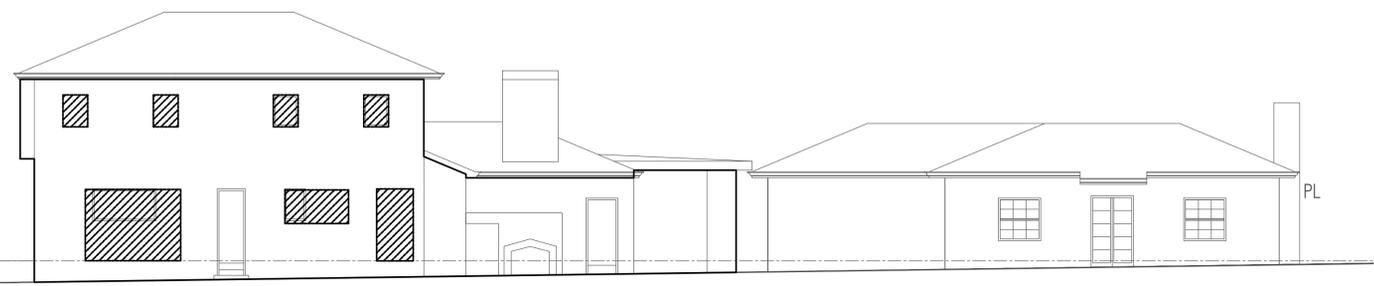
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**AREA CALCULATION**

NO.	DATE	BY	REVISION

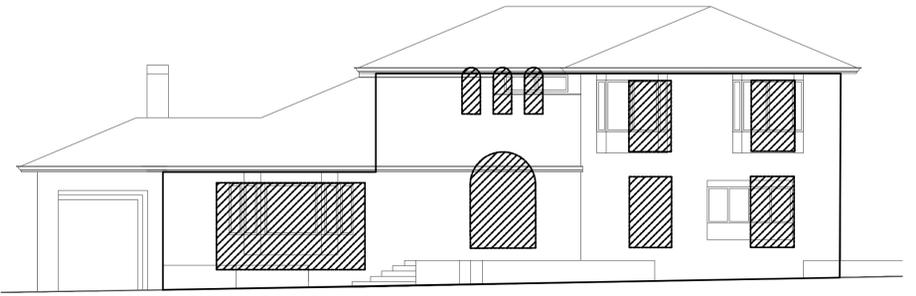
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DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-15.01**  
OF SHEETS



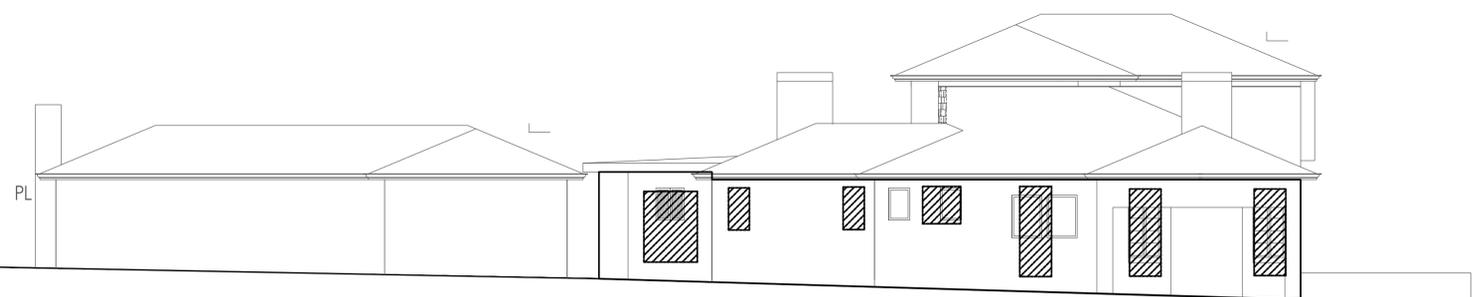
**SIDE (NORTH) WALL ELEVATION**  
TOTAL (E) WALL AREA= 980.90 SQ. FT.  
TOTAL DEMO WALL AREA= 116.50 SQ. FT.

**LEGEND**  
□ (E) WALL AREA  
▨ DEMO WALL AREA



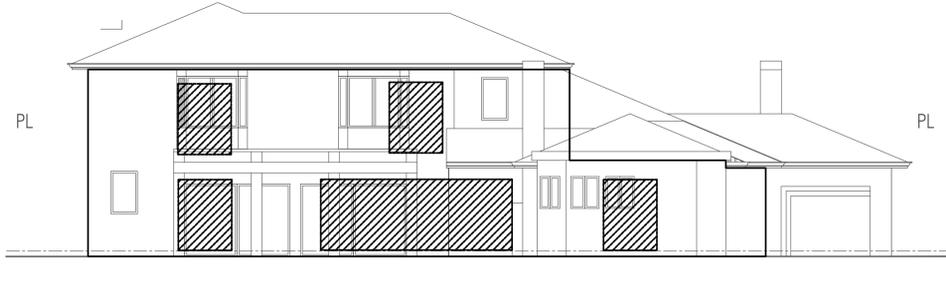
**FRONT (EAST) WALL ELEVATION**  
TOTAL (E) WALL AREA= 1071.60 SQ. FT.  
TOTAL DEMO WALL AREA= 295.25 SQ. FT.

**LEGEND**  
□ (E) WALL AREA  
▨ DEMO WALL AREA



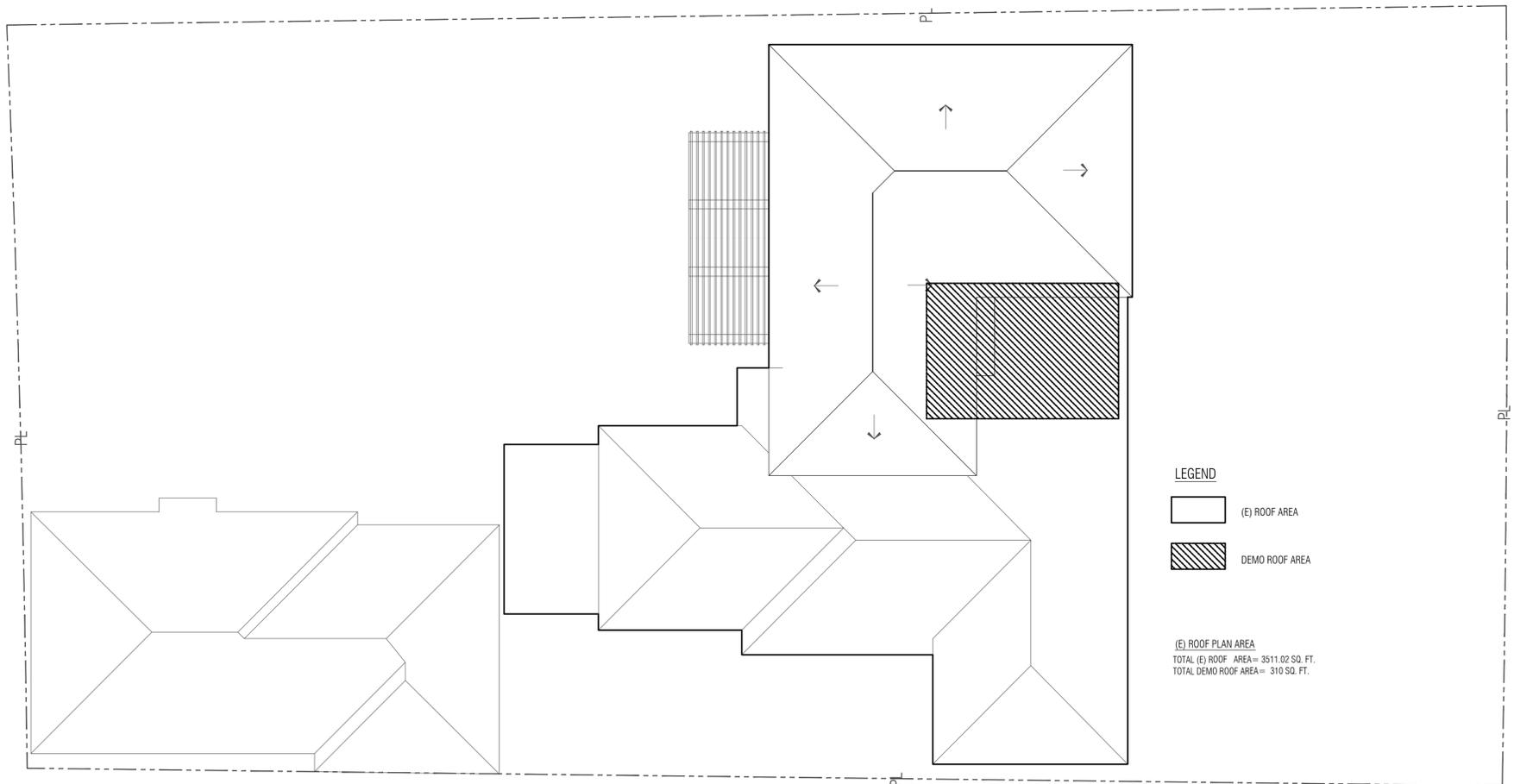
**SIDE (SOUTH) WALL ELEVATION**  
TOTAL (E) WALL AREA= 688.06 SQ. FT.  
TOTAL DEMO WALL AREA= 135.71 SQ. FT.

**LEGEND**  
□ (E) WALL AREA  
▨ DEMO WALL AREA



**REAR (WEST) WALL ELEVATION**  
TOTAL (E) WALL AREA= 961.54 SQ. FT.  
TOTAL DEMO WALL AREA= 253.44 SQ. FT.

**LEGEND**  
□ (E) WALL AREA  
▨ DEMO WALL AREA



**LEGEND**  
□ (E) ROOF AREA  
▨ DEMO ROOF AREA

**(E) ROOF PLAN AREA**  
TOTAL (E) ROOF AREA= 3511.02 SQ. FT.  
TOTAL DEMO ROOF AREA= 310 SQ. FT.

**PARK AND RECREATION FEE AREA CALCULATIONS**

EXISTING NORTH WALL AREA	980.90 SQ. FT.
EXISTING SOUTH WALL AREA	688.06 SQ. FT.
EXISTING EAST WALL AREA	1071.60 SQ. FT.
EXISTING WEST WALL AREA	961.54 SQ. FT.
TOTAL EXISTING WALL AREAS	3,702.09 SQ.FT.
NORTH WALL DEMOLITION AREA	116.50 SQ. FT.
SOUTH WALL DEMOLITION AREA	135.71 SQ. FT.
EAST WALL DEMOLITION AREA	96.25 SQ. FT.
WEST WALL DEMOLITION AREA	253.44 SQ. FT.
TOTAL WALL DEMOLITION AREAS	600.90 SQ. FT.
% OF THE WALL DEMOLITION = 600.90/3,702.09=16%	

**NONE CONFORMING ZONING AREA CALCULATIONS**

EXISTING ROOF AREA	3,110.2X 30%=4,564.32 SQ. FT.
EXISTING WALL AREAS	3,702.09 SQ.FT.
TOTAL EXISTING ROOF AND WALL AREA	8,266.41 SQ. FT.
DEMOLITION EXISTING ROOF AREA	310X30%=403 SQ. FT.
DEMOLITION EXISTING WALL AREA	600 SQ.FT.
TOTAL DEMOLITION EXISTING ROOF AND WALL AREA	1,003 SQ. FT.
% OF THE WALL AND ROOF DEMOLITION =1,003/8,266.41=12.13%	



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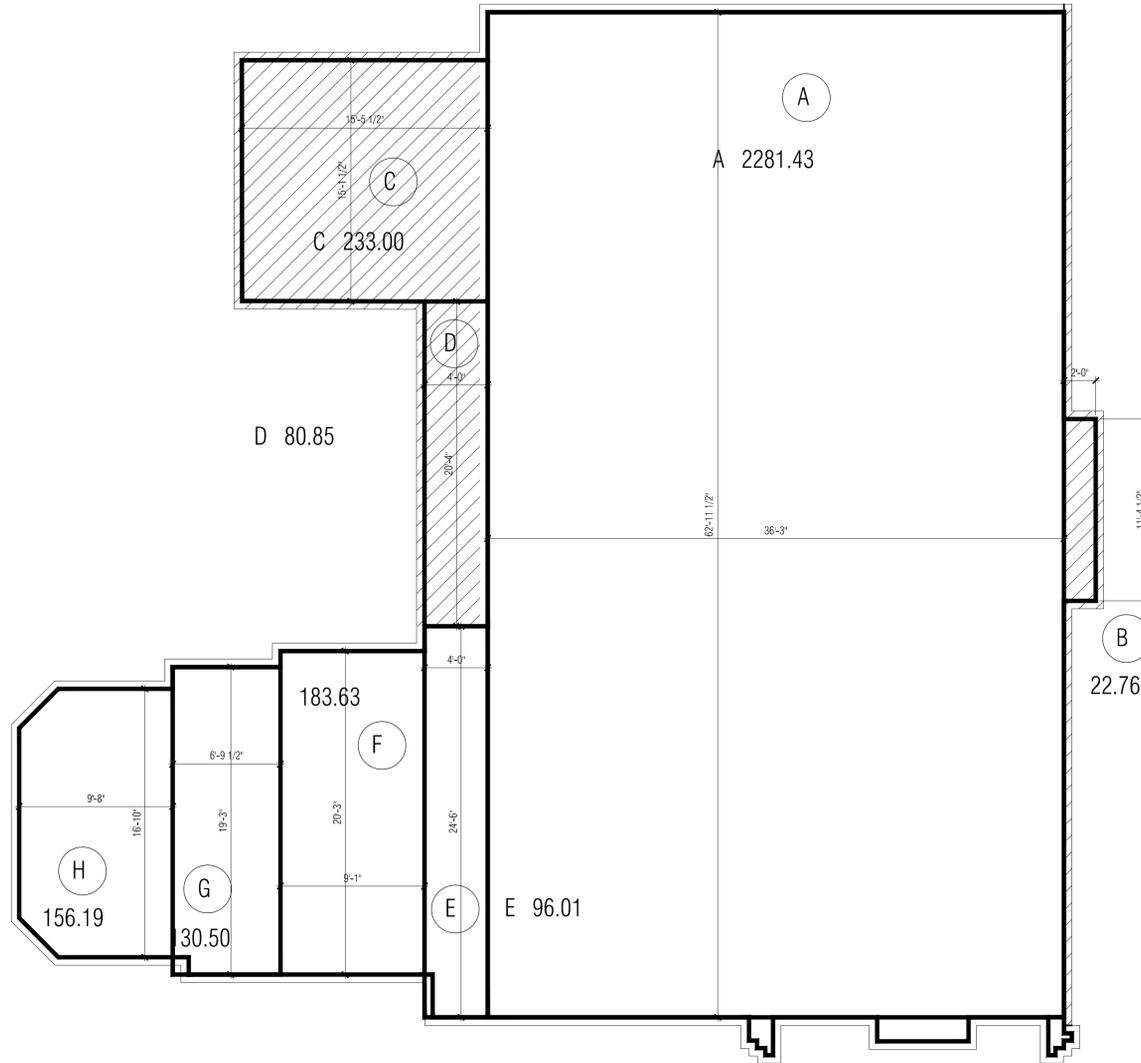
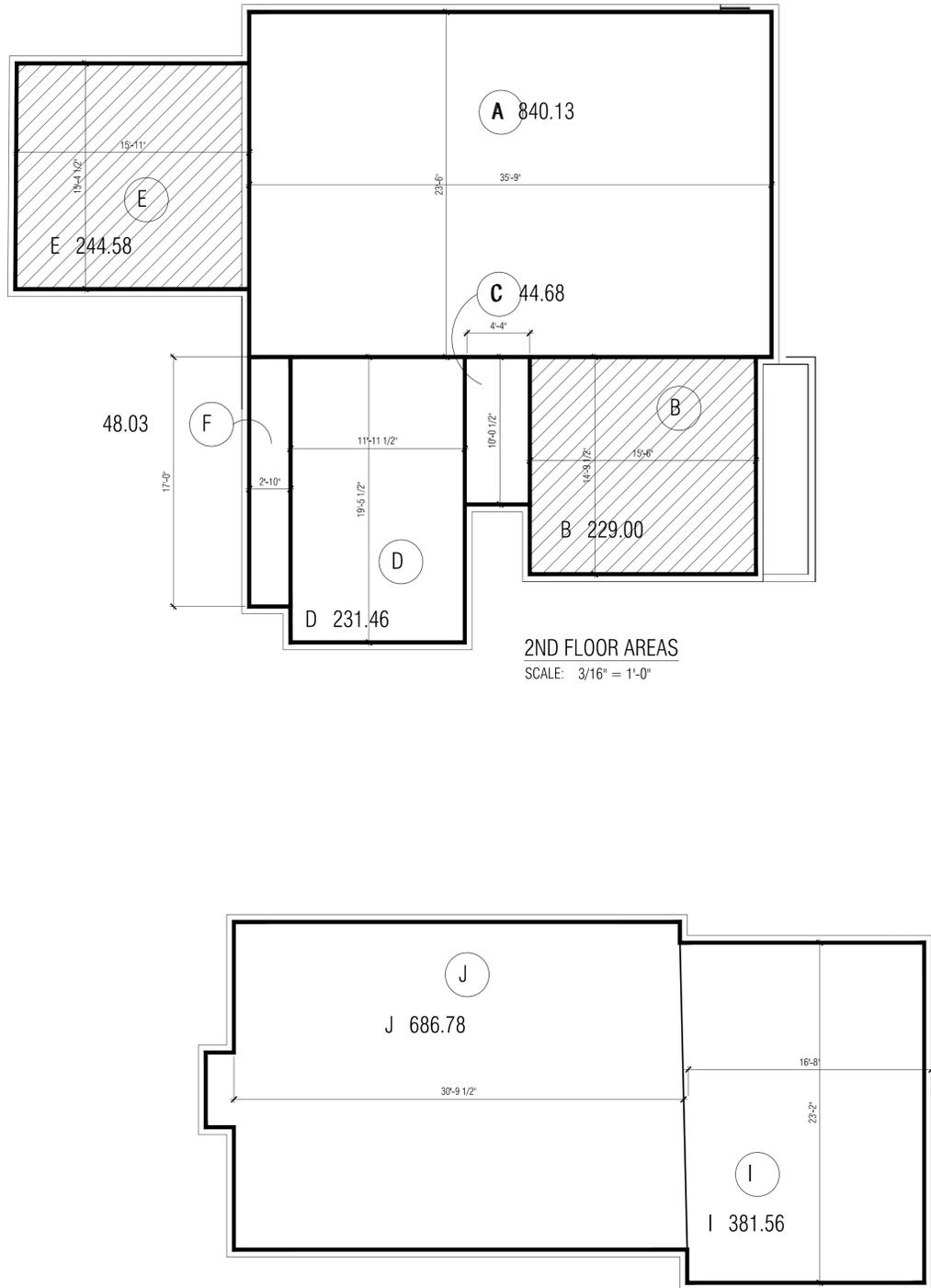
OWNER/APPLICANT:  
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PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE:  
**GND & 2ND FLOOR AREAS**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:  
SHEET  
**A-16.01**  
OF SHEETS



**AREAS GROUND FLOOR**

- A 2281.43
- B 22.76
- C 233.00
- D 80.85
- E 96.01
- F 183.63
- G 130.50
- H 156.19
- I 381.56
- J 686.78

**AREAS 2ND FLOOR**

- A 840.13
- B 229.00
- C 44.68
- D 231.46
- E 244.58
- F 48.03



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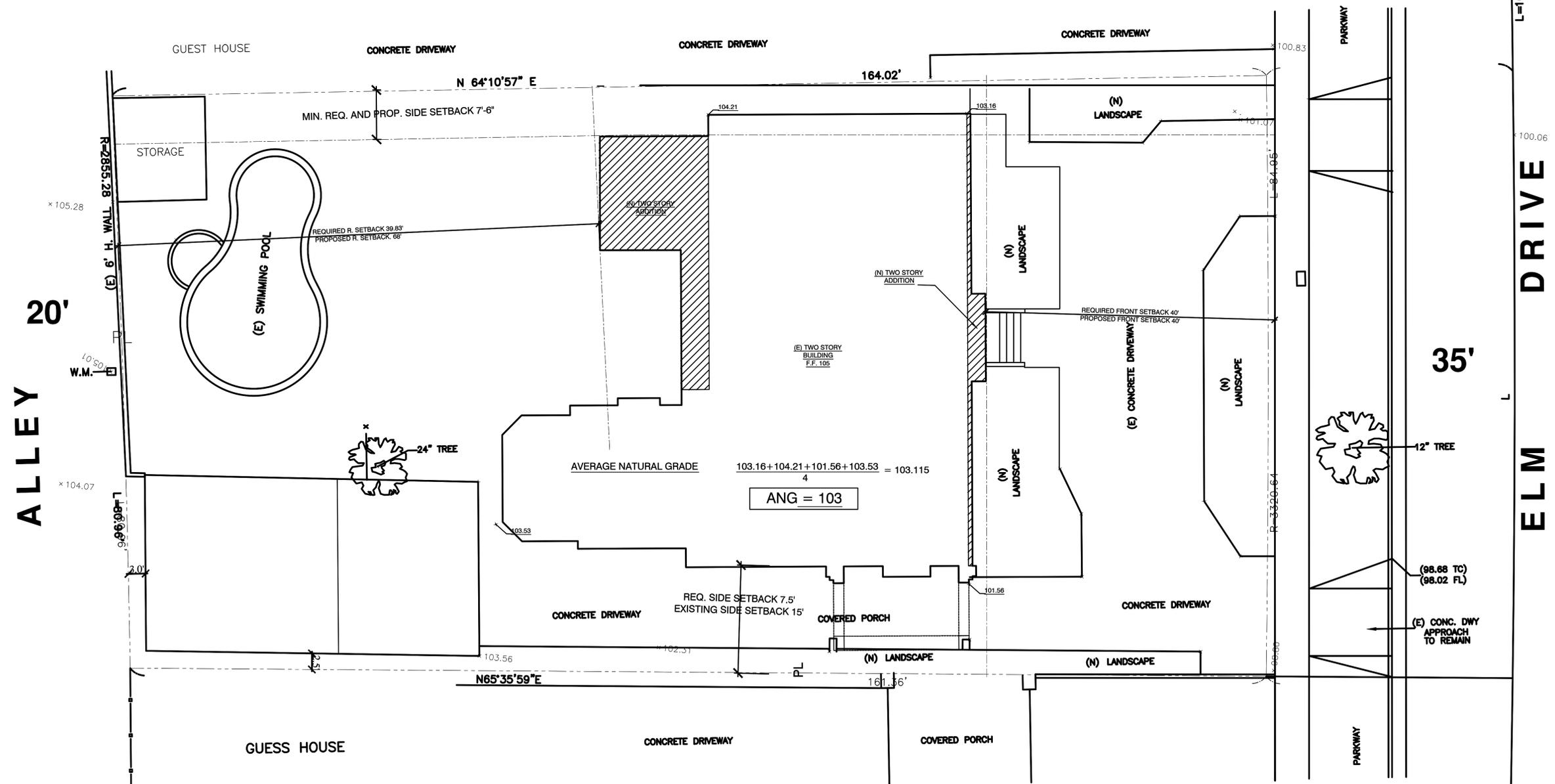
SHEET TITLE  
**(N) SITE PLAN**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-2.01**  
OF SHEETS

**(E) 2-STORY HOUSE**





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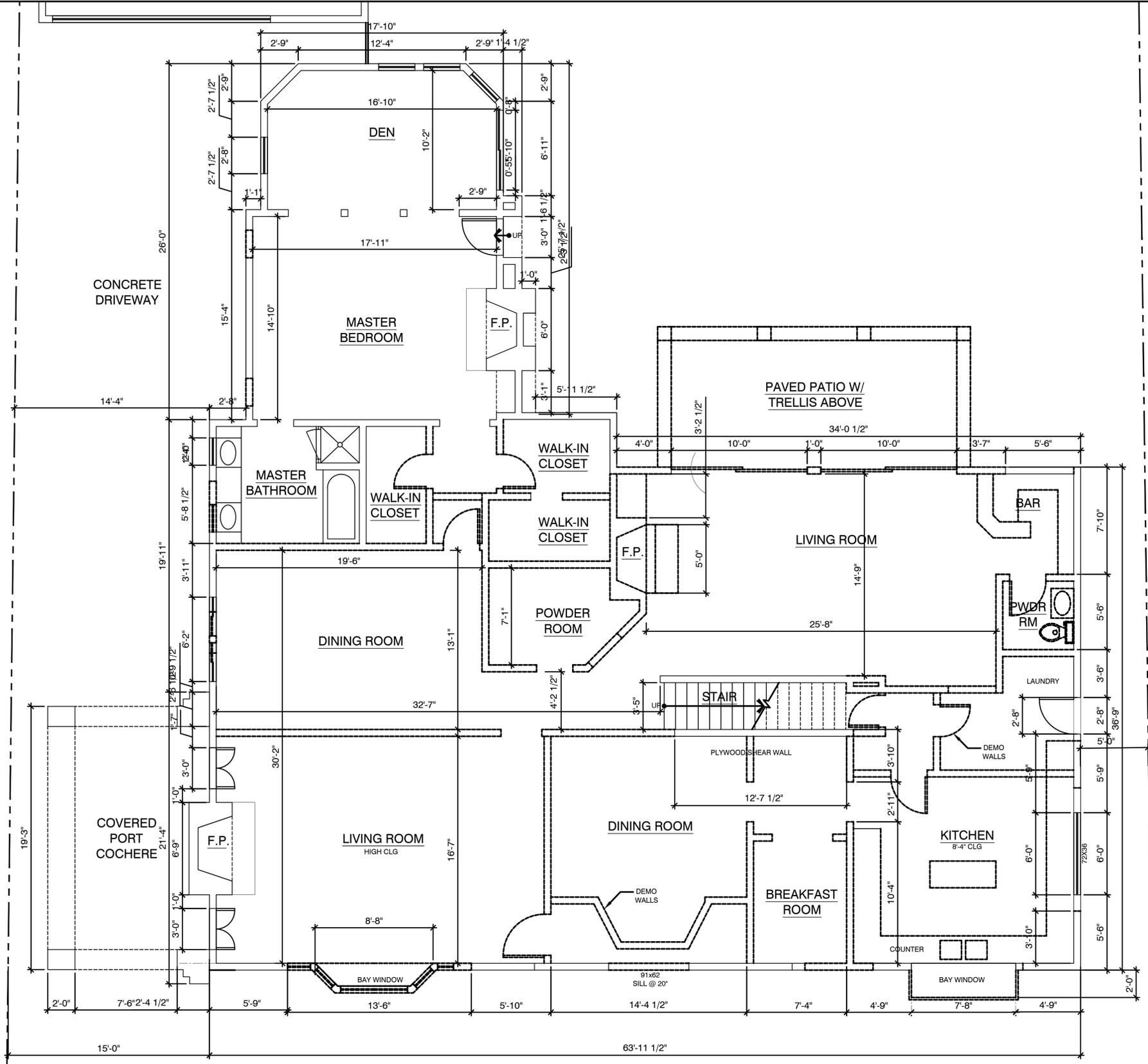
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(E) & DEMO 1ST. FLOOR PLAN**

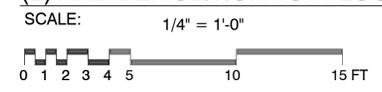
NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:  
SHEET

**A-3.01**  
OF SHEETS



**(E) AND DEMOLITION 1ST FLOOR PLAN**



LEGEND

— (E) TO REMAIN

- - - (E) TO BE REMOVED



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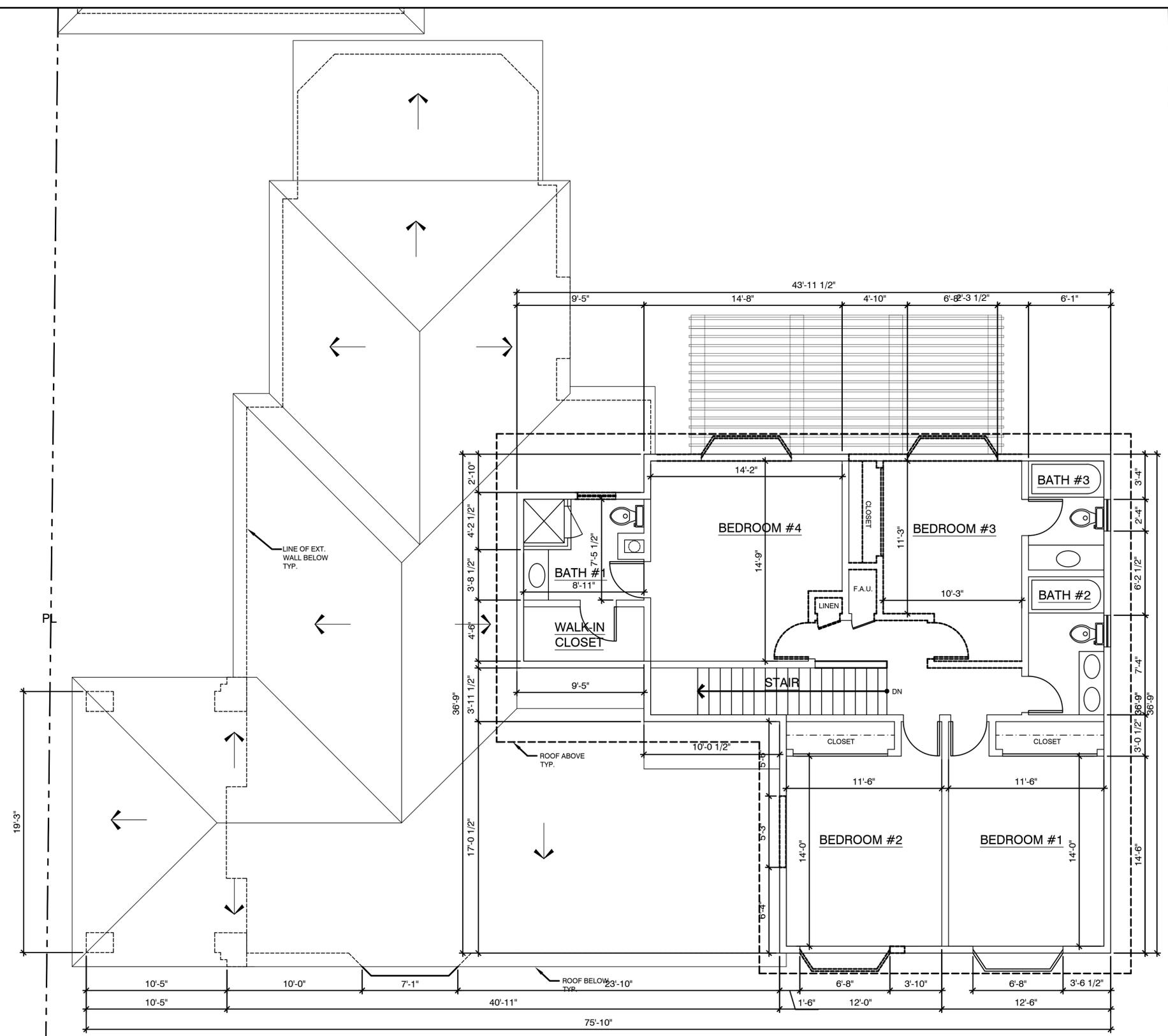
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(E) & DEMO 2ND FLOOR PLAN**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-4.01**  
OF SHEETS



**(E) AND DEMOLITION 2ND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
0 1 2 3 4 5 10 15 FT



**LEGEND**  
 — (E) TO REMAIN  
 - - - (E) TO BE REMOVED



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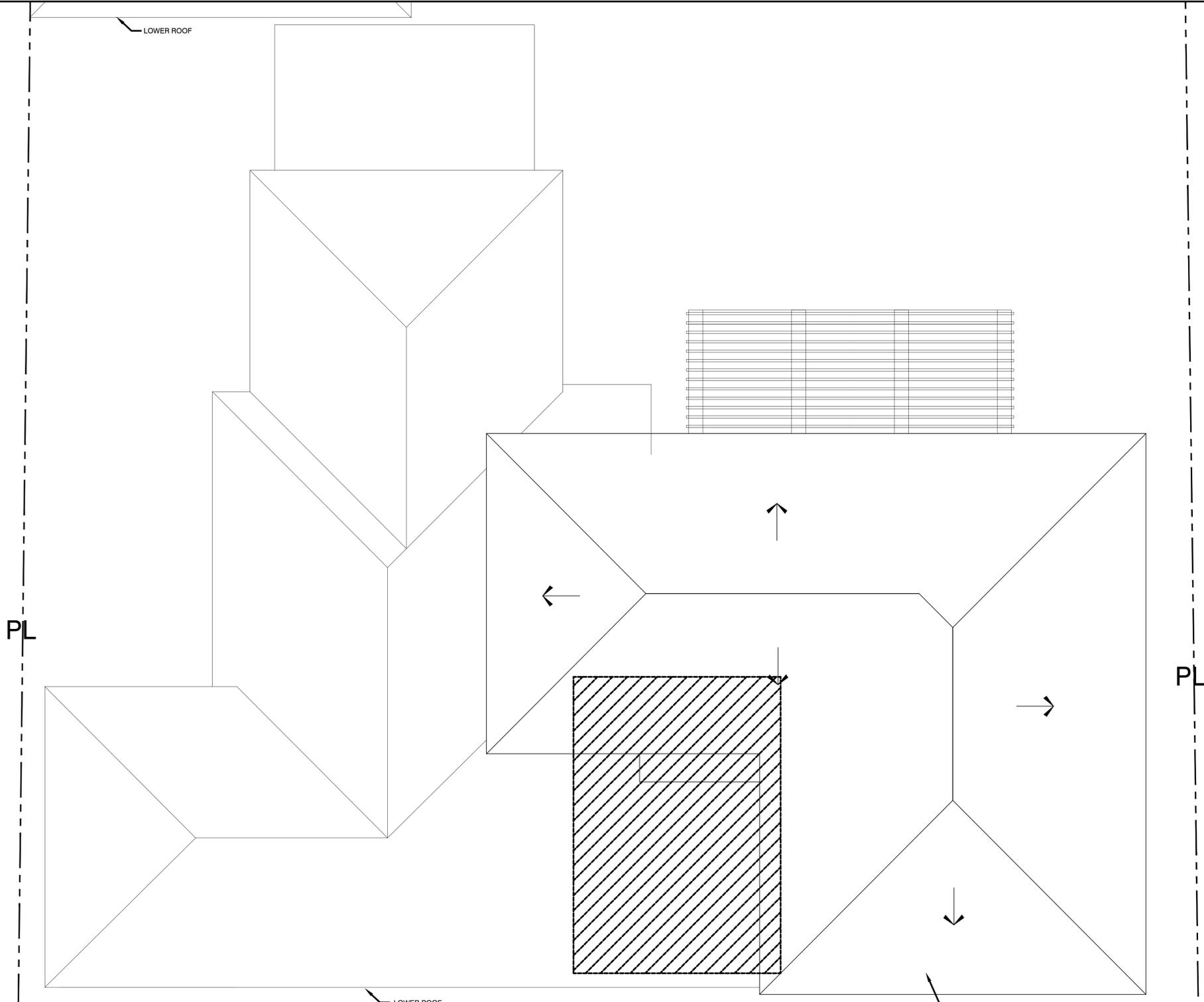
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(E) & DEMO ROOF PLAN**

NO.	DATE	BY	REVISION

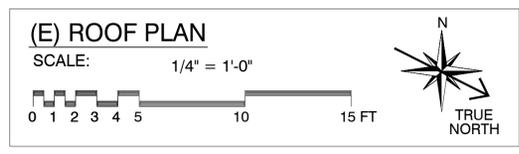
SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-5.01**  
OF SHEETS



PL

PL



**LEGEND**

— (E) TO REMAIN

▨ (E) TO BE REMOVED



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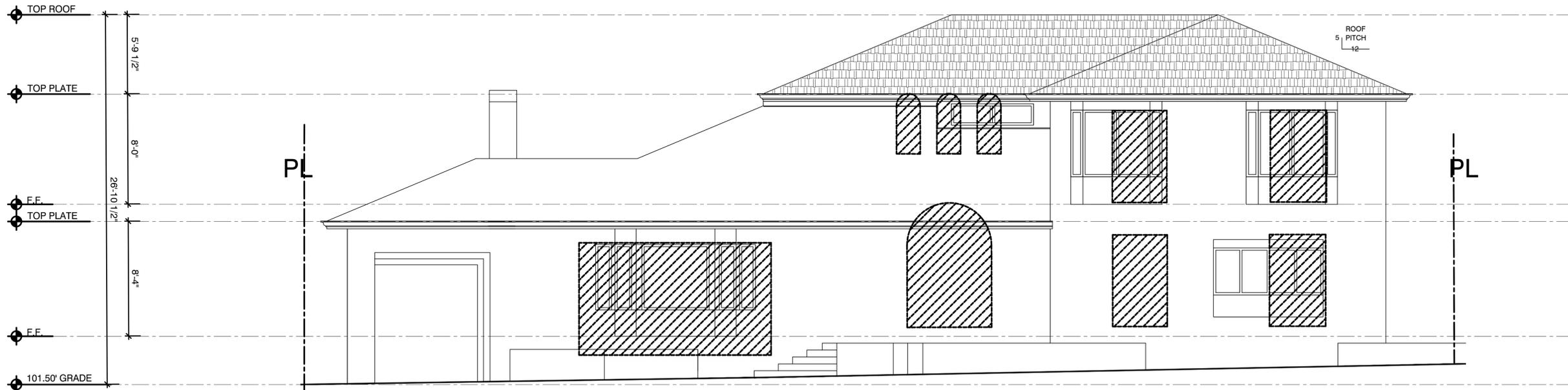
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE  
**(E) EAST & WEST ELEV**

NO.	DATE	BY	REVISION

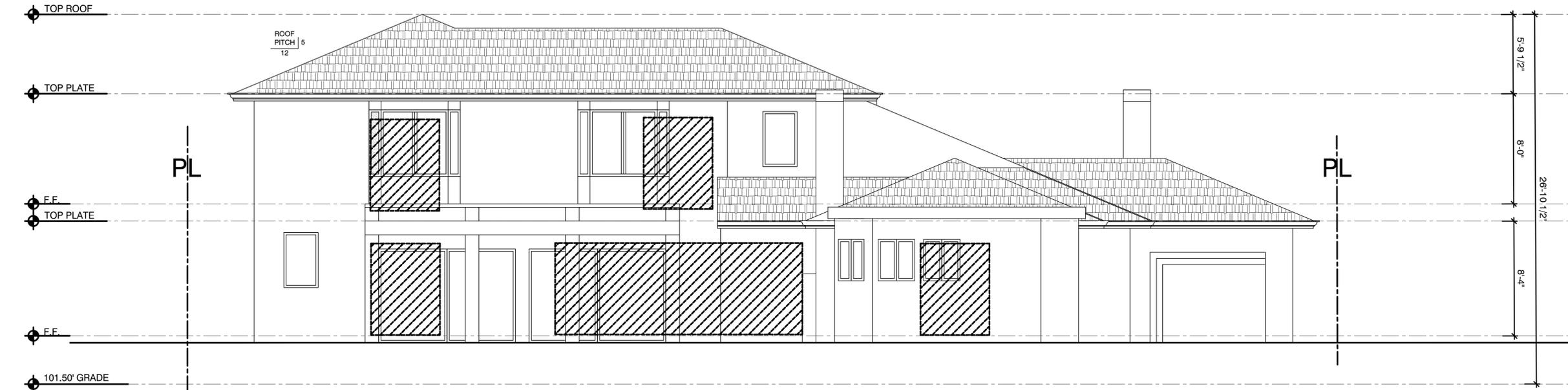
SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-6.01**  
OF SHEETS



**(E) AND DEMOLITION FRONT ELEVATION EAST**  
SCALE: 1/4" = 1'-0"

LEGEND  
 \_\_\_\_\_ (E) TO REMAIN  
 \_\_\_\_\_ (E) TO BE REMOVED



**(E) AND DEMOLITION REAR ELEVATION (WEST)**  
SCALE: 1/4" = 1'-0"

LEGEND  
 \_\_\_\_\_ (E) TO REMAIN  
 \_\_\_\_\_ (E) TO BE REMOVED



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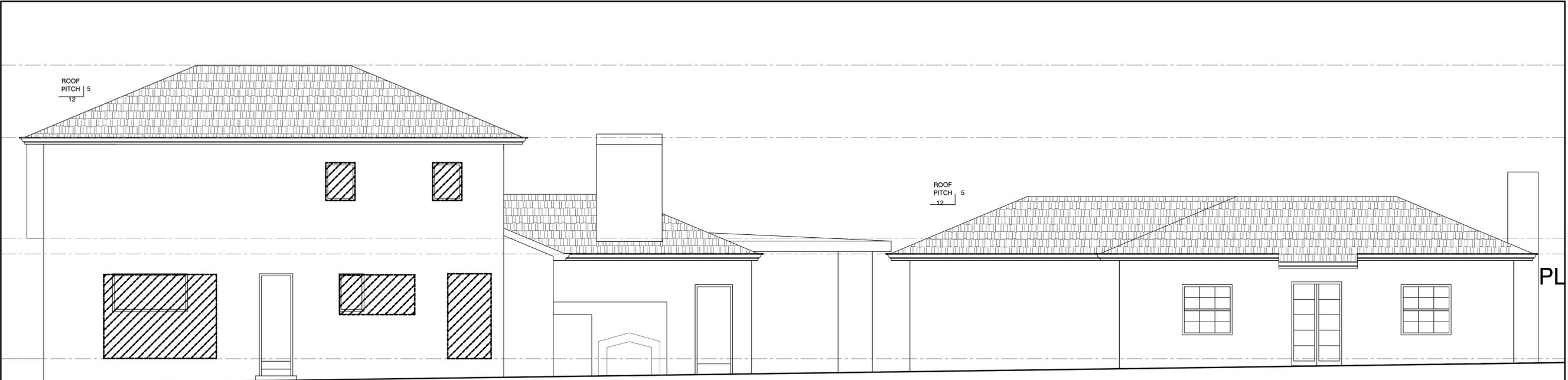
OWNER/APPLICANT:  
**MR. & MRS PARTIELI**

PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
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BEVERLY HILLS, CA 90210

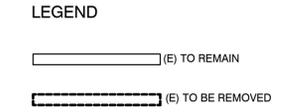
SHEET TITLE  
**(E) NORTH & SOUTH ELEV**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:  
SHEET  
**A-7.01**  
OF SHEETS



**(E) AND DEMOLITION SIDE ELEVATION NORTH**  
SCALE: 1/4" = 1'-0"



**(E) AND DEMOLITION SIDE ELEVATION SOUTH**  
SCALE: 1/4" = 1'-0"





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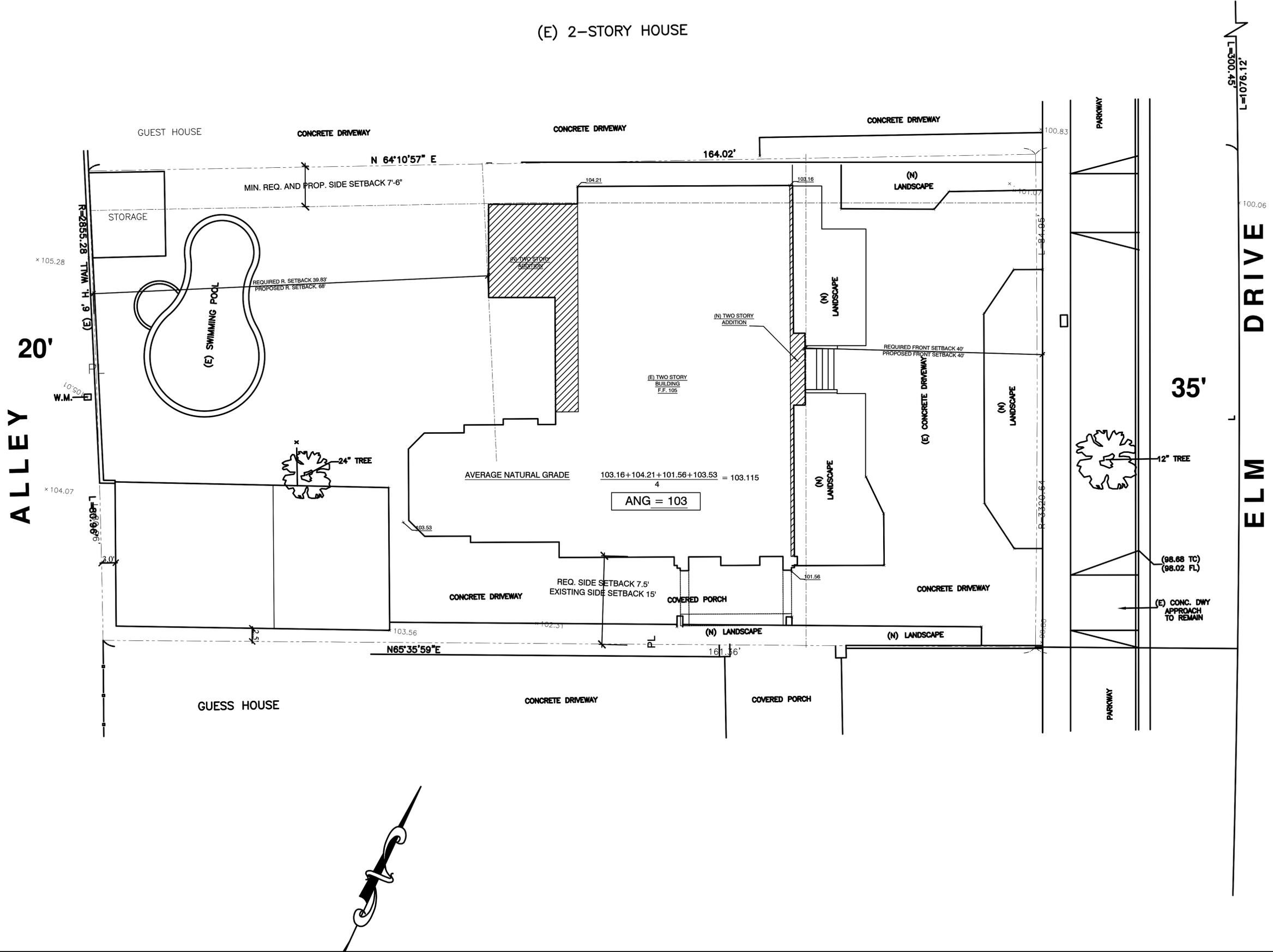
SHEET TITLE  
**(E) & DEMO 1ST. FLOOR PLAN**

NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-8.01**  
OF SHEETS

**(E) 2-STORY HOUSE**



**ALLEY**  
20'

**ELM DRIVE**  
35'



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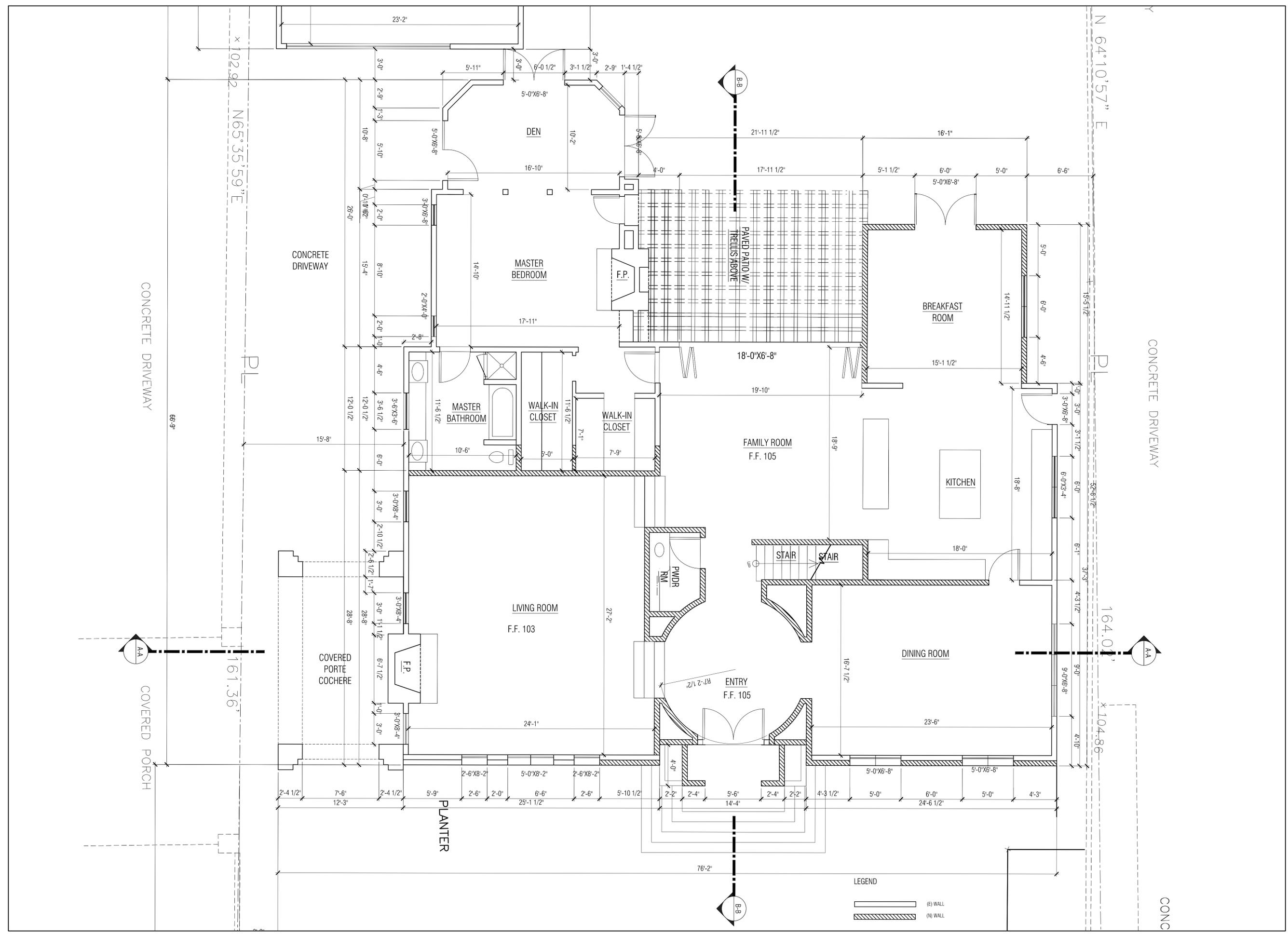
PROJECT & ADDRESS:  
**TWO-STORY SINGLE FAMILY DWELLING**  
625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210

SHEET TITLE:  
**(N) GROUND FLOOR PLAN**

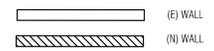
NO.	DATE	BY	REVISION

SCALE:  
DRAWN:  
DATE: SEP. 22, 2011  
JOB NUMBER:

SHEET  
**A-9.01**  
OF SHEETS



LEGEND

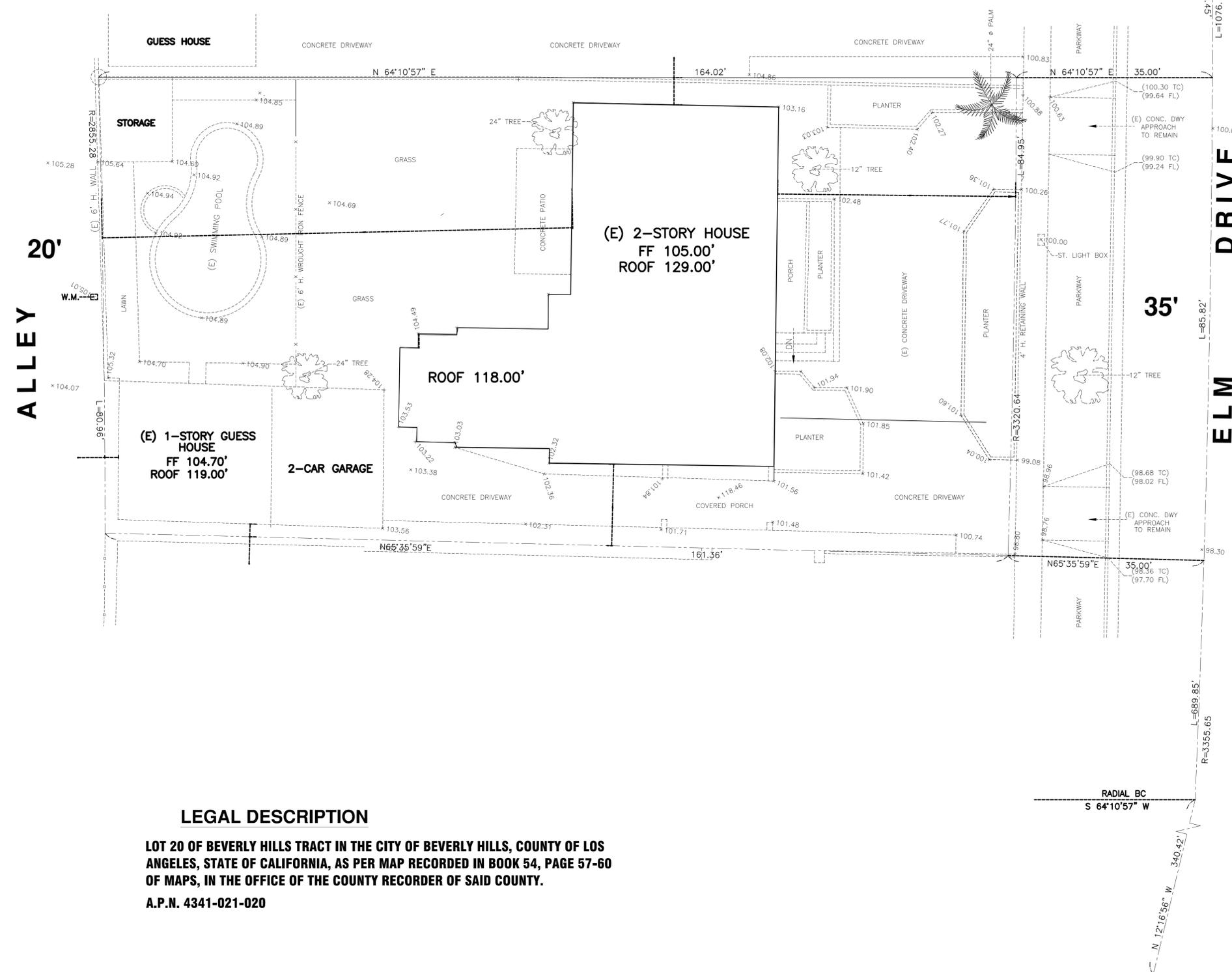


CONC

ELEVADO AVENUE

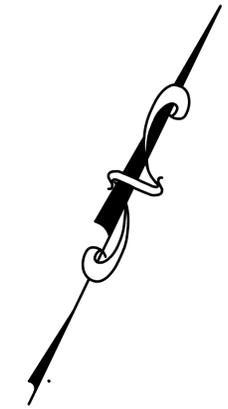
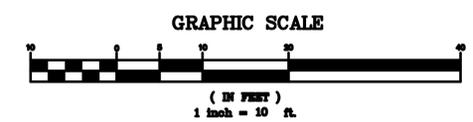
LEGEND

TC	TOP OF CURB
FL	FLOWLINE
TVG	TOP OF V-GUTTER
FF	FINISH FLOOR
PE	PAD ELEVATION
P.A.	PLANTING AREA
FS	FINISH SURFACE
FG	FINISH GRADE
CONC.	CONCRETE
H.	HIGH
BW	BACK OF WALK
T.B.R.	TO BE REMOVE
(E)	EXIST
FD	FOUND
---	EXISTING STRUCTURE
---	PROPOSED STRUCTURE
(x 105.50)	EXISTING ELEVATION
105.50	PROPOSED ELEVATION
C	CENTERLINE
P	PROPERTY LINE
W	WATER LINE
S	SEWER LINE



LEGAL DESCRIPTION

LOT 20 OF BEVERLY HILLS TRACT IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 54, PAGE 57-60 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
A.P.N. 4341-021-020



CARMELITA AVENUE

Underground Service Alert  
of Southern California  
CALL BEFORE YOU DIG  
CALL: TOLL FREE  
1-800-227-2600  
Two Working Days Before You Dig

PREPARED BY: **C D S**  
CIVIL DESIGN SURVEYING  
7847 FLORENCE AVENUE SUITE 128  
DOWNEY, CA 90240  
(562) 760-6040 TEL  
(562) 806-8481 FAX  
EMAIL: cdseng@yahoo.com  
WWW.CDSCONSULTINGGROUP.NET

CIVIL ENGINEER  
ENGINEER  
PETER A. QUENTIN RCE 32085  
EXP. 12-31-10  
Date

BOUNDARY SURVEY AND TOPOGRAPHIC MAP  
SITE ADDRESS: 625 N. ELM DRIVE  
BEVERLY HILLS, CA 90210  
SCALE: 1"=10' DRAWN BY: JV CHECKED BY: JV/PAQ  
JOB NO:  
DATE:  
SHEET 1 OF 1  
COUNTY OF BEVERLY HILLS



HOUSE ON THE LEFT  
(SOUTH)



EXISTING HOUSE  
(SITE)



HOUSE ON THE RIGHT  
(NORTH)



VIEW FROM LEFT  
(SOUTH)



FRONT VIEW  
(REFERENCE WEST)



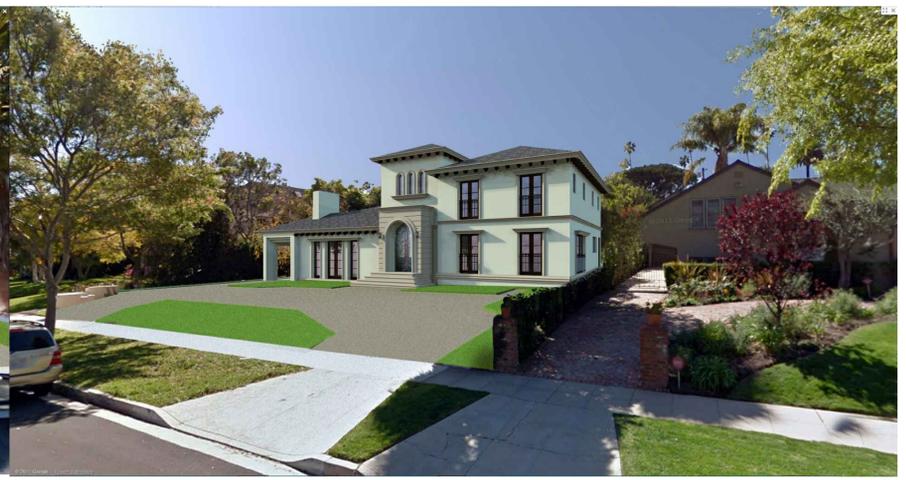
VIEW FROM RIGHT  
(NORTH)



COMPOSITE VIEW  
FROM LEFT (SOUTH)



COMPOSITE FRONT VIEW  
(REFERENCE WEST)



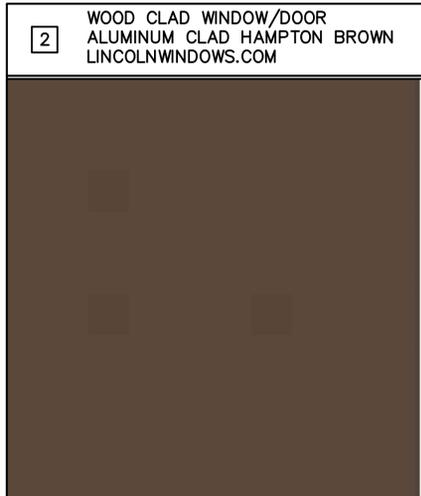
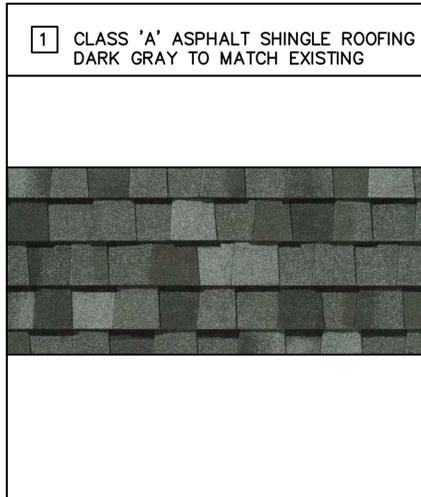
COMPOSITE VIEW FROM RIGHT  
(NORTH)

# TWO-STORY SINGLE FAMILY DWELLING

625 N. ELM DRIVE BEVERLY HILLS, CA 90210

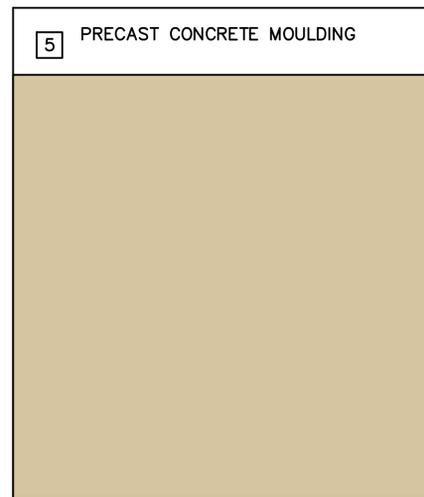
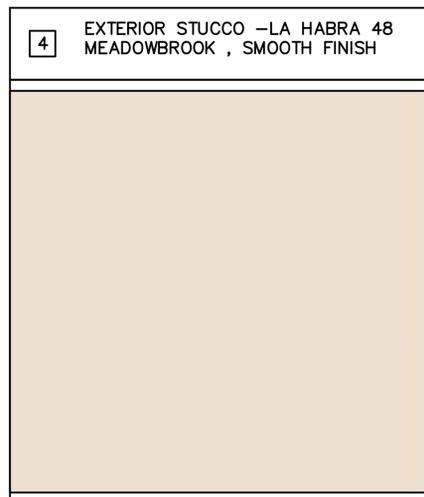
MR. & MRS PARTIELI  
**TWO-STORY SINGLE FAMILY  
 DWELLING**

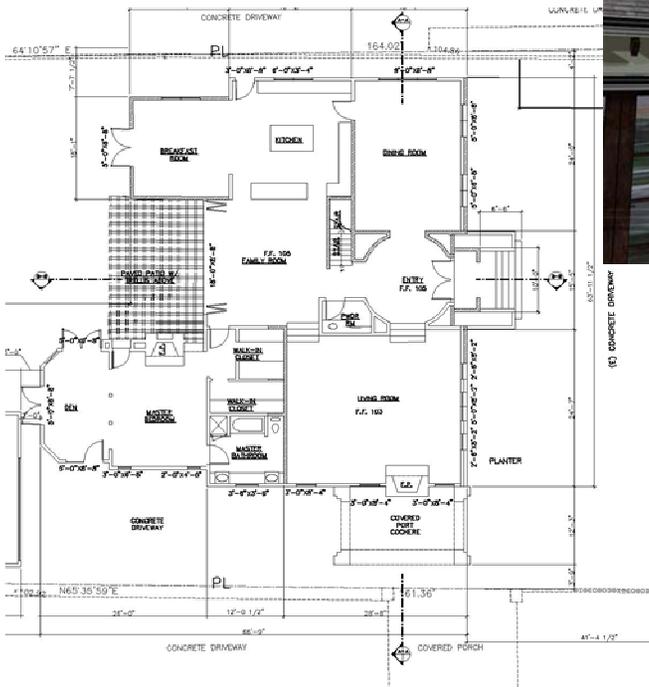
625 N. ELM DRIVE  
 BEVERLY HILLS, CA 90210



**LEGEND**

- 1 CLASS 'A' ASPHALT SHINGLE ROOFING TO MATCH (E)
- 2 WOOD CLAD WINDOW/DOOR
- 3 ENTRY DOOR OPTION 1 -HUBBARD MODEL 432
- 4 EXTERIOR STUCCO -LA HABRA 48 MEADOWBROOK , SMOOTH FINISH
- 5 PRECAST CONCRETE MOULDING
- 6 WROUGHT IRON RAIL -BLACK
- 7 LIGHTING FIXTURE
- 8 ENTRY DOOR OPTION 2 -SANTA FE





ground floor plan



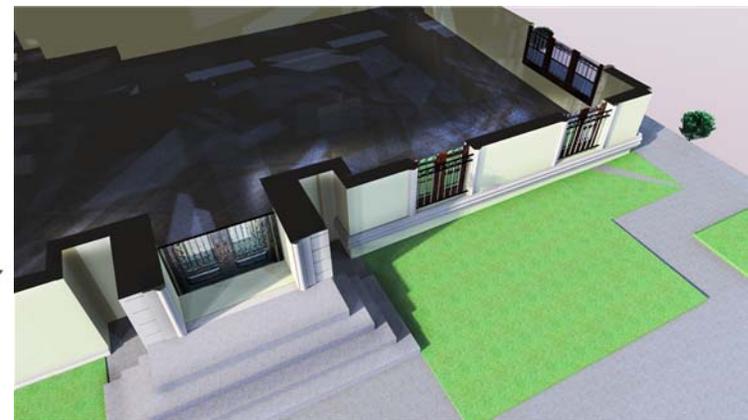
entrance detail



vertical wall section



main elevation (east)



horizontal wall section

**Analytique**  
 Mrs. & Mr. Partieli Residence  
 625 N. Elm Dr., Beverly Hills, CA 90210



**FRONT ELEVATION**

SCALE: 1/8" = 1' 0"



**Jacaranda mimosifolia'**



**Archontophoenix cunninghamiana**  
King Palm, multi trunk (3)



**Azalea 'George Tabor'**



**Ligustrum texanum**  
Texas Privet



**Buxus japonica**  
Japanese boxwood



**Lavendula augustifolia**  
English Lavender



**Dietes vegeta 'Varigated'**  
Varigated Fortnight Lily



**Agapanthus 'Queene Anne'**  
'Lily of the Nile'

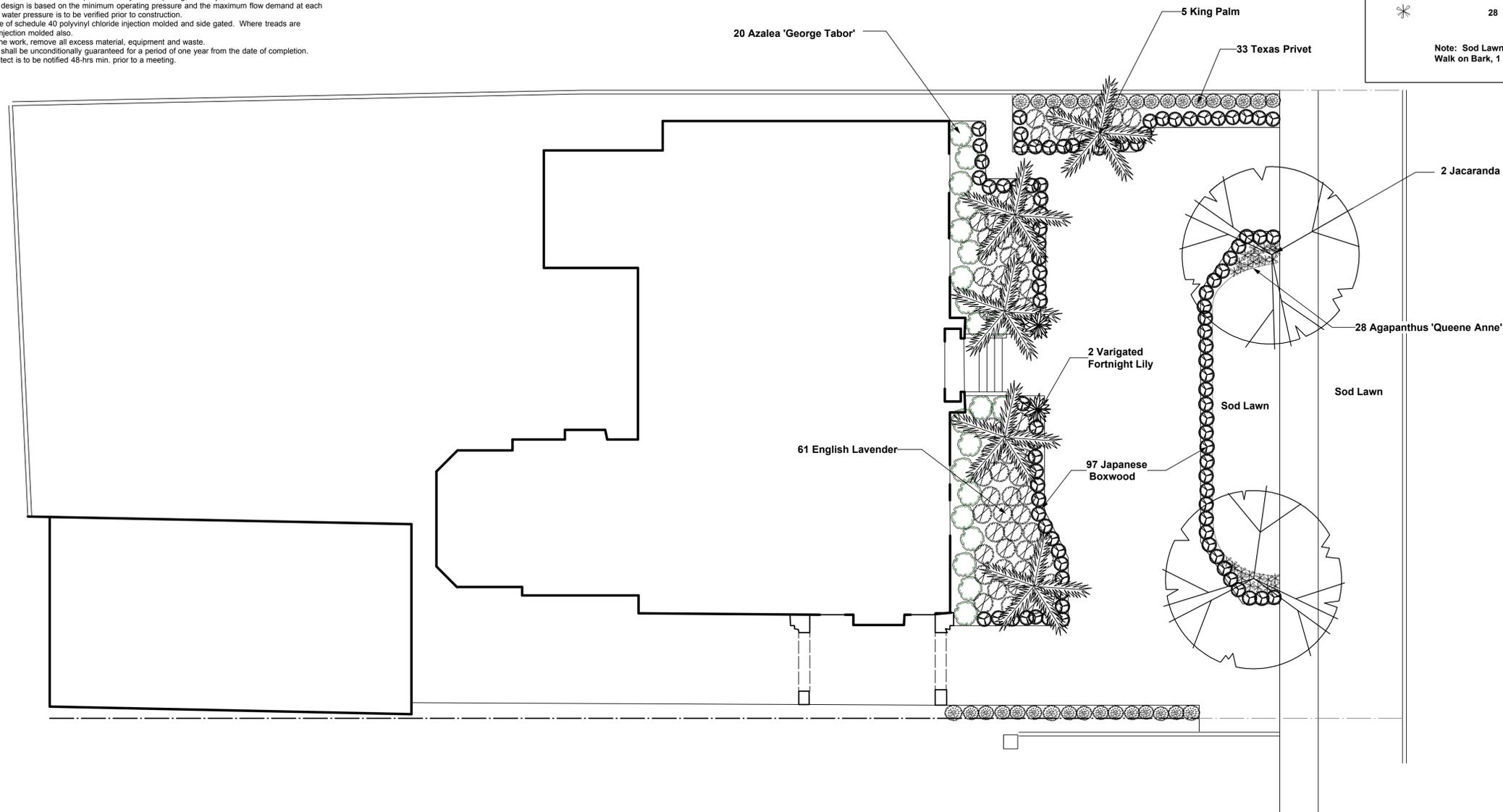
**IRRIGATION NOTES**

1. All workmanship shall conform to local building and plumbing codes. The contractor will be responsible for all permits required.
2. Prior to submitting a bid, examine the existing conditions of the site; verify utilities and services prior to trenching verify all plant material to be saved with the landscape architect.
3. The installation and operation must be approved by the landscape architect. The contractor will be responsible for the operation and guarantee of the entire system. The landscape architect is responsible only for design layout. The landscape architect is to lay out the lawn line.
4. Head to head coverage is to be provided in all areas. Avoid overspray into walks, buildings, driveways, etc. Select heads with the arc of spray most suited for the type of planting indicated on the planting plan.
5. The irrigation system is to be fully automatic. The contractor is to label all valves and supply a chart at each automatic timer. The contractor is responsible to explain the operation of the system and timer functions to the owner.
6. Verify the timer location with the owner and Landscape Architect. Water times to be programmed to operate between 10:00pm and 7:00am.
7. Pressure reducing valve shall be installed where pressure at meter exceeds 80 psi.
8. All valves and piping shall be located in planting areas except where it is feasible to do so. All valves are to be underground unless approved by the Landscape Architect.
9. Avoid interfering irrigation system with constructed elements, trees or plants. Trees should be planted prior to installation of irrigation system. Coordinate irrigation work with planting plans to avoid conflicting locations between piping and plant pits.
10. Provide separate valve systems for lawn, shrub & solar exposure as necessary.
11. Provide double swing joints on all risers.
12. Provide drip system for screening hedge material; verify trees to be on drip with Landscape architect.
13. All pressure lines shall be Sch. 40 PVC buried a min. of 18" below grade, all non-pressure lines shall be Class 200 PVC buried a min. of 12" below grade.
14. All piping, PVC electrical sleeves, etc., under paving shall be installed prior to paving work. No tees, elbows or other turns in piping shall be located under paving. Cap all ends hand tight prior to backfill.
15. Connection between controller and remote control valves shall be made with direct burial AWG-UF 600-volt wire. Wire sizing to be no. 14. All splices must be waterproofed.
16. Initial backfill on plastic lines shall be of a fine granular material with no foreign matter larger than 1/2" in size. Backfill for trenching shall be compacted to a dry density equal to the adjacent undisturbed soil, and shall conform to adjacent grades without dips humps or irregularities.
17. Provide and install Champion hose bibs on staked galvanized risers. Install decorative hose bibs at Owner's request.
18. Provide check valves as required.
19. Pop-up sprinklers shall be used in all landscaped areas adjacent to paving, walkways, and in all lawn areas.
20. The sprinkler system design is based on the minimum operating pressure and the maximum flow demand at each point of connection. The water pressure is to be verified prior to construction.
21. Plastic fittings shall be of schedule 40 polyvinyl chloride injection molded and side gated. Where treads are required, these shall be injection molded also.
22. Upon completion of the work, remove all excess material, equipment and waste.
23. The sprinkler system shall be unconditionally guaranteed for a period of one year from the date of completion.
24. The Landscape Architect is to be notified 48-hrs min. prior to a meeting.

**LEGEND**

SYMBOL	QUANTITY	PLANT	SIZE
	2	Jacaranda mimosifolia'	48" BOX
	5	Archontophoenix cunninghamiana King Palm, multi trunk (3)	36" BOX
	61	Lavendula augustifolia English Lavender	5 GALLON
	97	Buxus japonica Japanese boxwood	5 GALLON
	20	Azalea 'George Tabor'	15 GALLON
	33	Ligustrum texanum Texas Privet	5 GALLON
	2	Dietes vegeta 'Varigated' Varigated Fortnight Lily	5 GALLON
	28	Agapanthus 'Queene Anne' Lily of the Nile	1 GALLON

Note: Sod Lawn with Marathon 2, all planting areas to be covered with Walk on Bark, 1 1/2" thick.



**PLANTING PLAN**

SCALE: 1/8" = 1' 0"



Steve Hug - Landscape Architect  
19162-1 Index St. Northridge, CA 91326  
(818) 360-7206

**PLANTING PLAN**

drawing title:

**RESIDENCE**  
625 NORTH ELM DRIVE  
BEVERLY HILLS, CA 90210

client:

8-27-11

date:

**1** of 4