



AGENDA REPORT

Meeting Date: December 6, 2016

Item Number: F-3

To: Honorable Mayor & City Council

From: Ryan Gohlich, AICP
Assistant Director of Community Development / City Planner

Subject: AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS §10-3-2509, §10-3-2409, AND §10-3-100 TO ALLOW DECKS LOCATED AT FINISHED FIRST FLOOR LEVEL THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AND CENTRAL AREAS OF THE CITY, AND TO EXPRESSLY EXEMPT THE SUBTERRANEAN SPACE CREATED BELOW THE DECKS FROM COUNTING AS FLOOR AREA. THE CITY COUNCIL WILL ALSO CONSIDER ADOPTION OF A CATEGORICAL EXEMPTION, PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Attachments:

1. Ordinance
2. Planning Commission Resolution No. 1784, recommending a Zone Text Amendment
3. August 25, 2016 Planning Commission Staff Report (without attachments)
4. Public Notice
5. Architectural Plans

RECOMMENDATION

Staff recommends that the City Council move to waive the full reading of the ordinance and that the ordinance entitled "AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS §10-3-2509, §10-3-2409, AND §10-3-100 TO ALLOW DECKS LOCATED AT FINISHED FIRST FLOOR LEVEL THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AND CENTRAL AREAS OF THE CITY,

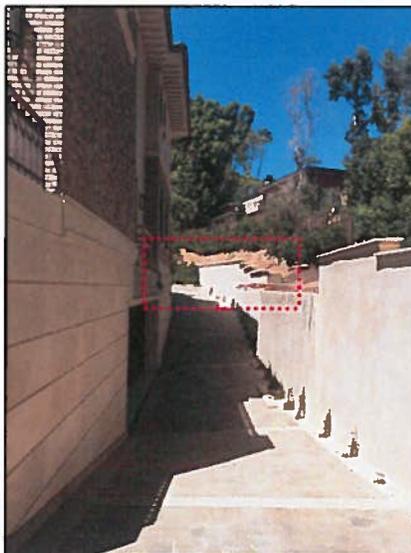
AND TO EXPRESSLY EXEMPT THE SUBTERRANEAN SPACE CREATED BELOW THE DECKS FROM COUNTING AS FLOOR AREA” be introduced and read by title only.

INTRODUCTION

This Ordinance is the result of a request for a Zone Text Amendment associated with a proposed deck located at the finished first floor level of a residence. The deck would cover portions of a driveway that leads to subterranean parking, and would encroach in a required side yard on the property at 1011 Lexington Road. Currently, the Beverly Hills Municipal Code (BHMC) allows decks over subterranean driveway ramps as a permissible setback encroachment in the Central Area of the City, but does not afford the same opportunity in the Hillside Area. Specifically, the zoning code currently allows decks to extend into a required yard; however, the code does not allow a deck to extend into a required yard if the deck has a driveway that leads to subterranean parking below it. The proposed Zone Text Amendment would allow a deck with a driveway underneath it to extend into a required yard. Thus, the applicant has requested a Zone Text Amendment to amend BHMC §10-3-2509 in order to allow said decks as permissible encroachments in side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Additionally, BHMC §10-3-2409 (regarding these types of decks in the Central Area) would be amended (non-substantively) to ensure it is consistent with the language proposed for the Hillside Area of the City. Lastly, the Floor Area definition applicable to single-family residential zones in BHMC §10-3-100 would be clarified to exempt the space created below the proposed decks from being counted as floor area.

The Planning Commission reviewed the proposed project at its August 25, 2016 meeting, and unanimously adopted Resolution No. 1784 (Attachment 2) recommending the subject Zone Text Amendment to the City Council.

This report analyzes the proposed Ordinance, with specific analysis on bulk and mass, privacy, and landscaping. The proposed Ordinance would allow a deck that acts as an extension of outdoor space that is contiguous with the first floor level of a main residence and that also acts as a cover to portions of a driveway that leads to subterranean parking to encroach in a required side yard, street side yard, pad edge setback, and rear yard in the Hillside Area of the City. Such decks are currently allowed by-right in the Central Area of the City, and approval of the Zone Text Amendment would allow these types of decks to be constructed by-right in the Hillside Area as well. Staff’s analysis concludes that permitting such decks in the Hillside Area will provide consistency between the regulations in the Central and Hillside Areas of the City, as well as soften the appearance of unsightly trenches created by excavation for driveways leading to subterranean parking.



Location of Proposed Deck
Capping Driveway Trench

A draft Ordinance is included as Attachment 1, which, if adopted, would allow the proposed deck-over-driveway at 1011 Lexington Road.

BACKGROUND

Applicant Information

Property Owner:	Soraiya Hanasab Trust
Project Representative:	Harouni-Hafco & Associates
Project Architect:	Harouni-Hafco & Associates

Project Description

The proposed Zone Text Amendment is associated with a proposed project on the property located at 1011 Lexington Road, at the corner of Lexington Road and Woodland Drive, just above the line of demarcation between the Hillside and Central areas of the City. The site's front property line is along Lexington Road and Woodland Drive. The site is surrounded by one- and two-story single-family homes and measures 29,620 square feet in area. The site was recently developed with a two-story single-family residence with a basement. Construction of the new residence is complete.

The proposed project consists of allowing the construction of an outdoor deck located at the level of the finished first floor of a single family residence. The deck covers portions of a driveway that leads to subterranean parking, and would encroach in a required side yard. The project would not add any additional floor area to the site. As part of the Zone Text Amendment, the floor area definition applicable to single-family residential zones would be clarified to expressly exempt the subterranean space created below a deck over a driveway from counting as floor area. Lastly, as recommended by the Planning Commission as a way to mitigate potential noise and privacy impacts, the Zone Text Amendment language includes a requirement for a landscape buffer between the deck and any adjacent property.

Requested Entitlements

As proposed, the project requires the following action by the City Council in order to be constructed:

Zone Text Amendment:

- Amendment of BHMC §10-3-2509 (Permissible Encroachments in Side Yards, Street Side Yards, Pad Edge Setbacks, and Rear Yards) to allow a deck located at finished first floor level that covers portions of a driveway that leads to subterranean parking as a permissible encroachment in a required side yard, street side yard, pad edge setback, and rear yard in the Hillside Area of the City; and
- Amendment of BHMC §10-3-2409 (Permissible Encroachments in Side Yards, Street Side Yards, and Rear Yards) to ensure consistency with the language proposed for the Hillside.

- Amendment of BHMC §10-3-100 (Definitions) to expressly exempt the subterranean space created below a proposed deck from counting as floor area;

Planning Commission Review

At the August 25, 2016 Planning Commission hearing, the Planning Commission spoke in favor of the deck as a visual enhancement to what otherwise appears as a trench formed by a driveway leading to subterranean parking. The Commission also expressed concerns over applying the proposed provision to all single-family properties in the Hillside Area without changes to the language in order to mitigate potential privacy and noise impacts to adjacent properties. Consequently, to mitigate impacts, the Planning Commission recommended that the Zone Text Amendment include a requirement for a substantial landscape buffer between the deck and any adjacent property. Staff noted during the meeting that the zoning code currently allows decks to extend into a required yard; however, the code does not allow a deck to extend into a required yard if the deck has a driveway that leads to subterranean parking below it. The proposed Zone Text Amendment would allow a deck with a driveway underneath it to extend into a required yard. The requirement for substantial landscaping between the deck and any adjacent property would buffer the adjacent neighbor from any potential privacy or noise impacts arising from the use of the deck. Lastly, the Commission also recommended amending the existing deck-over-driveway provision for the Central Area to ensure consistency with the language proposed for the Hillside Area.

Upon approval of the Zone Text Amendment, decks meeting the development standards in the proposed language would be approved administratively.

General Plan¹ Policies

The General Plan includes numerous goals and policies intended to guide development in the City. Some policies relevant to the City Council's review of the Project include:

Policy LU 2.1 City Places: Neighborhoods, Districts, and Corridors. Maintain and enhance the character, distribution, built form, scale, and aesthetic qualities of the City's distinctive residential neighborhoods, business districts, corridors, and open spaces.

Policy LU 2.3 Hillside Development. Maintain the natural landforms that define the City and require that development on hillsides and in canyon areas be located, designed, and scaled to respect the natural topography and landscape.

Policy LU 2.4 Architectural and Site Design. Require that new construction and renovation of existing buildings and properties exhibit a high level of excellence in site planning, architectural design, building materials, use of sustainable design and construction practices, landscaping, and amenities that contribute to the City's distinctive image and complement existing development.

Policy LU 6.2 Housing Character and Design. Require that new, renovated, and additions to housing be located and designed to maintain the distinguishing characteristics and qualities of the neighborhoods in which they are located, including prevailing lot sizes, building form, scale,

¹ The Beverly Hills General Plan is available online at <http://www.beverlyhills.org/business/constructionlanduse/generalplan/generalplandocument/>

massing, relationship to street frontages, architectural design, landscaping, property setbacks, and other comparable elements.

Policy LU 6.3 Housing Scale and Mass. Regulate renovations of and additions to single-family housing to ensure that they do not adversely alter the contextual scale, mass, and design qualities of existing structures.

ENVIRONMENTAL ASSESSMENT

This project has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA, Public Resources Code Sections 21000 *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the environmental regulations of the City.

The project appears to qualify for a Class 3 Categorical Exemption pursuant to Section 15303 (New Construction or Conversion of Small Structures) and a Class 5 Categorical Exemption pursuant to Section 15305 (Minor Alterations in Land Use Limitations). The exemptions are applicable to projects characterized as construction of new, small structures accessory to a residence, as well as minor changes in land use limitations such as the amendment to the zoning code to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Furthermore, allowing such decks in the Hillside would not result in additional grading as driveways that lead to subterranean parking are currently allowed structures in the Hillside, and the proposed decks would be covering the already-approved driveway structures. Therefore, the project has been determined not to have a significant environmental impact and could qualify for the exemption from the provisions of CEQA as noted above.

PUBLIC NOTICE AND COMMENTS

Public notice was provided for the City Council hearing in the form of newspaper publication, site posting, and direct mailing. Newspaper notices ran in the Beverly Hills Courier on Friday, November 25 and the Beverly Hills Weekly on Thursday, December 1. The Planning Commission also held a duly noticed public hearing on August 25, 2016 where the applicant's representative provided oral comments regarding the history of the request. The applicant's representative discussed that they had originally supported the Zone Text Amendment when the City began the process of amending the Central Area single-family development standards. At the time, the applicant was not aware that the adopted provision would not apply to the subject property which is located in the Hillside Area. As of the writing of this report, staff has not received any additional written comments on this matter.

ANALYSIS²

Adoption, alteration, or denial of the proposed Zone Text Amendment is based upon whether the Zone Text Amendment will result in a benefit to the public interest, health, safety, morals, peace, comfort, convenience, or general welfare. The draft Ordinance in Attachment 1 to this report contains draft language that may be used to guide the Council's deliberation on the subject project.

The following analysis describes the different elements and prior city actions related to the Zone Text Amendment regarding decks located at finished floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City.

Zoning regulations currently do not have any provisions to allow these decks on single-family properties in the Hillside Area of the City. These types of decks became allowed in the Central Area as part of an ordinance developed in response to City Council direction to consider amendments to the Central Area single-family development standards in order to address concerns related to bulk and mass. The Zone Text Amendment to allow such decks in the Central Area was approved to allow property owners to cover portions of driveways and provide hardscape or landscaping on this area, with the aim of creating a better appearance as viewed from the street and a better experience for the adjacent neighbor who would no longer be directly adjacent to a concrete trench and ramp leading to the neighbor's basement.

Prior to the Zone Text Amendment for the Central Area, a covered driveway ramp met the zoning code definition of basement and was, therefore, not permitted as an encroachment in the side setback. Allowing such decks as an encroachment in required yards was not only consistent with a two-foot-wide side setback landscape requirement recommended by the consultants and later adopted by City Council, but it also worked in tandem with the City's efforts to provide options for off-street parking solutions that do not contribute to bulk and mass. Facilitating subterranean parking would not contribute to bulk and mass because an additional structure to house additional parking would not need to be constructed, and covering the access to the subterranean parking level would allow for a residence to continue to appear as a two-story structure rather than a three-story structure when viewed from the street or from neighboring properties.

The proposed Zone Text Amendment would allow such decks, which are already allowed structures in the Central Area of the City, to be allowed in the Hillside Area of the City, thereby extending the opportunity to screen unsightly trenches caused by driveways to subterranean parking to the Hillside Area. The Zone Text Amendment would create the following provision which would allow such decks to constitute permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards of a single-family home, thereby allowing the decks to be built by-right, without requiring a discretionary entitlement:

Decks located at finished first floor level, covering portions of a driveway that leads directly to subterranean parking for residences, provided, further, that required handrails

² The information provided in this section is based on analysis prepared by the report author prior to the public hearing. The City Council, in its review of the administrative record and based on public testimony, may reach a different conclusion from that presented in this report and may choose to make alternate findings. A change to the findings may result in a final action that is different from the staff recommended action in this report.

for such elements shall not extend more than forty two inches (42") above the deck floor level and that the length of the deck shall be limited to 24' or the width of the opening into the subterranean parking, whichever is less, provided that a substantial landscape buffer is provided between the deck and any adjacent property;³

Subsequent to the adoption of the Central Area single-family development standards two years ago, staff identified needed clarifications to the language for improved implementation of the intent of the provision. This ordinance captures the needed clarifications for the language in both the Hillside and Central Areas of the City.

As mentioned previously, the Planning Commission recommended that the existing language for the Central Area be amended to match the proposed language for the Hillside Area for continuity. Staff and the Planning Commission also recommended that the floor area definition in BHMC 10-3-100 be clarified to exempt the subterranean space created below the proposed decks from counting as floor area as the decks would be a feature that would both reduce the visual impacts created from excavation for subterranean parking as well as reduce bulk and mass. Unlike in the Central Area of the City, floor area in the Hillside Area of the City is categorized by both above grade floor area—which exempts basement square footage as well as up to 400 square feet of garage area per the definition in BHMC 10-3-100—and “cumulative floor area”—which includes all above grade floor area and below grade square footage (basements), with basement floor area exemptions for up to 1,600 square feet of basement garage area and up to 300 square feet of basement mechanical area per BHMC 10-3-2502B. In the Hillside, the subterranean space created below the proposed decks would be exempt from both floor area calculations.

Based on this analysis, staff believes that the proposed Zone Text Amendment will provide consistency between the regulations pertaining to single-family properties located in the Central Area and to those pertaining to single-family properties in the Hillside Area, compliment City measures that address bulk and mass, and provide an attractive option for capping driveways that lead to subterranean parking.

FISCAL IMPACT

No fiscal impact to the City is anticipated from a Council decision on this matter.

³ Note: Since the Planning Commission hearing staff has made minor non-substantive wording changes to clarify the recommended language. The wording “width of the deck” was modified to “length of the deck” and the wording “opening of the driveway” was modified to “width of the opening to the subterranean parking”.

RECOMMENDED ACTION

Staff recommends that the City Council move to waive the full reading of the Ordinance and that the ordinance entitled "AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS §10-3-2509, §10-3-2409, AND §10-3-100 TO ALLOW DECKS LOCATED AT FINISHED FIRST FLOOR LEVEL THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AND CENTRAL AREAS OF THE CITY, AND TO EXPRESSLY EXEMPT THE SUBTERRANEAN SPACE CREATED BELOW THE DECKS FROM COUNTING AS FLOOR AREA" be introduced and read by title only.

Susan Healy Keene, AICP
Director of Community Development


Approved By

ATTACHMENT 1

ORDINANCE

ORDINANCE NO. 16-O-_____

AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS §10-3-2509, §10-3-2409, AND §10-3-100 TO ALLOW DECKS LOCATED AT FINISHED FIRST FLOOR LEVEL THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AND CENTRAL AREAS OF THE CITY, AND TO EXPRESSLY EXEMPT THE SUBTERRANEAN SPACE CREATED BELOW THE DECKS FROM COUNTING AS FLOOR AREA.

THE CITY COUNCIL OF THE CITY OF BEVERLY HILLS HEREBY ORDAINS AS FOLLOWS:

Section 1. On August 25, 2016, the Planning Commission held a duly noticed public hearing after which it adopted Resolution No. 1784, recommending that the City Council amend portions of Title 10 (Planning and Zoning) of the Beverly Hills Municipal Code to include provisions related to allowing decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City, to ensure consistency with the existing provision that allows said decks in the Central Area of the City, and to exempt the subterranean space created below the decks from counting as floor area (collectively, the “Amendments”). On December 6, 2016, the City Council held a duly noticed public hearing, received public testimony, and thereafter introduced this Ordinance.

Section 2. This Ordinance and the Amendments were assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the

State CEQA Guidelines, and the environmental regulations of the City. The adoption and implementation of the Amendments would allow the construction of new, small structures accessory to a residence, as well as minor changes in land use limitations such as the amendment to the zoning code to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Furthermore, allowing such decks in the Hillside would not result in additional grading as driveways that lead to subterranean parking are currently allowed structures in the Hillside, and the proposed decks would be covering the already-approved driveway structures. Therefore, the City Council finds that the Amendments are exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) and Section 15305 (Minor Alterations in Land Use Limitations).

Section 3. The Amendments are consistent with the objectives, principles, and standards of the General Plan. General Plan Policy Land Use “2.1 City Places: Neighborhoods, Districts, and Corridors” encourages the maintenance and enhancement of the character, distribution, built form, scale, and aesthetic qualities of the City’s distinctive residential neighborhoods, business districts, corridors, and open spaces. General Plan Policy Land Use “2.3 Hillside Development” requires that natural landforms that define the City be maintained and that development on hillsides and in canyon areas be located, designed, and scaled to respect the natural topography and landscape. Furthermore, General Plan Policy Land Use “2.4 Architectural and Site Design” requires that new construction and renovation of existing buildings and properties exhibit a high level of excellence in site planning, architectural design, building materials, use of sustainable design and construction practices, landscaping, and amenities that contribute to the City’s distinctive image and complement existing development.

Additionally, General Plan Policy Land Use “6.2 Housing Character and Design” requires that new, renovated, and additions to housing be located and designed to maintain the distinguishing characteristics and qualities of the neighborhoods in which they are located, including prevailing lot sizes, building form, scale, massing, relationship to street frontages, architectural design, landscaping, property setbacks, and other comparable elements. Lastly, General Plan Policy Land Use “6.3 Housing Scale and Mass” encourages the regulation of renovations and additions to single-family housing to ensure that they do not adversely alter the contextual scale, mass, and design qualities of existing structures.

Section 4. The City Council hereby amends Section 10-3-2509 of Article 25 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code by adding one new permissible encroachment as subsection L of Section 10-3-2509 with all other provisions remaining in effect without amendment:

“L. Decks located at finished first floor level, covering portions of a driveway that leads directly to subterranean parking for residences, provided, further, that required handrails for such elements shall not extend more than forty two inches (42") above the deck floor level and that the length of the deck shall be limited to 24’ or the width of the opening into the subterranean parking, whichever is less, provided that a substantial landscape buffer is provided between the deck and any adjacent property.”

Section 5. The City Council hereby amends subsection D of Section 10-3-2409 of Article 24 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code with all other provisions remaining in effect without amendment:

“D. Decks located at finished first floor level, covering portions of a driveway ramps that leads directly to subterranean parking for residences, provided, further, that required handrails for such elements shall not extend more than forty two inches (42") above the deck floor level and that the length of the deck shall be limited to 24’ or the width of the opening into the subterranean parking, whichever is less, provided that a substantial landscape buffer is provided between the deck and any adjacent property.”

Section 6. The City Council hereby amends Section 10-3-100 of Article 1 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code by clarifying that the subterranean space created below the proposed decks is exempt from counting as floor area. Additionally, the City Council also amends this section by listing the floor area exemptions under the single-family residential zone floor area definition. All other definitions in the section remain unchanged.

The “Floor Area” definition applicable to the single-family residential zone (Subsection B of the definition) is amended to read as follows:

“B. Single-family residential zone: "Floor area" shall mean the area of all portions of floors and levels which have a roof or floor level above and are enclosed by exterior walls by more than fifty percent (50%). Further, "floor area" shall include the area of that portion of an upper level not separated from a lower level by a floor/ceiling assembly, but shall not include basements, crawl spaces, up to four hundred (400) square feet of garage area, and the space created below a deck located at the finished first floor level of a residence that extends over a driveway that leads to subterranean parking.

For the purposes of determining floor area in a single-family residential zone, "basement" shall mean any floor level below a story which has a finished floor level that is a maximum of

three feet (3') above grade at any point along the perimeter of the building facing a front or street side setback line and which has no windows exceeding eighteen inches (18") above grade at any point along such perimeter of the building. A basement may extend beyond the perimeter of the building provided that such portion of the basement is below the natural grade. For the purpose of determining whether a floor level is a basement, grade shall be defined as it is defined in California Building Code as adopted and amended in title 9 of this code.”

Section 7. Severability. If any section, subsection, subdivision, sentence, clause, phrase, or portion of this Ordinance or the application thereof to any person or place, is for any reason held to be invalid or unconstitutional by the final decision of any court of competent jurisdiction, the remainder of this Ordinance shall be and remain in full force and effect.

Section 8. Publication. The City Clerk shall cause this Ordinance to be published at least once in a newspaper of general circulation published and circulated in the City within fifteen (15) days after its passage in accordance with Section 36933 of the Government Code, shall certify to the adoption of this Ordinance, and shall cause this Ordinance and his certification, together with proof of publication, to be entered in the Book of Ordinances of the Council of this City.

Section 9. Effective Date. This Ordinance shall go into effect and be in full force and effect at 12:01 a.m. on the thirty-first (31st) day after its passage.

Adopted:
Effective:

JOHN A. MIRISCH
Mayor of the City of
Beverly Hills, California

ATTEST:

_____(SEAL)

BYRON POPE
City Clerk

APPROVED AS TO FORM:



LAURENCE S. WIENER
City Attorney

APPROVED AS TO CONTENT:

MAHDI ALUZRI
City Manager



SUSAN HEALY KEENE
Director of Community Development

ATTACHMENT 2

**PLANNING COMMISSION RESOLUTION No. 1784,
RECOMMENDING A ZONE TEXT AMENDMENT**

RESOLUTION NO. 1784

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BEVERLY HILLS RECOMMENDING ADOPTION OF AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS 10-3-2509, 10-3-2409, AND 10-3-100 REGARDING DECKS THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AREA OF THE CITY.

WHEREAS, the Planning Commission has considered the proposed amendment to the City of Beverly Hills Municipal Code, as set forth and attached hereto as Exhibit A and more fully described below (the "Amendment"); and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on August 25, 2016, at which time it received oral and documentary evidence relative to the proposed Amendment; and

WHEREAS, the Planning Commission finds that the proposed Amendment will result in a benefit to the public interest, health, safety, morals, peace, comfort, convenience, or general welfare, and that such Amendment is consistent with the general objectives, principles, and standards of the General Plan.

NOW, THEREFORE, the Planning Commission of the City of Beverly Hills does resolve as follows:

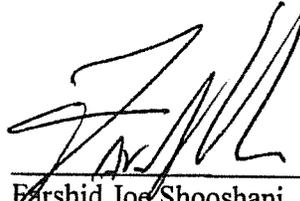
Section 1. The Amendment has been environmentally reviewed pursuant to the provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, et seq. (“CEQA”)), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, et seq. (hereafter the “Guidelines”)), and the environmental regulations of the City. The Planning Commission finds that adoption of the Amendment will not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15305 (Class 5) and 15303 (Class 3) of Title 14 of the California Code of Regulations. The Class 5 exemption is applicable to the Amendment because the Amendment results in minor changes in land use limitations and applies to properties with an average slope not exceeding 20%. Additionally, the Class 3 exemption is applicable to the Amendment because the project involves the construction of new, small structures accessory to a residence. Thus, the Planning Commission hereby finds that the Amendment is exempt from CEQA pursuant to CEQA Guidelines Sections 15305 and 15303.

Section 2. The Planning Commission does hereby find that the proposed Zone Text Amendment is intended to apply a development standard approved to address issues of bulk and mass in the Central Area to single-family residential properties in the Hillside Area by allowing decks that can include landscaping to cover portions of driveways that lead to subterranean parking as permissible encroachments in a side yard, street side yard, pad edge setback, and rear yard. This is accomplished by allowing building permits to be issued for said decks located in the Hillside Area of the City. For these reasons, the Amendment serves to benefit the public interest, health, safety, morals, peace, comfort, convenience, and general welfare of the public.

Section 3. The Planning Commission does hereby recommend to the City Council the adoption of an ordinance approving and enacting the proposed Amendment substantially as set forth in Exhibit A, which is attached hereto and incorporated herein by reference.

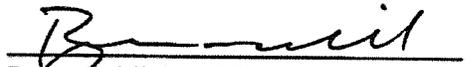
Section 4. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his/her Certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Adopted: August 25, 2016

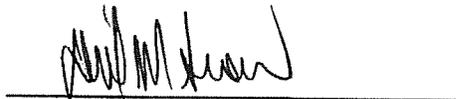


Farshid Joe Shooshani
Chair of the Planning Commission of the
City of Beverly Hills, California

Attest:


Ryan Gohlich, AICP
Secretary of the Planning Commission

Approved as to form:


David M. Snow
Assistant City Attorney

Approved as to content:

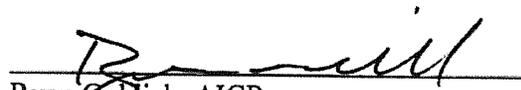

Ryan Gohlich, AICP
Assistant Director / City Planner
Community Development Department

EXHIBIT A

[DRAFT] ORDINANCE NO. 16-O-_____

AN ORDINANCE OF THE CITY OF BEVERLY HILLS AMENDING BEVERLY HILLS MUNICIPAL CODE SECTIONS §10-3-2509, §10-3-2409, AND §10-3-100 TO ALLOW DECKS LOCATED AT FINISHED FIRST FLOOR LEVEL THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING AS PERMISSIBLE ENCROACHMENTS IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS IN THE HILLSIDE AND CENTRAL AREAS OF THE CITY, AND TO EXPRESSLY EXEMPT THE SUBTERRANEAN SPACE CREATED BELOW THE DECKS FROM COUNTING AS FLOOR AREA.

THE CITY COUNCIL OF THE CITY OF BEVERLY HILLS HEREBY ORDAINS AS FOLLOWS:

Section 1. On August 25, 2016, the Planning Commission held a duly noticed public hearing after which it adopted Resolution No._____, recommending that the City Council amend portions of Title 10 (Planning and Zoning) of the Beverly Hills Municipal Code to include provisions related to allowing decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City, to ensure consistency with the existing provision that allows said decks in the Central Area of the City, and to exempt the subterranean space created below the decks from counting as floor area (collectively, the “Amendments”). On _____, the City Council held a duly noticed public hearing, received public testimony, and thereafter introduced this Ordinance.

Section 2. This Ordinance and the Amendments were assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the

State CEQA Guidelines, and the environmental regulations of the City. The adoption and implementation of the Amendments would allow the construction of new, small structures accessory to a residence, as well as minor changes in land use limitations such as the amendment to the zoning code to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Furthermore, allowing such decks in the Hillside would not result in additional grading as driveways that lead to subterranean parking are currently allowed structures in the Hillside, and the proposed decks would be covering the already-approved driveway structures. Therefore, the City Council finds that the Amendments are exempt from CEQA pursuant to Section 15303 (New Construction or Conversion of Small Structures) and Section 15305 (Minor Alterations in Land Use Limitations).

Section 3. The Amendments are consistent with the objectives, principles, and standards of the General Plan. General Plan Policy Land Use “2.1 City Places: Neighborhoods, Districts, and Corridors” encourages the maintenance and enhancement of the character, distribution, built form, scale, and aesthetic qualities of the City’s distinctive residential neighborhoods, business districts, corridors, and open spaces. General Plan Policy Land Use “2.3 Hillside Development” requires that natural landforms that define the City be maintained and that development on hillsides and in canyon areas be located, designed, and scaled to respect the natural topography and landscape. Furthermore, General Plan Policy Land Use “2.4 Architectural and Site Design” requires that new construction and renovation of existing buildings and properties exhibit a high level of excellence in site planning, architectural design, building materials, use of sustainable design and construction practices, landscaping, and amenities that contribute to the City’s distinctive image and complement existing development.

Additionally, General Plan Policy Land Use “6.2 Housing Character and Design” requires that new, renovated, and additions to housing be located and designed to maintain the distinguishing characteristics and qualities of the neighborhoods in which they are located, including prevailing lot sizes, building form, scale, massing, relationship to street frontages, architectural design, landscaping, property setbacks, and other comparable elements. Lastly, General Plan Policy Land Use “6.3 Housing Scale and Mass” encourages the regulation of renovations and additions to single-family housing to ensure that they do not adversely alter the contextual scale, mass, and design qualities of existing structures.

Section 4. The City Council hereby amends Section 10-3-2509 of Article 25 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code by adding one new permissible encroachment with all other permissible encroachments listed in the section remaining unchanged. The term “Decks located at finished first floor level, covering portions of a driveway that leads directly to subterranean parking for residences, provided, further, that required handrails for such elements shall not extend more than forty two inches (42”) above the deck floor level and that the width of the deck shall be limited to 24’ or the opening of the driveway, whichever is less provided that a substantial landscape buffer is provided between the deck and any adjacent property” is added at the end of the list of permissible encroachments in side yards, street side yards, pad edge setbacks, and rear yards as subsection L of Section 10-3-2509 with all other provisions remaining in effect without amendment:

L. Decks located at finished first floor level, covering portions of a driveway that leads directly to subterranean parking for residences, provided, further, that required handrails for such elements shall not extend more than forty two inches (42”) above the deck floor level and that the width of the deck shall be limited to 24’ or the

opening of the driveway, whichever is less provided that a substantial landscape buffer is provided between the deck and any adjacent property;

Section 5. The City Council hereby amends subsection D of Section 10-3-2409 of Article 24 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code with all other provisions remaining in effect without amendment:

“D. Decks located at **finished first floor level**, covering portions of a driveway ~~ramps~~ that leads directly to subterranean parking for residences, provided, further, that required handrails for such elements shall not extend more than forty two inches (42") above the deck floor level **and that the width of the deck shall be limited to 24’ or the opening of the driveway, whichever is less provided that a substantial landscape buffer is provided between the deck and any adjacent property.**”

Section 6. The City Council hereby amends Section 10-3-100 of Article 1 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code by clarifying that the subterranean space created below the proposed decks is exempt from counting as floor area. Additionally, the City Council also amends this section by listing the floor area exemptions under the single-family residential zone floor area definition. All other definitions in the section remain unchanged.

The “Floor Area” definition applicable to the single-family residential zone (Subsection B of the definition) is amended to read as follows:

“B. Single-family residential zone: "Floor area" shall mean the area of all portions of floors and levels which have a roof or floor level above and are enclosed by exterior walls by more than fifty percent (50%). Further, "floor area" shall include the area of that portion of an

upper level not separated from a lower level by a floor/ceiling assembly, but shall not include basements, crawl spaces, up to four hundred (400) square feet of garage area, and **the space created below a deck located at the finished first floor level of a residence that extends over a driveway that leads to subterranean parking.**

For the purposes of determining floor area in a single-family residential zone, "basement" shall mean any floor level below a story which has a finished floor level that is a maximum of three feet (3') above grade at any point along the perimeter of the building facing a front or street side setback line and which has no windows exceeding eighteen inches (18") above grade at any point along such perimeter of the building. A basement may extend beyond the perimeter of the building provided that such portion of the basement is below the natural grade. For the purpose of determining whether a floor level is a basement, grade shall be defined as it is defined in California Building Code as adopted and amended in title 9 of this code."

Section 7. **Severability.** If any section, subsection, subdivision, sentence, clause, phrase, or portion of this Ordinance or the application thereof to any person or place, is for any reason held to be invalid or unconstitutional by the final decision of any court of competent jurisdiction, the remainder of this Ordinance shall be and remain in full force and effect.

Section 8. **Publication.** The City Clerk shall cause this Ordinance to be published at least once in a newspaper of general circulation published and circulated in the City within fifteen (15) days after its passage in accordance with Section 36933 of the Government Code, shall certify to the adoption of this Ordinance, and shall cause this Ordinance and his certification, together with proof of publication, to be entered in the Book of Ordinances of the Council of this City.

Section 9. **Effective Date.** This Ordinance shall go into effect and be in full force and effect at 12:01 a.m. on the thirty-first (31st) day after its passage.

Adopted:
Effective:

JOHN A. MIRISCH
Mayor of the City of
Beverly Hills, California

ATTEST:

_____ (SEAL)

BYRON POPE
City Clerk

APPROVED AS TO FORM:

APPROVED AS TO CONTENT:

LAURENCE S. WIENER
City Attorney

MAHDI ALUZRI
City Manager

SUSAN HEALY KEENE
Director of Community Development

ATTACHMENT 3

**AUGUST 25, 2016 PLANNING COMMISSION STAFF REPORT
(WITHOUT ATTACHMENTS)**



Planning Commission Report

Meeting Date: August 25, 2016

Subject: **1011 Lexington Road**
Zone Text Amendment

Request for a Zone Text Amendment to allow the construction of decks that cover portions of driveways that lead to subterranean parking to be located in required side yards, street side yards, pad edge setbacks, and rear yards at single-family residences located in the Hillside Area of the City. Pursuant to the provisions set forth in the California Environmental Quality Act (CEQA), the Planning Commission will also consider adoption of a Categorical Exemption for this project.

Project Applicant: Soraiya Hanasab
Representative: Harouni-Hafco & Associates

Recommendation: That the Planning Commission:

1. Conduct a public hearing and receive testimony on the project; and
2. Adopt the attached resolution recommending that the City Council adopt a Zone Text Amendment.

REPORT SUMMARY

The applicant requests a Zone Text Amendment to allow the construction of an at-grade deck that covers a portion of a driveway that leads to subterranean parking to be located in a required side yard at a single-family residential property at 1011 Lexington Road. Currently, the Beverly Hills Municipal Code (BHMC) allows these types of decks as a permissible encroachment in the Central Area of the City, but does not afford the same opportunity in the Hillside Area. Thus, the applicant has requested a Zone Text Amendment to amend BHMC §10-3-2509 in order to allow said decks as permissible encroachments in side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Additionally, BHMC §10-3-2409 (regarding these types of decks in the Central Area) would be amended to ensure consistency with the language proposed for the Hillside Area of the City. Lastly the Floor Area definition applicable to a single-family residential zone in BHMC §10-3-100 would be clarified to exempt the space created below the proposed decks from being counted as floor area. This report analyzes key project components including scale and mass, privacy, landscaping, and the merits of the proposed zone text amendment. Based on the analysis contained in this report, the proposed amendments are not anticipated to result in any significantly adverse impacts, and the recommendation in this report is for approval of the amendments.

Attachment(s):

- A. Required Findings
- B. Draft Resolution and Ordinance
- C. Public Notice
- D. Architectural Plans (Provided as a Separate Attachment)

Report Author and Contact Information:
Cynthia de la Torre
(310) 285-1195
cdelatorre@beverlyhills.org



BACKGROUND

File Date	9/1/2015
Application Complete	10/1/2015
Subdivision	N/A
Deadline	
CEQA Deadline	60 days from CEQA Determination
CEQA Determination	Class 3 Categorical Exemption for construction of new, small structures accessory to a residence and a Class 5 Categorical Exemption for amendments resulting in minor changes in land use limitations pertaining to decks that cover portions of driveways that lead to subterranean parking in areas with an average slope of less than 20%, which do not result in any changes to land use or density.
Permit Streamlining	Take action on project within 60 days of CEQA determination
Applicant(s)	Soraiya Hanasab
Owner(s)	Soraiya Hanasab Trust
Representative(s)	Harouni-Hafco & Associates
Prior PC Action	None
Prior Council Action	None

PROPERTY AND NEIGHBORHOOD SETTING

Property Information

Address	1011 Lexington Road
Assessor's Parcel No.	4350-011-012
Zoning District	R-1.X
General Plan	Low Density Single-Family Residential
Existing Land Use(s)	Single-Family Residential
Lot Dimensions & Area	Irregularly-shaped lot with a site area of approximately 29,620 square feet
Year Built	New single-family residence is under construction
Historic Resource Protected	None
Trees/Grove	None that will be affected by the project

Adjacent Zoning and Land Uses

North	R-1.X – Single-Family Residential
East	R-1.X – Single Family Residential
South	R-1.X– Single-Family Residential
West	R-1.X – Single-Family Residential

Circulation and Parking

Adjacent Street(s)	On the corner of Lexington Road and Woodland Drive
Adjacent Alleys	None



Planning Commission Report

1011 Lexington Road

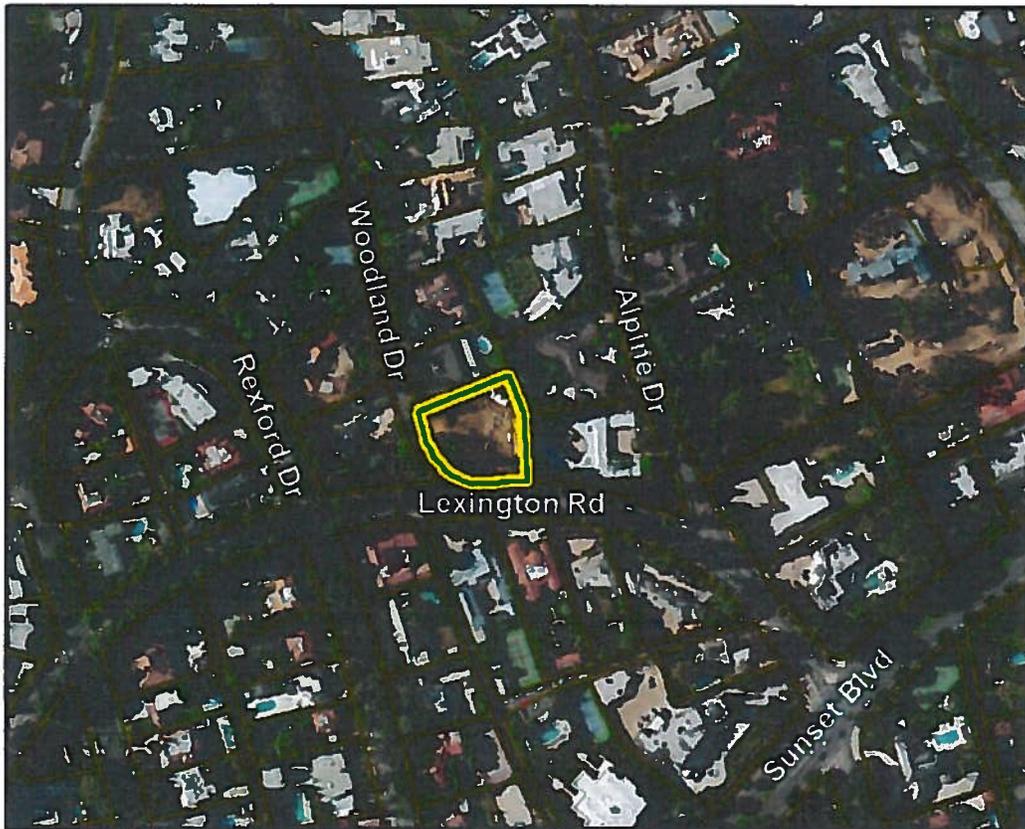
August 25, 2016

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Parkways & Sidewalks	Lexington Road – North Parkway: 14'; Woodland Drive – West Parkway: 2.5'
Parking Restrictions	Overnight parking is prohibited; no daytime parking restrictions on Lexington Road or Woodland Drive
Nearest Intersection	Lexington Road and Woodland Drive

Neighborhood Character

The project site is located on Lexington Road, at the corner of Lexington Road and Woodland Drive, just above the line of demarcation between the Hillside and Central areas of the City. The site's front property line is along Lexington Road and Woodland Drive. The site is surrounded by one- and two-story single-family homes and measures 29,620 square feet. Due to its size, the property is considered an estate property. The site is currently being developed with a two-story single-family residence with a basement. Construction of the new residence is almost complete.



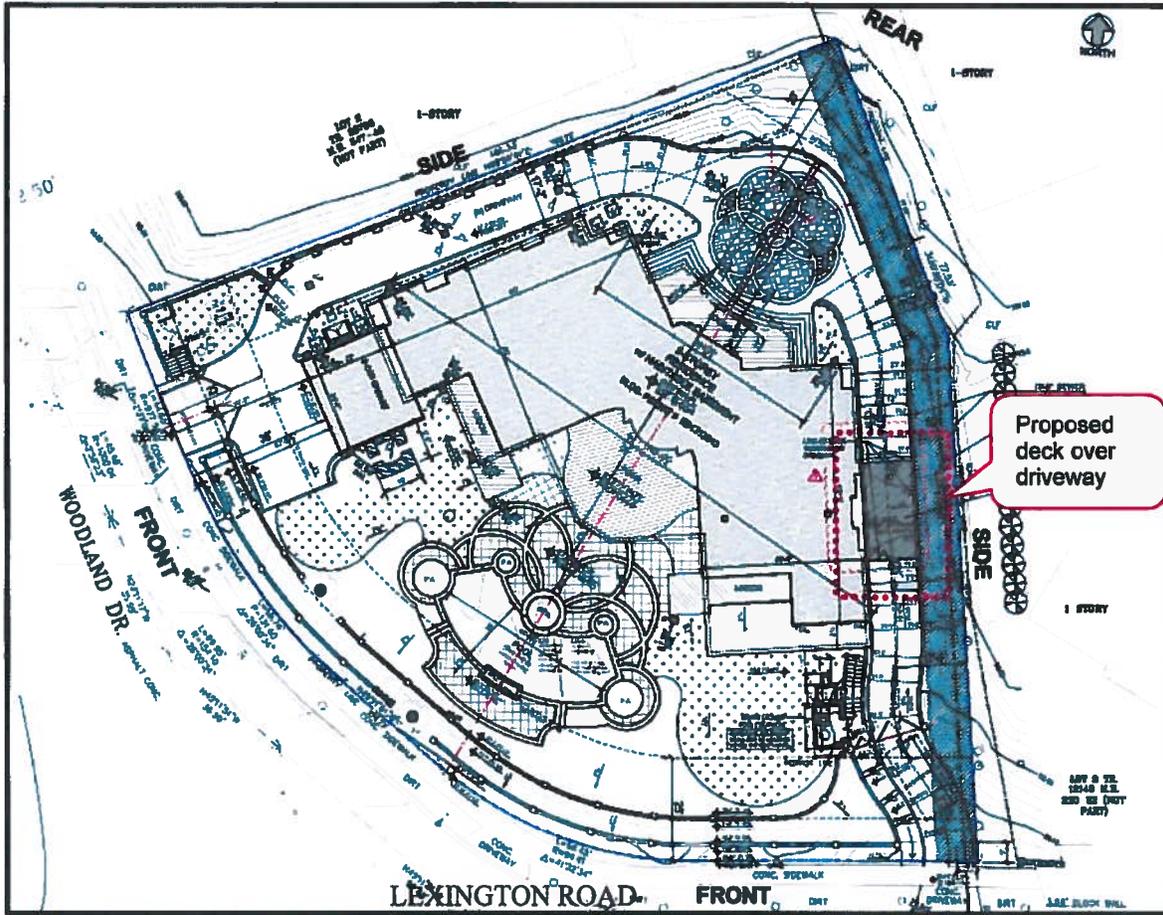
Project Site Looking North



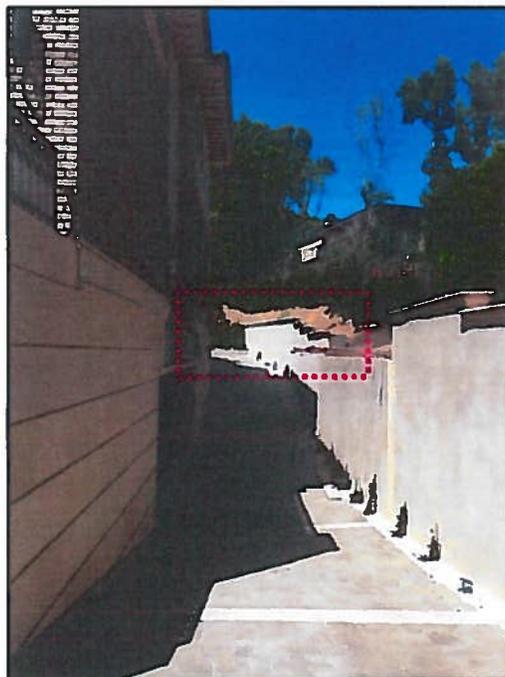
PROJECT DESCRIPTION

The proposed project consists of allowing the construction of a deck located at the finished first floor level of a residence that covers portions of a driveway that leads to subterranean parking to encroach in a required side yard. The deck would act as an extension of the finished first floor level of the main residence. Said decks are currently allowed in the Central Area of the City, and approval of the zone text amendment would allow these types of decks in the Hillside Area as well. The project would not add any additional floor area to the site—the floor area definition applicable to single-family residential zones would be clarified to expressly exempt the subterranean space created below the proposed decks from counting as floor area. A summary of relevant development standards is provided in the table below:

REGULATIONS	ALLOWED/ REQUIRED	APPROVED
Height	30'	27.5'
Front Setback	25'	36'-6"
Side Setback (West)	17'-2"	17'-2"
Side Setback (East)	17'-2"	22'
Rear Setback	20'	65'
Bedrooms	N/A	6
Parking	4 spaces	6 spaces in the basement; 2 spaces in 2- car garage



Site Plan



Location of Proposed Deck over Driveway



Required Approvals. As proposed, the project requires the following approvals in order to be established:

- **Zone Text Amendment:** The zoning code currently does not contain a provision to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards on single-family residences located in the Hillside Area of the City. This request would amend BHM §10-3-2509 to allow said decks as an encroachment in the Hillside Area of the City. BHM §10-3-2409, which is applicable to single-family residences in the Central Area, would also be amended to ensure consistency with the language proposed for the Hillside. Lastly, the floor area definition applicable to a single-family residential zone in BHM §10-3-100 would be clarified to expressly exempt the subterranean space created below the proposed decks from counting as floor area.

GENERAL PLAN¹ POLICIES

The General Plan includes goals and policies intended to help guide development in the City. Some policies relevant to the Planning Commission's review of the project include:

- **Policy LU 2.1 City Places: Neighborhoods, Districts, and Corridors.** Maintain and enhance the character, distribution, built form, scale, and aesthetic qualities of the City's distinctive residential neighborhoods, business districts, corridors, and open spaces.
- **Policy LU 2.3 Hillside Development.** Maintain the natural landforms that define the City and require that development on hillsides and in canyon areas be located, designed, and scaled to respect the natural topography and landscape.
- **Policy LU 2.4 Architectural and Site Design.** Require that new construction and renovation of existing buildings and properties exhibit a high level of excellence in site planning, architectural design, building materials, use of sustainable design and construction practices, landscaping, and amenities that contribute to the City's distinctive image and complement existing development.
- **Policy LU 6.2 Housing Character and Design.** Require that new, renovated, and additions to housing be located and designed to maintain the distinguishing characteristics and qualities of the neighborhoods in which they are located, including prevailing lot sizes, building form, scale, massing, relationship to street frontages, architectural design, landscaping, property setbacks, and other comparable elements.
- **Policy LU 6.3 Housing Scale and Mass.** Regulate renovations of and additions to single-family housing to ensure that they do not adversely alter the contextual scale, mass, and design qualities of existing structures.

¹ Available online at http://www.beverlyhills.org/services/planning_division/general_plan/genplan.asp



ENVIRONMENTAL ASSESSMENT

The Project has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA, Public Resources Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*) and the environmental regulations of the City. The project qualifies for a Class 3 Categorical Exemption pursuant to Section 15303 (New Construction or Conversion of Small Structures) and a Class 5 Categorical Exemption pursuant to Section 15305 (Minor Alterations in Land Use Limitations). The exemptions are applicable to projects characterized as construction of new, small structures accessory to a residence, as well as minor changes in land use limitations such as the amendment to the zoning code to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Furthermore, allowing such decks in the Hillside would not result in additional grading as driveways that lead to subterranean parking are currently allowed structures in the Hillside, and the proposed decks would be covering the already-approved driveway structures. Therefore, the project has been determined not to have a significant environmental impact and could qualify for the exemptions from the provisions of CEQA as noted above.

PUBLIC OUTREACH AND NOTIFICATION

Type of Notice	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice (agenda)	3 Days	8/22/2016	8/18/2016	7 Days
Newspaper Notice	10 Days	8/12/2016	8/12/2016 (Beverly Hills Courier) 8/18/2016 (The Weekly)	13 Days
Mailed Notice (Owners & Occupants - 500' Radius + block-face for the properties in the Central Area)	10 Days	8/15/2016	8/15/2016	10 Days
Property Posting	10 Days	8/15/2016	8/15/2016	10 Days
Website	N/A	N/A	8/18/2016	7 Days

Public Comment

As of the writing of this report, staff received a call from a neighbor at 1010 Woodland Drive who requested additional information about the proposal.



ANALYSIS²

Project approval, conditional approval or denial is based upon specific findings for each discretionary application requested by the applicant. The specific findings that must be made in order to approve the project are provided as Attachment A to this report, and may be used to guide the Planning Commission's deliberation of the subject project.

In reviewing the requested entitlement, the Commission may wish to consider the following information as it relates to the project and required findings:

Zone Text Amendment. The proposed zone text amendment would create a provision in the code that would allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City.

Zoning regulations currently do not have any provisions to allow these decks on single-family properties in the Hillside Area of the City. These types of decks became allowed in the Central Area when the development standards for single-family properties in the Central Area of the City were amended in 2014 to address issues related to bulk and mass. The amendment to allow such decks was approved to allow property owners to cover portions of driveways and provide hardscape or landscaping on this area, with the aim of creating a better appearance as viewed from the street and a better experience for the adjacent neighbor who would no longer be directly adjacent to a concrete trench and ramp leading to the neighbor's basement.

The zone text amendment would allow such decks, which are already allowed structures in the Central Area of the City, to be allowed in the Hillside Area of the City. The proposed zone text amendment would create a provision that would allow such decks to constitute permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards of a single-family home, thereby allowing the decks to be built by-right, without requiring a discretionary entitlement. Additionally, to ensure consistency with the language for the Hillside, staff recommends that the existing language for the Central Area be amended to match the proposed language for the Hillside Area. The language proposed for the Hillside was formulated after discussions with the City's plan checkers, who have worked on such deck applications in the Central Area. The proposed language for both areas represents language that was fine-tuned even further after staff had had experience with such deck projects since the adoption of the Central Area single-family development standards two years ago. Staff also recommends that the floor area definition be clarified to exempt the subterranean space created below the proposed decks from counting as floor area in order to incentivize the decks that are more aesthetically pleasing to be built as a way to mitigate the trench created by a driveway ramp that leads to subterranean parking.

² The information provided in this section is based on analysis prepared by the report author prior to the public hearing. The Planning Commission in its review of the administrative record and based on public testimony may reach a different conclusion from that presented in this report and may choose to make alternate findings. A change to the findings may result in a final action that is different from the staff recommended action in this report.



Based on this analysis, staff believes that the proposed zone text amendment will provide consistency between the regulations pertaining to single-family properties located in the Central Area and to those pertaining to single-family properties in the Hillside Area, as well as the potential for improved aesthetics through hardscape or landscape design to screen unsightly trenches created by driveways to subterranean parking.

NEXT STEPS

It is recommended that the Planning Commission conduct the public hearing and adopt a resolution recommending City Council approval of the proposed zone text amendment.

Alternatively, the Planning Commission may consider the following actions:

1. Deny the project, or portions of the project, based on specific findings.
2. Direct staff or applicant as appropriate and continue the hearing to a date (un)certain, consistent with permit processing timelines.

Report Reviewed By:



Ryan Gohlich, AICP, Assistant Director of Community
Development / City Planner

ATTACHMENT 4

PUBLIC NOTICE



City Clerk's Office

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Council of the City of Beverly Hills, at its meeting to be held on **Tuesday, December 6, 2016 at 7:00 p.m.**, or as soon thereafter as the matter may be heard, in the Council Chamber of the City Hall, 455 N. Rexford Drive, Beverly Hills, CA 90210, will hold a public hearing to consider:

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF BEVERLY HILLS AMENDING THE BEVERLY HILLS MUNICIPAL CODE TO ALLOW THE CONSTRUCTION OF DECKS THAT COVER PORTIONS OF DRIVEWAYS THAT LEAD TO SUBTERRANEAN PARKING TO BE LOCATED IN REQUIRED SIDE YARDS, STREET SIDE YARDS, PAD EDGE SETBACKS, AND REAR YARDS AT SINGLE-FAMILY RESIDENCES

Adoption of the Ordinance would amend portions of the Beverly Hills Municipal Code (BHMC) §10-3-2509 (Permissible Encroachments in Side Yards, Street Side Yards, Pad Edge Setbacks, and Rear Yards) to allow decks located at finished first floor level that cover portions of driveways that lead to subterranean parking as permissible encroachments in required side yards, street side yards, pad edge setbacks, and rear yards in the Hillside Area of the City. Said decks are currently allowed as permissible encroachments in the Central Area of the City. Additionally, BHMC §10-3-2409 (Permissible Encroachments in Side Yards, Street Side Yards, and Rear Yards) would be amended to ensure consistency between the regulations in the Central and Hillside Areas of the City. Lastly, the Floor Area definition applicable to a single-family residential zone in BHMC §10-3-100 would be clarified to expressly exempt the subterranean space created below the proposed decks from counting as floor area.

The City previously issued a public notice regarding the Planning Commission's consideration of the Zone Text Amendment. At its August 25, 2016 meeting, the Planning Commission adopted a resolution recommending that the City Council approve the requested Zone Text Amendment. At the City Council hearing on December 6, 2016, the Council will consider introducing the Ordinance. The City Council may adopt the Ordinance at a subsequent hearing, and the Ordinance would take effect on the 31st day thereafter.

The Zone Text Amendment has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA, Public Resources Code Sections 21000 *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the environmental regulations of the City. The Amendment appears to qualify for a Class 3 Categorical Exemption pursuant to Section 15303 (New Construction or Conversion of Small Structures) and a Class 5 Categorical Exemption pursuant to Section 15305 (Minor Alterations in Land Use Limitations). The proposed zone text amendment would allow decks located at the finished first floor level of a single-family home that cover portions of driveways that lead to subterranean parking as a permissible encroachment in a required side yard, street side yard, pad edge setback, and rear yard in the Hillside Area of the City. The City Council will consider finding that the Amendment will not have a significant environmental impact and is exempt from the provisions of CEQA.

At the public hearing, the City Council will hear and consider all comments. All interested persons are invited to attend and speak on this matter. Written comments may also be submitted and should be addressed to the City Council, c/o City Clerk, 455 N. Rexford Drive, Beverly Hills, CA 90210. The comments should be received prior to the hearing date. Please note that any communication received by the City becomes part of the public record.

Please note that if you challenge the Council's action in regards to this matter in court, you may be limited to raising only those issues you or someone else raised at a public hearing described in this notice, or in written correspondence delivered to the City, either at or prior to the public hearing.

If there are any questions regarding this notice, please contact **Cynthia de la Torre, Assistant Planner** in the Beverly Hills Community Development Department, Planning Division, at (310) 285-1195, or by email at cdelatorre@beverlyhills.org. Copies of the project plans and associated application materials are on file in the Community Development Department and can be reviewed by any interested person at 455 North Rexford Drive, Beverly Hills, CA 90210.



BYRON POPE, MMC
City Clerk

ATTACHMENT 5
ARCHITECTURAL PLANS

GENERAL NOTES

City of Beverly Hills | Building & Safety Division

- 1. CONSTRUCTION IS ALLOWED BETWEEN THE HOURS OF 8:00 AM AND 5:00 PM, MONDAY THROUGH FRIDAY, AND IS PROHIBITED ON PUBLIC HOLIDAYS.
2. CONSTRUCTION-RELATED PARKING IS NOT ALLOWED ON A PUBLIC STREET UNLESS OTHERWISE APPROVED AND PERMITTED BY THE BUILDING OFFICIAL.
3. A NOTICE OF PENDING DEVELOPMENT CONSTRUCTION SHALL BE POSTED ON CONSTRUCTION SITES AT LEAST 15 DAYS PRIOR TO START OF ANY WORK AND MAINTAINED DURING THE ENTIRE COURSE OF CONSTRUCTION.
4. TILE SEWER MAY NOT BE COVERED BY NEW CONSTRUCTION.
5. BUILDINGS LOCATED IN VERY HIGH FIRE HAZARD SEVENTY ZONE (NORTH OF SUNSET), SHALL HAVE THEIR EXTERIOR WALLS AND GAVES CONSTRUCTED OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION.
6. AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ALL NEW BUILDINGS IN ACCORDANCE WITH MFP 13. EXISTING BUILDINGS SHALL BE PROVIDED WITH SPRINKLER SYSTEM WHEN THE COST OF THE ADDITIONS, ALTERATIONS OR REPAIRS MADE TO THE BUILDING EXCEEDS 50% OF THE REPLACEMENT VALUE OF THE EXISTING STRUCTURE.
7. A PRE-CONSTRUCTION MEETING WITH THE CITY AND THE PROJECT TEAM (CONTRACTOR, OWNER, ENGINEER OR ARCHITECT) IS REQUIRED PRIOR TO BEGINNING ANY NEW CONSTRUCTION OR WHEN REQUIRED BY THE CITY.
8. ALL CONSTRUCTION PROJECTS SHALL COMPLY WITH THE "BEST MANAGEMENT PRACTICES" OUTLINED IN "ATTACHMENT A," FOR STORM WATER POLLUTION CONTROL AND "MINIMUM WATER QUALITY PROTECTION" REQUIREMENTS.
9. SOUND LEVEL OF OPERATING EQUIPMENT (E.G. POOL EQUIPMENT, H.V.A.C.) IS LIMITED TO FIVE (5) DECIBELS ABOVE THE AMBIENT NOISE LEVEL, MEASURED AT THE PROPERTY LINE.
10. ALL ROOF ASSEMBLIES ON ROOF COVERING MATERIAL SHALL BE CLASS A FIRE RETARDANT. NO WOOD ROOF SHALL BE PERMITTED AS ROOF COVERING MATERIAL.
11. FOR ALL NEW CONSTRUCTION AND WHEN REQUIRED BY THE CITY, A LICENSED SURVEYOR MUST CERTIFY THAT THE LOCATION OF THE FOOTING FORMS IS FOR THE APPROVED PLANS BEFORE FOUNDATIONS CAN BE POURED.
12. FOR ALL NEW CONSTRUCTION AND WHEN REQUIRED BY THE CITY, A LICENSED SURVEYOR MUST CERTIFY THAT THE HEIGHT OF THE BUILDING IS IN ACCORDANCE WITH THE APPROVED PLANS.
13. AN ACCURATE PLOT/SITE PLAN IS REQUIRED WITH EVERY PROJECT SUBMITTED FOR PLAN CHECK.
14. TEMPORARY TOILET FACILITIES ARE REQUIRED DURING CONSTRUCTION.
15. AN APPROVED WEATHERPROOFING CONSULTANT MUST CERTIFY THE INSTALLATION OF WEATHERPROOFING ON ALL RETAINING WALLS WHICH ARE ADJACENT TO INTERIOR AREAS OF THE BUILDING.
16. PRIOR TO FINAL APPROVAL, A CERTIFIED AIR BALANCER MUST PROVIDE A WRITTEN REPORT SHOWING THE AIR VOLUMES FOR ALL ELEMENTS OF A COMMERCIAL GARAGE EXHAUST SYSTEM OR A COMMERCIAL KITCHEN HOOD SYSTEM.
17. FOUNDATION EXCAVATIONS SHALL BE INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO REQUESTING CITY INSPECTION.
18. WATER CONSERVATION PLUMBING FIXTURES ARE REQUIRED FOR ALL NEW AND REPLACEMENT SHOWERHEADS, FAUCETS, TOILETS, AND URINALS.
19. WATER EFFICIENT LANDSCAPING AND SHAWT IRRIGATION CONTROLLERS SHALL BE INSTALLED.
20. WHEN EXISTING LANDSCAPE IS ALTERED BY MORE THAN 50% AND IS MORE THAN 2000 SQUARE FEET.
21. REVISIONS AND DETAIL CHANGES PROPOSED ON A PROJECT AFTER THE BUILDING PERMIT IS ISSUED SHALL BE COORDINATED AND COMMUNICATED WITH THE CITY'S PROJECT PLAN REVIEW ENGINEER/ARCHITECT.
22. A DIGITAL COPY OF "AS-BUILT" PLANS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO REQUESTING FOR FINAL INSPECTION.
23. THE PROJECT ARCHITECT/ENGINEER AND APPLICANT UNDERSTAND THAT THEIR POINT OF CONTACT IS THE CITY'S PLAN REVIEW ENGINEER/ARCHITECT.
24. ALL PLANNING DIVISION APPROVALS, LETTERS, RESOLUTIONS AND COORDINATION INDICATING COMPLIANCE AND CONFORMITY WITH THE CONDITIONS OF APPROVAL OF THE PROJECT, PRIOR TO APPLYING FOR THE BUILDING PERMIT.
25. A DIGITAL COPY OF "AS-BUILT" PLANS SHALL BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO REQUESTING FOR FINAL INSPECTION.
26. THE BUILDING INSPECTION RECORD MUST BE PLACED ON THE FIRST SHEET OF THE PLANS AS A CONDITION OF CITY APPROVAL. FAILURE TO INCLUDE THE BUILDING INSPECTION RECORD ON PLANS SUBMITTED FOR APPROVAL WILL RESULT IN A CORRECTION GIVEN TO THE APPLICANT TO RETURN THE PLANS TO THE PREPARER TO INCLUDE THE DOCUMENT AS PART OF THEIR PLANS.

CONSULTANTS

Surveyor: M&G CIVIL ENGINEERING & LAND SURVEYING
Sella Engineer: GSS Engineering, Inc.
Architectural: Hafco & Associates
Landscape Designer: Dan Weedon
Structural Engineer: Berkov and Associates, Inc.

UNDER SEPARATE P.A.#

Grading/excavation/backfill/removal and recompaction
Walls and paving located within required front yard
Retaining walls over 3 feet in height
Garden walls over 8 feet in height
Swimming pool and SPA
Accessory buildings
Game courts
Fire sprinkler system
Demolition of any existing structure
Tree removal
Electrical work
Mechanical work
Plumbing work

VICINITY MAP



PROJECT DESCRIPTION

NEW 2-STORY S.F.D. W/ HABITABLE BASEMENT
HANASAB RESIDENCE
1011 LEXINGTON RD., BEVERLY HILLS, CA 90210

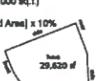
PROJECT INFORMATION

SITE DESCRIPTION

Scope of Work: New 2-Story Residence w/ Habitable Basement
Site Address: 1011 Lexington Rd, Beverly Hills, CA, 90210
Accession PH: 438 103 1027
Zoning: R-1
Occupancy: R-1
Type of Construction: V-B
Fire Sprinklers: NFPA-13D Fire Sprinklers Required in Residence - Attached Garages

FLOOR AREA CALCS

Lot Area = 29,820 sq. ft. (29,500 & 30,000 sq. ft.)
Formula: (Level Pad) x 34% + (Sloped Area) x 10%
TOTAL = 8,960 Sq.F.



FLOOR AREA CALCULATIONS:

FIRST FLOOR: Main Building = 4,740 sq. ft., Attached Garage = 400 sq. ft.
SECOND FLOOR: Main Building = 4,170 sq. ft.
BASEMENT LEVEL: Exempted

ACCESSORY STRUCTURES:

- N/A
EXEMPTED AREA: 400 sq. ft. (Garage Area)
FAR (1st + 2nd Floors): 8,910 sq. ft. (Exempted area subtracted)

FAR in combination with the floor area of basement:

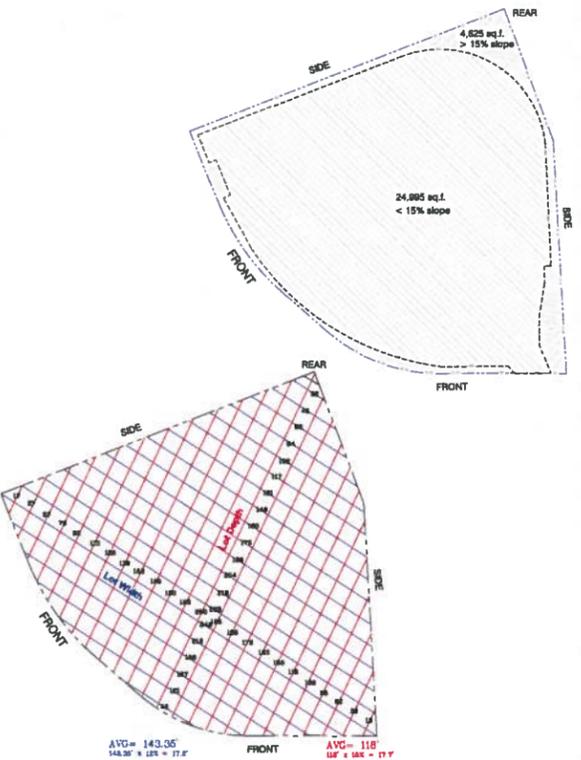
BASEMENT AREA (Area Breakdown): Habitable Area = 3,775 sq. ft., Garage Area = 2,150 sq. ft., Mechanical Area = 350 sq. ft.
TOTAL AREA = 6,275 sq. ft. TOTAL: 1,900 sq. ft.

ESTIMATED EARTH-WORK QUANTITIES

Landform Alteration (per 10-3-2521):
C = ((4 - 10x(Average Slope) / 162) + 0.1) x Site Area (sq. ft.)
C = ((3) / 162) + 0.1) x 29,820 sq. ft.
C = (0.5 + 0.1) x 29,820 sq. ft.
C = 3,693 cub. y.

Total Fill = 305 cub. yard
Total Cut = 2,890 cub. yard
Total Alteration = 3,195 cub. yard

Table with columns: HEIGHT, SETBACKS, PARKING, FAR, CUT, FILL. Values include 30 feet, 27.5 feet, 4 spaces, 6 spaces, 8,960 sq. ft., 8,910 sq. ft., 3,693 c.y., 305 c.y.



INSPECTION RECORD

City of Beverly Hills Department of Community Development Building and Safety INSPECTION RECORD. Includes important notice and a table for recording inspections.

INSPECTOR'S COMMENTS

Blank area for recording inspector's comments.

EROSION AND SEDIMENT CONTROL

Division and Sediment Controls table with 9 numbered items detailing erosion control requirements.

SWPC REQUIREMENTS

SWPC REQUIREMENTS table with 11 numbered items detailing storm water pollution control requirements.

PROFESSIONAL'S CERTIFICATION OF DIGITAL-FORMAT PLANS. Includes signature of Faradj Harouni, Project Address: 1011 Lexington Rd, Beverly Hills, CA 90210, and Project Description: New 2-Story Single Family Dwelling w/ Habitable Basement.

DRAWING INDEX table listing Architectural, Mechanical, Civil, and Structural sheets with their respective contents.

NOTE: Design and plans based on 2010 CBC with City of Beverly Hills amendments, CMC, CPC, CEC along with 2008 T-24 Energy Standards

DRAWING TITLE COVER SHEET (1) DATE NOVEMBER, 2013. JOB TITLE HANASAB RESIDENCE. JOB ADDRESS 1011 LEXINGTON RD., BEVERLY HILLS, CA 90210. OWNER / DEVELOPER MR. HANASAB. Cover Sheet 1

FRONTYARD COVERAGE

FRONTYARD AREA = 8,475 SF
PAVED PERCENTAGE = $\frac{1,507}{8,475} = 23\%$

UNPAVED AREA	PAVED AREA	TOTAL
495 SF	25 SF	520 SF
4,753 SF	32 SF	4,785 SF
83 SF	47 SF	130 SF
	500 SF	500 SF
	648 SF	648 SF
TOTAL:	1,252 SF	8,475 SF

PAVED AREA PROVIDED = 1,252 SF (19%)

FRONT YARD PAVING CALCULATION

LEGEND:

ROOF & SITE DRAINAGE LEGEND:
 DS DOWN SPOUT DRAIN INLET
 AD AREA DRAIN INLET
 4" DIA. PVC PIPE 1% MIN. SLOPE

CALIFORNIA GREEN CODE WITH CITY OF BEVERLY HILLS AMENDMENTS:

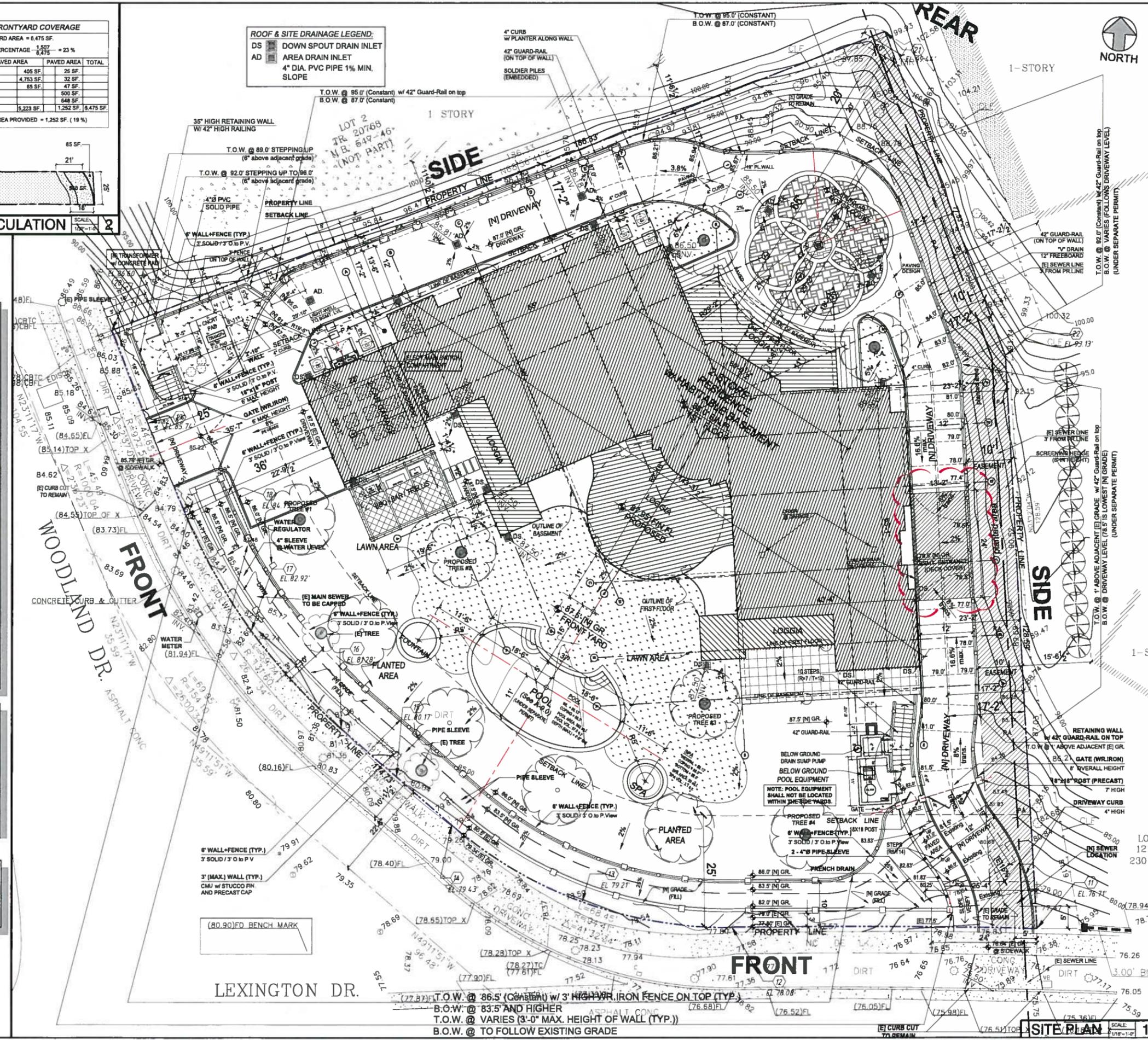
- One 120 VAC 20 amp and one 200/240V 40 amp grounded AC outlet or panel capacity for one 120 VAC 20 amp and one 200/240V 40 amp grounded AC outlet and conduit installed for future outlets for each dwelling unit. Electric vehicle supply shall be provided and may be installed in a stall provided to comply with the code minimum parking requirements. Dwelling unit shall be defined by the California Building Code, 4.108.4
- Permissible paving shall be limited to parking, walking or patio surfaces. All 100% finished materials shall have a minimum 3 yr. aged solar reflectance and thermal emittance or a minimum Reflectance Index (RI) of 44.108.5
- Arterial spaces around pipes, electric conduits, conduits or other openings in plaster or concrete walls shall be protected against passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency, 4.108.1
- Dust openings and other related air distribution component openings shall be covered during construction, 4.504.1
- Adhesives, sealants and cauls shall be compliant with VOC limits, 4.504.2.1
- Paints and other coatings shall be compliant with VOC limits, 4.504.2.2
- Aerosol paints and coatings shall be compliant with product weight MFR limits for ROG and other toxic compounds, 4.504.2.3
- Documentation shall be provided to verify that compliant VOC limit test materials have been used, 4.504.2.4
- Carpet and carpet systems shall be compliant with VOC limits, 4.504.3
- Pesticide labels, Maximum Density Based (MDB) and herbicide products used in interior finish systems shall comply with low formaldehyde emission standards, 4.504.5
- Install thermal insulation which contains No-Added Formaldehydes (NAF) and is in compliance with the VOC-emission limits defined in Collaborative for High Performance Schools (CHPS) Low-emitting Materials List, 4.504.5.2
- Floor rises for all plumbing fixtures shall comply with the minimum floor rises in Table 4.303.1 and 4.303.2
- Use city certified heater for heating construction waste or submit a construction waste management plan for approval, 4.408.1 and 4.408.2
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall be replaced or allowed to dry before enclosure, 4.503.2
- Business exhaust fans shall comply with 4.508.1.1.1. Exhaust fans shall be located outside of the building. Controlled by a humidistat control. Humidistat control shall be adjustable between a humidity range of 50-80 percent.
- Whole house exhaust fans shall have covers or louvers which close when the fan is off and that are treated with a minimum insulation value of R-4.2, 4.507.1
- The size of layout of the heating and A/C systems shall be in accordance with ACCA Manual J, ACCA 28-0 and ACCA 28-8 ASHRAE handbooks, 4.507.2 CITY OF BEVERLY HILLS AMENDMENTS TO CEC.
- Topsoil shall be protected or saved for reuse to minimize amount of soil and fill, 4.108.2.3
- Displaced topsoil shall be stockpiled for reuse in a designated area and covered and protected from erosion.
- Identify and delineate the construction area by fence on the plan. See sheet A-4.4
- Automatic irrigation systems for landscape shall be weather or soil based controllers and installed at the time of final inspection, 4.304.1
- Piping shall be installed to permit future use of a gray water irrigation system served by the clothes washer or other fixtures, 4.305.1
- Material delivered to the construction site shall be protected from rain or other source of moisture.
- 50% of the total area receiving runoff in the building interior shall comply with the VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List or be certified under the Residential Floor Covering Institute (RFI) Floor Score program, 4.504.3
- Thermal insulation installed in the building shall meet with the VOC-emission limits defined in the Collaborative for High Performance Schools (CHPS) Low-emitting Materials List, 4.504.3
- Central Air or Ventilation system shall have a filter rated Higher Than MERV 6, 4.508.

PUBLIC WORKS - CIVIL ENGINEERING NOTES:

- If damaged during construction, sidewalks, curb ramps and curbs and gutter surrounding the site will need to be removed and replaced (according to city standards), and shall be paid for by the applicant.
- All survey monuments, street lights, and underground utilities, and any off-site improvements affected by the demolition/construction shall be re-established according to the city standards, and shall be paid for by the applicant, no structures or improvements are permitted within the public right-of-way without an encroachment permit.
- The applicant shall provide that all roof and/or surface drains discharge to the street, all curbs and driveway drains shall be installed according to the city standard drawings BH 1096.110, no concentrated discharges onto the alley surfaces will be permitted.
- The applicant shall make connection to the city: sanitary sewer systems through the existing connections available to the subject site unless otherwise approved by the city engineer and shall pay the applicable sewer connection fee.
- The applicant shall make connection to the city: water system through the existing water service connection unless otherwise approved by the city engineer, the size, type and location of the water service meter installation.

ADDITIONAL NOTES:

- There are given easements on the property lot.
- There are no trees on or over hanging the lot.
- There are no slopes 3:1 or steeper within the structure.
- Pool barriers are to be maintained during construction.
- House sewer will connect to main sewer line along Lexington Road.
- Swimming pool is under separate submittal and review.



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NO.	DATE	DESCRIPTION
1	2016-08-08	MOVED BENCH MARK, LOWERED MOTOR COURT ELEVATION OVER DRIVEWAY
2	2016-08-08	DECK COVER OVER DRIVEWAY
3	2016-08-08	ADDED ELEC. MAIN SWITCH COMPARTMENT
4	2016-08-08	REVISED POOL LAYOUT
5	2016-08-08	REVISED POOL AREA AND ADDED TRELLIS
6	2016-08-18	REVISED FRONTYARD PAVING CALCULATION

DRAWING TITLE: SITE PLAN SHOWING DECK COVER OVER DRIVEWAY

JOB TITLE: HANASAB RESIDENCE

JOB ADDRESS: 1011 LEXINGTON RD., BEVERLY HILLS, CA 90210

OWNER / DEVELOPER: MR. HANASAB

DATE: AUG. 2016

SCALE: 1/8" = 1'-0"

DRAWN BY: M/J/G/L

JOB NUMBER: 0558/12

SHEET NUMBER: A-03

KEY NOTES

- 36" x 30" roof access hatch. (SEE DETAIL 2.4 & SHEET A-10.7)
- 24" x 30" attic access.
- Attic access with pull down ladder.
- Screamed under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air (See mechanical plans).
- Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- For all attached or detached garages, provide 5/8" type "X" gypsum board on walls, ceiling, joists and beams supporting dwellings (T-R302.2)
- Fire blocking shall be installed at: (708.2.1)
 - Concealed space between stair stringers at top and bottom run.
 - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
 - At openings between attic and chimneys chase for factory built chimneys;
- For garage door opener, push button shall be pre-wired before gypsum board is installed.
- 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC): Solid trap at tub without access panels must be provided.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain stoppings must be provided. Floor drain under washer must also be provided.
- Dryer: Clothes dryer moisture exhaust duct must be 4-in. in diameter and length is limited to 14-ft with 2 elbows. The duct length shall be reduced by 2-ft for every elbow in excess of two.
- Water softener.
- F.A.U. with night setback thermostat and summer fan switch. Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See Note 24 for size and model.

- Gas fired H-recovery water heater storage tank with circulating pump and R-5 insulation. Verify with Note 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (See Detail #16 Sheet A-10.5). For water softener, provide plumbing loops.
- Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. Comply with Chapter 28 - Water Heaters (See Sheet A-N.02, notes under F)
- Phone panel: All lines to be home run.
- Tub/shower with stone on walls to ceiling height.
- Bathrooms and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-slip surface extending to a height of not less than 6 feet above the floor (R307.2)
- Provide tempered glass shower enclosure - See door/window specifications.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II. Enclosures shall be tempered glass with hopper window above door (Finish ceiling with same material as walls and slope 0" per 1'-0"). Install steam unit per MRF recommendations.
- Direct Vent Metal Firebox with herringbone brick pattern & Selkirk metalbestos R55II (See system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose lay valves. Provide glass enclosure at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Provide purged cold water supply line to ice-maker with recessed shut off valve.
- Verify with manufacturer.
- Cooling/Pet Filter faucet, (Location: Kitchen).
- 32.
- 33.
34. 2-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(2)). 2-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy

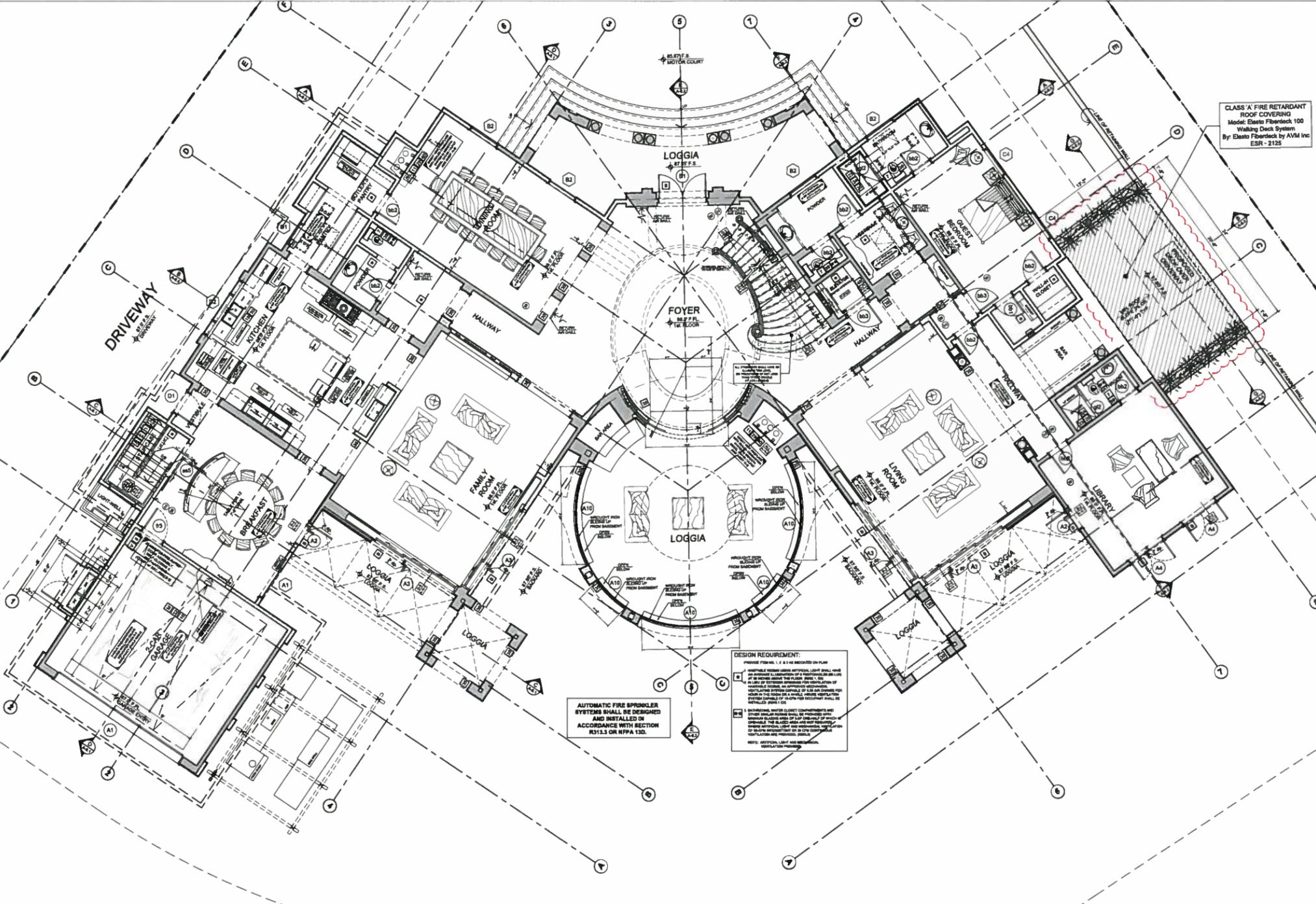
- (per IBC Table 720.1(2)).
 - Archway/doorway above (See elevations).
 - GFY Door Assembly with Super-In 8-XL by "Safe First" RFR 25786
 - Decorative niche. Verify owner's requirements.
 - Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
 - Provide spark arrester in chimneys of all fire places w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.S.C. section 5403.5 & section 3102.3.3 U.S.C. section (max. 1/2 inch screen).
 - Wet bar should NOT include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one sq. foot, hot water line, refrigerator exceeding 10 cub. ft. garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
 - Built-in shelving: verify with owner's.
 - Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
 - Tempered Glass "T"
 - Elevator machine rooms that contain solid-state equipment to be provided with an independent ventilation or A/C system to protect against overheating of the electrical equipment per 2010 CBC sec 3006.2.
 - Elevator Requirements. Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.
- GENERAL FLOOR PLAN NOTES**
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3). Every space intended for human occupancy shall be provided with natural ventilation by means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilation systems may be permitted under Section 1204.3.
 - Entry/exit door must open over a landing not more than 9" below the threshold. If the door does NOT swing over the landing, landing shall be not more than 7 7/8" below the threshold. Landing at a door shall have a length measured in the direction of travel of not less than 36".
 - Stairways dimensions and construction:
 - Maximum 7.75" & Minimum 4" rise - Minimum 10" run. (See Detail 1.2.4.3 @ Sheet A-10.3)
 - Exception: wider treads shall have a min. 10" tread depth @ a point 12" from the narrow side, and min 8" tread depth @ the narrowest end.
 - Minimum 8-4" vertical headroom at tread nosing.
 - Minimum 36" clear width (max. 4.5-in. handrail projection is permitted on each side)
 - Handrails 34" to 38" high.
 - Provide stairway illumination level at tread runs of not less than 1 foot-candle (1 lux).
 - State Fire Marshal approved smoke alarms (detectors) must be provided. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of Sec.314 and the household fire warning equipment provisions of NFPA 72. Smoke alarms shall emit a signal when the batteries are low (NFPA 72.10.2). (See sheet A-N.01, Section 314 - "Smoke Alarms") An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (See sheet A-N.01, Section 315 - "Carbon Monoxide Alarms") See floor plans for location of Smoke Alarms (SO) and Carbon Monoxide Alarms (CO) E. Provide anti-Graffiti finish within the first 8 ft. measured from grade at exterior walls and doors F. Wood burning fireplace is prohibited per AQMD's Rule 445. (since March 9, 2009) Any installed gas fireplace shall be a direct-vent sealed-combustion type. G. Refer to reflected ceiling plans, building sections and interior elevations for furred ceilings. H. All exterior and interior studs shall be 2 x 6 framing or multiple types of 2 x 6 (4)s unless otherwise noted. Spacing and specifications per structural engineer. I. As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have the stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.

- Insulation: Provide R-19 min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to Note 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- Attic/Under-floor ventilation equal to 1/150 sq. ft. of Attic/Under Floor area is required.
- Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage. 408.14
- Garage floor surface shall be of noncombustible materials or asphaltic paving materials and shall be designed to support a uniformly distributed load of 50-psf or concentrated live loads of 2,000 lbs. acting on an area of 20 sq.in. (T-R301.5)
- Garage walls and garage ceiling shall be 1-HR. Fire Rated by using no less than 5/8-in. Type X gypsum board over wood framing or using no less than 4" CMU. (T-R302.6)
- Building shall be fully sprinklered per NFPA 13d, including attached garages. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- Drift stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (100% of between draft stops) (717.3.2.6.3).
- Provide damp-proofing for all walls below grade that enclose usable space." Specially Research Report (RRR or ICBO) for membrane.
- Water Heater must be strapped to wall (Sec.507.3, CPC) or (P2801.7). (See Detail #16 @ A-10.5) Comply with Chapter 28 - Water Heaters (See Sheet A-N.02, notes under F)
- Provide ultra blue water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Bathrooms, water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet (0.3 m2), one-half of which must be operable. Exception: The glazed areas shall not be required where artificial light and a mechanical ventilation system are provided. The minimum ventilation rates shall be 50 cubic feet per minute (2.1 L/s) for intermittent ventilation or 20 cubic feet per minute (10 L/s) for continuous ventilation. Ventilation air from this space shall be exhausted directly to the outside (R303.3).

- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-absorbent surface extending to a height of not less than 6 feet above the floor (R307.2). Provide approved slat-resistant materials for shower enclosures. 91.807.1.3, 91.2408.4(5), 91.1115B.9.6.7.8
- A corrosion resistant wet area is required below the stucco minimum of 4" above earth or over paved area 91.2506.05 (SEE DETAIL 6 & 8 SHEET A-10.5)
- All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1506.1 & 1611
- Provide a class A, fire-retardant flat roof, deck and balconies covering per Section 1505.1 (Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc." - class "A" fire retardant walking deck and roof covering. LARR #24842, ESR-2245 Built-up roof covering materials shall comply with the standards in Table R905.3.2 (See sheet A-N.02 for complete text of Section R905.3 requirements and tables.)
- GPX Door Assembly with Super-In 8-XL by "Safe First" RFR 25786 (SEE SHEET A-R01)
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building.
- The construction shall not restrict a free-flow clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, attachments, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expense.
- Y. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply with VHF#2 requirements.
- Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHF#2Z). It shall Comply with requirements of Materials systems & construction methods of Chapter 7A and Chapter 7Z. Read VHF#2Z Supplemental Notes on sheet A-N.02.

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CALIFORNIA GREEN CODE WITH CITY OF BEVERLY HILLS AMENDMENTS:

- One 120 VAC 20 amp and one 208/240V 40 amp, grounded AC outlet or panel capacity for one 120 VAC 20 amp and one 208/240V 40 amp, grounded AC outlet and conduit installed for future outlets for each dwelling unit. Electric vehicle supply shall be provided and may be installed in a stall provided to comply with the code minimum parking requirements. Dwelling unit shall be defined by the California Building Code, 4.106.4 (See Sheet A1.1 for location)
- Permeable paving shall be utilized for parking, walking or patio surfaces. AA.106.4 (See Sheet A1.1 for location)
- Roofing materials shall have a minimum 3 yr. aged solar reflectance and thermal emittance or a minimum Reflectance Index (RI) of 105.5
- Exterior spaces around above, electric cables, conduits or other openings in plates at exterior walls shall be protected against passage of rodents by closing such openings with cement mortar concrete masonry or similar method acceptable to the enforcing agency. 4.408.1
- Duct openings and other related air distribution component openings shall be covered during construction. 4.504.1
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.1
- Paints stains and other coatings shall be compliant with VOC limits. 4.504.2.2
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.3
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used. 4.504.2.4
- Carpet and carpet systems shall be compliant with VOC limits. 4.504.3
- Particle board, Medium Density Board (MDF) and hard wood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 4.504.5
- Install thermal insulation which contains No-Added Formaldehyde (NAF) and is in compliance with the VOC-emission limits defined in collaborative for High Performance Schools (CHPS) Low-emitting Materials List. AA.504.3.2
- Flow rates for all plumbing fixtures shall comply with the minimum flow rates in Table 4.303.1 and 4.303.2
- Use city certified hauler for hauling construction waste or submit a construction waste management plan for approval. 4.408.1 and 4.408.2
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall be replaced or allowed to dry before enclosed. 4.305.3
- Bathroom exhaust fans shall comply with: 4.506.1.a. Energy Star b. Ducted to the outside of the building c. Controlled by a humidistat control d. Humidistat controller shall be adjustable between a humidity range of 50-80 percent.
- Whole house exhaust fans shall have covers or louvers which close when the fan is off and that are insulated with a minimum insulation value of R-4.2 4.507.1
- The size of layout of the heating and A/C systems shall be in accordance with ACCA Manual J, ACCA 29-3 and ACCA 38-S ASHRAE handbooks. 4.507.2 CITY OF BEVERLY HILLS AMENDMENTS for CGC.
- Topsoil shall be protected or saved for reuse to minimize amount of cut and fill. AA.108.2.3 Displaced topsoil shall be stockpiled for reuse in a designated area and covered and protected from erosion.
- Automatic irrigation systems for landscape shall be weather or soil based controllers and installed at the time of final inspection. 4.304.1
- Piping shall be installed to permit future use of a gray water irrigation system served by the clothes washer or other fixtures. AA.305.1
- When single shower fixtures are served by more than one shower head, the combined flow rate of all the shower heads shall not exceed the maximum flow rates specified in the 20% reduction column contained Table 4.303.2 or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.2)

ENERGY REQUIREMENTS:

- Dwelling is provided with comfort heating facilities capable maintaining 68° F at 3 ft above the floor.
- Provide fluorescent lighting in bathrooms and kitchen for general lighting. Locate switch and lighting fixture to show compliance.
- Performance Certificate Per Title 24 (sheet T-24)
 - This building incorporates an air retarding wrap which shall be installed to meet the requirements of section 150 (f) of the Standards.
 - HIGH MASS Design - Verify Thermal Mass: 3,300 ft. Tlb in Mortar Interior Mass, 1,500" thick at 1st Floor
 - This Building incorporates an air retarding wrap which shall be installed to meet the requirements of Section 150 (f) of the standards.
 - The roof R-38 Roof Attic w/ Radiant barrier includes credit for a Radiant Barrier that is continuous meeting eligibility and installation criteria as specified in Residential Appendix RM.2.2.
- Provide required insulation, glazing, overhangs, radiant barrier, and other mandatory features.

NO.	DATE	DESCRIPTION
1	12-13-11	DECK COVER OVER DRIVEWAY RAMP

DRAWING TITLE	FIRST FLOOR PLAN SHOWING PROPOSED DECK OVER DRIVEWAY
JOB TITLE	HANASAB RESIDENCE
JOB ADDRESS	1011 LEXINGTON RD., BEVERLY HILLS, CA 90210
OWNER/DEVELOPER	MIL. HANASAB
DATE	05/26/12
SCALE	3/32" = 1' - 0"
DRAWN BY	M/J/C/L
JOB NUMBER	0556/12
SHEET NUMBER	
A-1.0	

KEY NOTES

- 36" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
- 24" x 30" attic access.
- Attic access with pull down ladder
- Screened under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air. (See mechanical plans).
- Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
- Line of exhaust hood above: Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- For all attached or detached garages, provide 5/8" type "X" gypsum board on walls, ceiling, posts and beams supporting dwellings (TR302.6)
- Fire blocking shall be installed at: (708.2.1)
 - Concealed space between stair stringers at top and bottom run.
 - At openings around vents, pipes, ducts, chimneys (non-combustible materials).
 - At garage door opener, push button shall be pre-wired before gypsum board is installed.
- 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC). Solid trap at tub without access panels must be provided.
- Electrical sub panel: See electrical plans.
- Built in cabinetry
- Washer: Recessed hot and cold water and drain standpipes must be provided. Floor drain under washer must also be provided.
- Dryer: Clothes dryer moisture exhaust duct must be 4-in. in diameter and length is limited to 14-ft with 2 elbows. The duct length shall be reduced by 2-ft for every elbow in excess of two.
- Water softener
- F.A.U. with night setback thermostat and summer fan switch. Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood

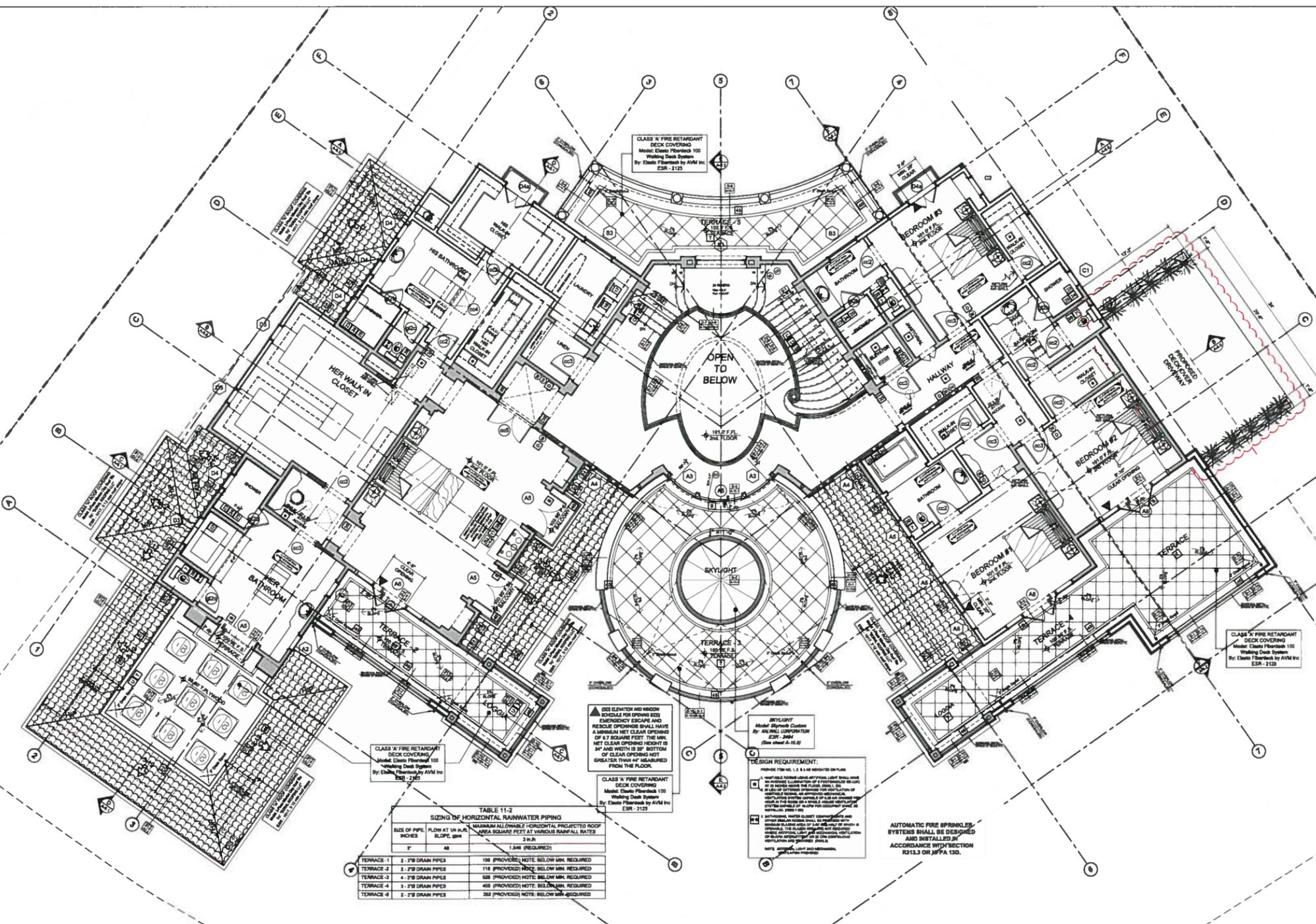
- platform for unit (verify location with mechanical plans). See title 24 for size and model.
- Gas fired H-recovery water heater/ storage tank with circulating pump and R-3 insulation. Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (See Detail #15 Sheet A-10.5). For water softener, provide plumbing loops. Note: Provide 18" min. high wood platform with 5/8" type "X" gypsum board finish. Comply with Chapter 28 - Water Heaters (See Sheet A-N.02, notes under F)
- Phone panel: All lines to be home run.
- Tub/shower with stone on walls to ceiling height
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-absorbent surface extending to a height of not less than 6 feet above the floor (R307.2)
- Provide tempered glass shower enclosure - See door/window specifications
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, start and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - Mr. Steam model no. MS Super II Enclosure shall be tempered glass with hopper window above door. (Finish ceiling with same material as walls and slope 0" per 1'-0"). Install steam unit per MRF. recommendations.
- Direct Vent Metal Finbox with horizontal brick pattern & Selfick metalbestos RSS1 fire system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose lay valves. Provide gas enclosures at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if "instant-hot" dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve. Verify with manufacturer
- Cooking Pot filler faucet, (Location: Kitchen)
- 33.
- 24-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1.2)
- 24-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy

- (per IBC Table 720.1.2.1)
 - Archway/stairway above (See elevations)
 - GPX Door Assembly with SuperLite 3-XL by "Safe First". RFR# 25786
 - Decorative niche. Verify owner's requirements.
 - Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
 - Provide spark arrester in chimneys of all fire places w/ openings not to exceed 1/2 inches. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.2.U.B.C. section (max. 1/2 inch screen).
 - Wet bar should NOT include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cub ft garbage disposal dishwasher device designed for cooking or heating of food, total counter space exceeding 10 sq. feet, Counter finish per owner's requirements.
 - Built-in shaving vanity with owner's
 - Wet bar should NOT include any of the following items: natural gas outlet, 220 AC outlet, double sink, bar sink exceeding one sq.foot, hot water line, refrigerator exceeding 10 cub ft garbage disposal dishwasher device designed for cooking or heating of food, total counter space exceeding 10 sq. feet, Counter finish per owner's requirements.
 - Built-in shaving vanity with owner's
 - Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade
 - Tempered Glass "T"
 - Elevator machine rooms that contain solid-state equipment to be provided with an independent ventilation or A/C system to protect against overheating of the electrical equipment per 2018 CBC sec.3008.2.
 - Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.
- GENERAL FLOOR PLAN NOTES**
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3).
 - Every space intended for human occupancy shall be provided with natural ventilation by

- means of operable exterior wall openings not less than 4% of floor area. Mechanical ventilating systems may be permitted under Section 1204.3.
- Entry/exit door must open on a landing not more than 0.5' below the threshold. If the door does NOT swing over the landing, landing shall not more than 7'75" below the threshold. Landing at a door shall have a length measured in the direction of travel of no less than 36".
- Stairways dimensions and construction:
 - Maximum 7'75" & minimum 4" rise - Minimum 10" run. (See Detail 1.2 & 3 @ Sheet A-10.3)
 - Escalator: window treads shall have a min. 10" tread depth @ a point 12" from the narrow side, and min 8" tread depth @ the narrowest end.
 - Minimum 6'-8" vertical headroom at tread nosing.
 - Minimum 36" clear width (max. 4.5-in. handrail projection is permitted on each side)
 - Handrails 34" to 38" high.
- State Fire Marshal approved smoke alarms: detectors must be provided. All smoke alarms shall be tested in accordance with 217 and installed in accordance with the provisions of Sec.314 and the household fire warning equipment provisions of NFPA 72. Smoke alarms shall emit a signal when the batteries are low (907.2.10.2). (See sheet A-H.01 Section 314 "Smoke Alarms") An approved carbon monoxide alarm shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed and in dwelling units that have attached garages. (See sheet A-H.01 Section 315 "Carbon Monoxide Alarms") See floor plans for location of Smoke Alarms (SD) and Carbon Monoxide Alarms (CO) E. Provide anti-Graffiti finish within the first 9 ft. measured from grade at exterior walls and doors F. Wood burning fireplace is prohibited per AQMD's Rule 445 since March 9 2009) Any installed gas fireplace shall be a direct-vent sealed-combustion type.
- Refer to reflected ceiling plans, building sections and interior elevations for fumed ceilings.
- All exterior and interior studs shall be 2 x 6 framing or multiple rows of 2 x 6(4)'s unless otherwise noted. Spacing and specifications per structural engineer.
- As required by Current Building Code draft stops must be provided. Enclosed spaces in stud wall, partitions and furred walls shall have the stops at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.

- Insulation: Provide R-19 Min. insulation at all exterior walls, including garage. Provide R-30 min. insulation in attic spaces. Refer to title 24 for additional requirements. Provide R-19 insulation at all interior walls and R-30 insulation between floors for sound control. Insulate around plumbing pipes.
- Attic/Under-floor ventilation equal to 1/150 s.f. of Attic/Under-Floor area is required.
- Ducts in a private garage and ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 0.019-inch (0.48mm) sheet steel and shall have no openings into the garage 408.14
- Garage floor surface shall be of noncombustible materials or asphaltic paving materials and shall be designed to support a uniformly distributed load of 50-psf or concentrated live loads of 2,000 lbs. acting on an area of 20 sq. ft. (T-R301.5)
- Garage walls and garage ceiling shall be 1-HR. Fire Rated by using no less than 5/8-in. Type X gypsum board over wood framing or using no less than 4" CMU. (T-R302.6)
- Building shall be fully sprinklered per NFPA 13d including attached garages. The Sprinkler System shall be automatic type and approved by Plumbing Division prior to installation.
- Draft stop shall be provided in a concealed floor-ceiling assembly formed of combustible construction unless the building is sprinklered with NFPA 13 sprinkler system (1000 if between draft stops) (717.3.2.2.3)
- Provide damp-proofing for all walls below grade that enclose usable space." Specify Research Report (RR# or ICBO#) for membranes.
- Water Heater must be strapped to wall (Sec.507.3 DPC) or (P2801.7) (See Detail #18 @ A-10.3) Comply with Chapter 28 - Water Heaters (See Sheet A-H.02, notes under F)
- Provide ultra flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Bathrooms water closet compartments and other similar rooms shall be provided with aggregate glazing area in windows of not less than 3 square feet (0.3 m2) one-half of which must be operable. Exception: The glazing area shall not be required where artificial light and a mechanical ventilation system are provided. The minimum ventilation rates shall be 50 cubic feet per minute (24 L/s) for intermittent ventilation or 20 cubic feet per minute 10 L/s for continuous ventilation. Ventilation air from the space shall be exhausted directly to the outside (R303.3).

- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-absorbent surface extending to a height of not less than 6 feet above the floor (R307.2). Provide approved shatter-resistant materials for shower enclosure. 81.807.1.3, 81.2406.4(5), 91.11159.5.8.7.8
- A corrosion resistant weep screed is required below the stucco minimum of 4" above earth or 2" above paved area 91.2506.05 (SEE DETAIL 6 & 8 SHEET A-10.5)
- All flat roofs, decks, balconies shall slope a minimum of 2% toward drains. 1506.1 & 1611
- Provide a class A, fire-resistant flat roof, deck and balconies covering per Section 1505.1 Use Enduro-Kote and Enduro-Flex Kote by "Enduro Products, Inc." - class "A" fire resistant walking deck and roof covering. LAFR #2442, ESR-2245. Built-up roof covering materials shall comply with the standards in Table R905.2 (See sheet A-N.02 for complete text of Section R905.2 requirements and tables.)
- GPX Door Assembly with SuperLite 3-XL by "Safe First". RFR# 25786 (SEE SHEET A-RR01)
- An approved Sismic Gas Shutoff Valve shall be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building.
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appliances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Exterior walls shall be approved noncombustible or gypsum-resistant material, heavy timber, or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (704A.3.1). Comply with VHFHZ requirements.
- Based on City maps, this project is located within Very High Fire Hazard Severity Zone (VHFHSZ). It shall Comply with requirements of Materials, systems & construction methods of Chapter 7A and Chapter 7Z. Read VHFHSZ Supplemental Notes on sheet A-N02.



CALIFORNIA GREEN CODE WITH CITY OF BEVERLY HILLS AMENDMENTS:

- One 120 VAC 20 amp and one 208/240V 40 amp, grounded AC outlet or panel capacity for one 230/240V 40 amp, grounded AC outlet and conduit installed for future outlets for each dwelling unit. Electric vehicle supply shall be provided and may be installed in a stall provided to comply with the code minimum parking requirements. Dwelling unit shall be defined by the California Building Code, 4.106.4 (See Sheet A1.1 for location)
- Permeable paving shall be utilized for parking, walking or patio surfaces. A4.106.4 (See Sheet A1.1 for location)
- Roofing materials shall have a minimum 3 yr. aged solar reflectance and thermal emittance or a minimum Reflectance Index (SRI). A4.106.5
- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. 4.406.1
- Duct openings and other related air distribution component openings shall be covered during construction. 4.504.1
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.1
- Paints and other coatings shall be compliant with VOC limits. 4.504.2.2
- Asphalt paints and coatings shall be compliant with product weight MIB limits for VOC and other toxic compounds. 4.504.2.3
- Documentation shall be provided to verify that compliant VOC limit materials have been used. 4.504.2.4
- Carpet and carpet systems shall be compliant with VOC limits. 4.504.3
- Particle board, Medium Density Board (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 4.504.4
- Install thermal insulation which contains No-Added Formaldehyde (NAF) and is in compliance with the VOC emission limits defined in collaborative for High Performance Schools (CHPS) Low-emitting Materials List. A4.504.3.2
- Flow rates for all plumbing fixtures shall comply with the minimum flow rates in Table 4.303.1 and 4.303.2.
- Use city certified hauler for hauling construction waste or submit a construction waste management plan for approval. 4.406.1 and 4.406.2
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall be replaced or allowed to dry before enclosed. 4.505.3
- Bathroom exhaust fans shall comply with 4.506.1 n. Energy Star II Ducted to the outside of the building c. Controlled by a humidistat control d. Humidistat controller shall be adjustable between a humidity range of 50-60 percent.
- Whole house exhaust fans shall have covers or louvers which close when the fan is off and that are insulated with a minimum insulation value of R-4.2 4.507.1
- The size of layout of the heating and A/C systems shall be in accordance with ACCA Manual J ACCA 28-D and ACCA 36-S ASHRAE handbooks. 4.507.2 CITY OF BEVERLY HILLS AMENDMENTS FOR CGC
- Topsoil shall be protected or saved for reuse to minimized amount of cut and fill. A4.106.2.3 Displaced topsoil shall be stockpiled for reuse in a designated area and covered and protected from erosion.
- Automatic irrigation systems for landscape shall be weather or based controllers and installed at the time of final inspection. 4.304.1
- Piping shall be installed to permit future use of a gray water irrigation system served by the clothes washer or other fixtures. A4.305
- When single shower fixtures are served by more than one shower head, the combined flow rate of all the shower heads shall not exceed the maximum flow rate specified in the 20% reduction column contained in Table 4.303.2 or the shower shall be designed to only allow one showerhead to be in operation at a time. 4.303.2

ENERGY REQUIREMENTS

- Dwelling is provided with comfort heating facilities capable maintaining 68° F at 3 ft above the floor.
- Provide fluorescent lighting in bedrooms and kitchen for general lighting. Locate switch and lighting fixture to allow compliance.
- Performance Certificate Per Title 24 sheet T.24)
 - This building incorporates an air retarding wrap which shall be installed to meet the requirements of section 150.1 of the Standards.
 - HIGH MASS Design. Verify Thermal Mass. 3,300 sq. Ft. Mortar Interior Mass. 1,500" thick at 1st floor.
 - This Building Incorporates an air retarding wrap which shall be installed to meet the requirements of Section 150.1 of the Standards.
 - The roof R-38 Roof Attic w/ Radiant barrier includes credit for a Radiant Barrier that is continuous meeting eligibility and installation criteria as specified in Residential Appendix RA4.2.2.
 - Provide required insulation glazing, overhangs, radiant barrier, and other mandatory features

TABLE 11-2
SIZING OF HORIZONTAL RAINWATER PIPING

SIZE OF PIPE INCHES	FLOW AT 1/8 IN. RAIN RATE	MAXIMUM ALLOWABLE HORIZONTAL PROJECTED ROOF AREA SQUARE FEET AT VARIOUS RAINFALL RATES	1 INCH	3 INCH
TERRACE-1	2 - 1/2" DRAIN PIPES	188 (PROVIDE) NOTE: BELOW MIN. REQUIRED		
TERRACE-2	2 - 1/2" DRAIN PIPES	118 (PROVIDE) NOTE: BELOW MIN. REQUIRED		
TERRACE-3	4 - 1/2" DRAIN PIPES	588 (PROVIDE) NOTE: BELOW MIN. REQUIRED		
TERRACE-4	3 - 1/2" DRAIN PIPES	488 (PROVIDE) NOTE: BELOW MIN. REQUIRED		
TERRACE-5	2 - 1/2" DRAIN PIPES	388 (PROVIDE) NOTE: BELOW MIN. REQUIRED		

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HAROUNI-HAFCO
CONSULTING ARCHITECTS & ENGINEERS
TEL: (323) 851-0898, FAX: (323) 852-8415

DATE	SCALE	DRAWN BY	JOB NUMBER
	3/32" = 1' - 0"	M/J/C/L	0556/12

DRAWING TITLE	DESCRIPTION
SECOND FLOOR PLAN SHOWING PROPOSED DECK OVER DRIVEWAY	

JOB TITLE	JOB ADDRESS	OWNER/DEVELOPER
HANASAB RESIDENCE	1011 LEXINGTON RD. BEVERLY HILLS, CA 90210	MR. HANASAB

SHEET NUMBER
A-2.0

KEY NOTES

- 30" x 30" roof access hatch. (SEE DETAIL 2 & 4 SHEET A-10.7)
- 24" x 30" attic access.
- Attic access with pull down ladder.
- Screwed under-floor vent.
- Under-floor access.
- Exhaust fan capable of providing five (5) complete air changes per hour. Vent exhaust fans to outside air (See mechanical plans).
- Provide self-closing device on Fire Rated door (see door schedule SHEET A-8.0).
- Line of exhaust hood above. Vent to outside with remote exhaust fans. Verify venting requirements with manufacturer specifications.
- For all attached or detached garages, provide 5/8" type "X" gypsum board on walls, ceiling, and beams supporting dwellings (T-R302.6)
- Fire blocking shall be installed etc. (704.2.1)
 - Concealed space between stair stringers at top and bottom run.
 - At openings around vents, pipes, ducts, chimneys (non-combustible materials)
 - At openings between attic and chimneys chase for factory built chimneys;
- For garage door opener, push button shall be pre-wired before gypsum board is installed.
- 12" x 12" minimum access panel to bathtub trap connection with slip joints (94-B UPC); Solid trap at tuba without access panels must be provided.
- Electrical sub panel: See electrical plans.
- Built in cabinetry.
- Washer: Recessed hot and cold water and drain standpipe must be provided. Floor drain under washer must also be provided.
- Dryer: Clothes dryer moisture exhaust duct must be 4-in. in diameter and length is limited to 14-ft with 2 elbows. The duct length shall be reduced by 2-ft for every elbow in excess of two.
- Water softener.
- FAU: with night setback thermostat and summer fan switch; Combustion air vent and condensation line to outside air must be provided. If required, provide 20" plywood platform for unit (verify location with mechanical plans). See title 24 for size and model.

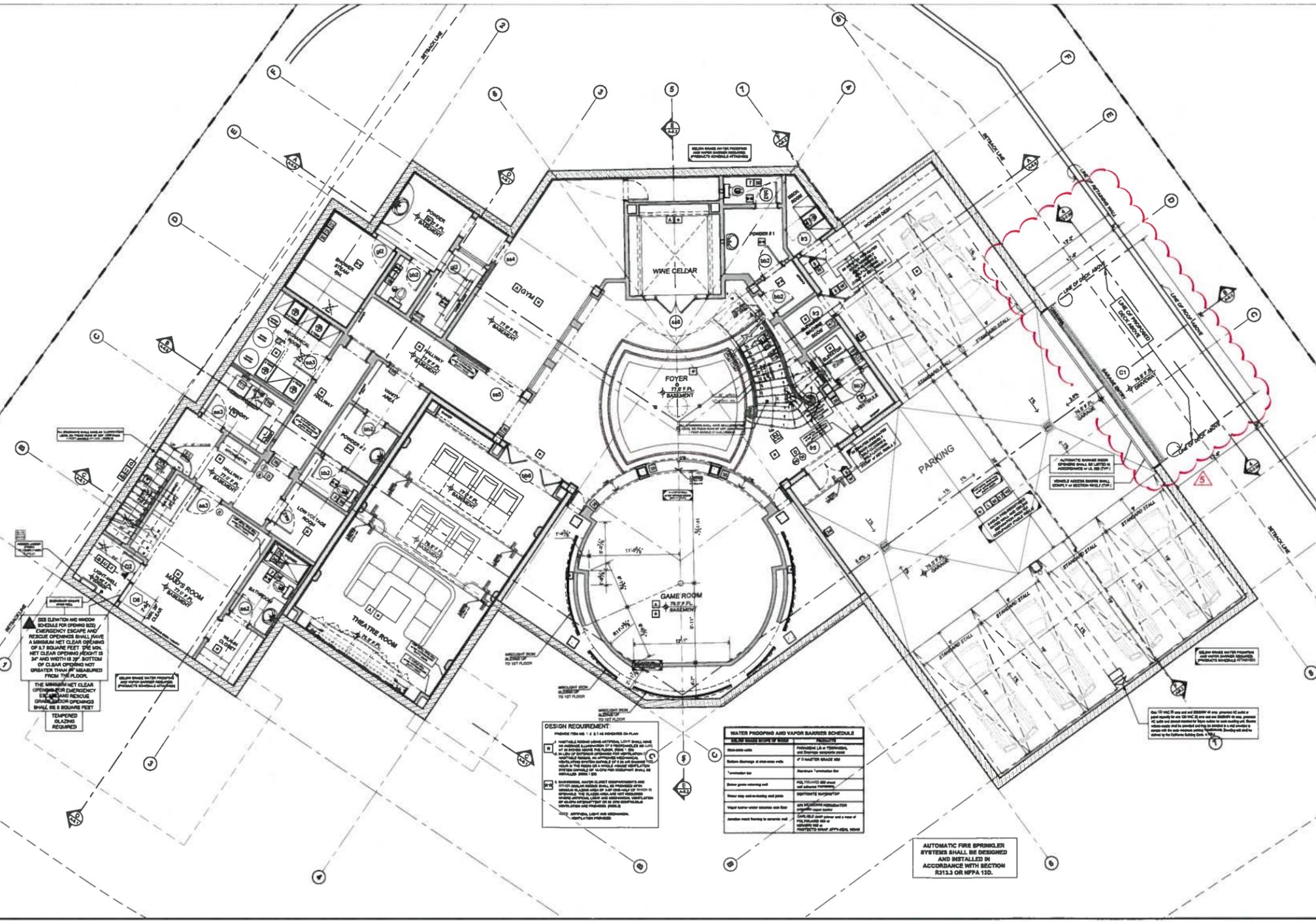
- Gas fired H-recovery water heater storage tank with circulating pump and R-5 insulation. Verify with title 24. For lateral support in the event of an earthquake, secure to wall framing with metal straps at top and bottom (See Detail #16 Sheet A-10.5). For water softener, provide plumbing loops. Note: Provide 1/2" min. high wood platform with 5/8" type "X" gypsum board finish. Comply with Chapter 28 - Water Heaters (See Sheet A-H.02, notes under F)
- Phone panel: All lines to be home run.
- Tub/shower with stone on walls to ceiling height.
- Bathub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-absorbent surface extending to a height of not less than 6 feet above the floor (R307.2).
- Provide tempered glass shower enclosure - See door/window specifications.
- Soap and shampoo niche.
- Built-in whirlpool tub: Deck, skirt and splash must be provided. As required, provide wood framed platform with access to equipment. Electrical sub-contractor shall provide electrical supply and connections as required.
- Steam shower - No. Steam model no. MS Super II. Enclosure shall be tempered glass with hinged window above door. Finish ceiling with same material as walls and slope 0" per 1'-0". Install steam unit per MRF recommendations.
- Direct Vent Metal Firebox with herringbone brick pattern & Selkirk metalbestos #SSII flue system built in accordance with the structural plans. Provide combustion air as required. Provide fuel gas with loose lay valve. Provide glass enclosure at all fireplaces. Provide approved spark arrester at chimney termination. (SEE SHEET A-10.11)
- Verify with owner if "instant-hot" dispenser and water filtration system shall be provided.
- Provide purified cold water supply line to ice-maker with recessed shut off valve.
- Cooking Pot filler faucet, (Location: Kitchen)
- 24-hours fire-resistance-rated wall separating S-2 from R-3 occupancy (per IBC T 720.1(7)).
- 24-hours fire-resistance-rated floor/ceiling assembly separating S-2 from R-3 occupancy

- per IBC Table 720.1(3).
 - Archway/doorway above (See elevations).
 - GFx Door Assembly with SuperLite II-XL by "Safe First" RFR 25786
 - Decorative niche. Verify owner's requirements.
 - Provide 15" minimum between the center of water closet to any side wall and 24" clear space in front.
 - Provide spark arrester in chimneys of all fireplaces w/ openings not to exceed 1/2 inch. Fire code section 1109.7 and U.B.C. section 6403.5 & section 3102.3.8 U.B.C. section (max. 1/2 inch screen).
 - Well bar should NOT include any of the following items: natural gas outlet, 220 AC electrical, double sink, bar sink exceeding one sq. foot, hot water line, refrigerator exceeding 10 cu.ft., garbage disposal, dishwasher, device designed for cooking or heating of food, total counter space exceeding 10 sq. feet. Counter finish per owner's requirements.
 - Built-in shelving, verify with owner's.
 - Provide 42" guardrails with less than 4" clear spacing between intermediate rails when the walking surface is higher than 30" above adjacent grade.
 - Tempered Glass "T"
 - Elevator machine rooms that contain solid-state equipment to be provided with an independent ventilation or A/C system to protect against overheating of the electrical equipment per 2010 CBC sec 3008.2.
 - Elevator Requirements: Ensure that pit depth and overhead clearance is in accordance with ASME A17.1 requirements. Separate mechanical permit is required for elevator.
- GENERAL FLOOR PLAN NOTES**
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section 1205.2 or shall be provided with artificial light that is adequate to provide an average illumination of 10 foot-candles over the area of the room at a height of 30 inches above the floor level. (1205.1 & 1205.3)
 - As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and turned walls shall have five steps at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.

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 - As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and turned walls shall have five steps at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.

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 - As required by Current Building Code, draft stops must be provided. Enclosed spaces in stud wall, partitions and turned walls shall have five steps at top and bottom and at mid-point in walls more than 10 feet high. Verify with structural plans.



CALIFORNIA GREEN CODE WITH CITY OF BEVERLY HILLS AMENDMENTS:

- One 120 VAC 20 amp and one 208/240V 40 amp, grounded AC outlet or panel capacity for one 120 VAC 20 amp and one 208/240V 40 amp, grounded AC outlet and conduit installed for future outlets for each dwelling unit. Electric vehicle supply shall be provided and may be installed in a stall provided to comply with the code minimum parking requirements. Dwelling unit shall be defined by the California Building Code, 4.106.4 (See Sheet A1.1 for location)
- Permeable paving shall be utilized for parking, walking or patio surfaces. A4.106.4 (See Sheet A1.1 for location)
- Roofing materials shall have a minimum 3 yr. aged solar reflectance and thermal emittance or a minimum Reflectance Index (RI) of 106.5
- Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. 4.408.1
- Duct openings and other related air distribution component openings shall be covered during construction. 4.504.1
- Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. 4.504.2.1
- Paints and other coatings shall be compliant with VOC limits. 4.504.2.2
- Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds. 4.504.2.3
- Documentation shall be provided to verify that compliant VOC limit finish materials have been used. 4.504.2.4
- Carpet and carpet systems shall be compliant with VOC limits. 4.504.3
- Particle board, Medium Density Board (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards. 4.504.5
- Install thermal insulation which contains No-Added Formaldehyde (NAF) and is in compliance with the VOC- emission limits defined in collaborative for High Performance Schools (CHPS) Low-emitting Materials List. A4.504.3.2
- Flow rates for all plumbing fixtures shall comply with the minimum flow rates in Table 4.303.1 and 4.303.2.
- Use city certified hauler for hauling construction waste or submit a construction waste management plan for approval. 4.408.1 and 4.408.2
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall be replaced or allowed to dry before enclosed. 4.505.3
- Bathroom exhaust fans shall comply with: 4.506.1 a. Energy Star b. Ducted to the outside of the building c. Controlled by a humidistat control d. Humidistat controller shall be adjustable between a humidity range of 50-80 percent.
- Whole house exhaust fans shall have covers or louvers which close when the fan is off and that are insulated with a minimum insulation value of R-4.2. 4.507.1
- The size of layout of the heating and A/C systems shall be in accordance with ACCA Manual J, ACCA 25-D and ACCA 38-S ASHRAE handbooks. 4.507.2 CITY OF BEVERLY HILLS AMENDMENTS FOR CGC.
- Topsoil shall be protected or saved for reuse to minimized amount of cut and fill. A4.106.2.3 Displaced topsoil shall be stockpiled for reuse in a designated area and covered and protected from erosion.
- Automatic irrigation systems for landscape shall be weather or soil based controllers and installed at the time of final grading. 4.304.1
- Piping shall be installed to permit future use of a gray water irrigation system served by the clothes washer or other fixtures. A4.305.1
- When single shower fixtures are served by more than one shower head, the combined flow of all the shower heads shall not exceed the maximum flow rates specified in the 20% reduced column contained Table 4.303.2 or the shower shall be designed to only allow one shower to be in operation at a time. (4.303.2)

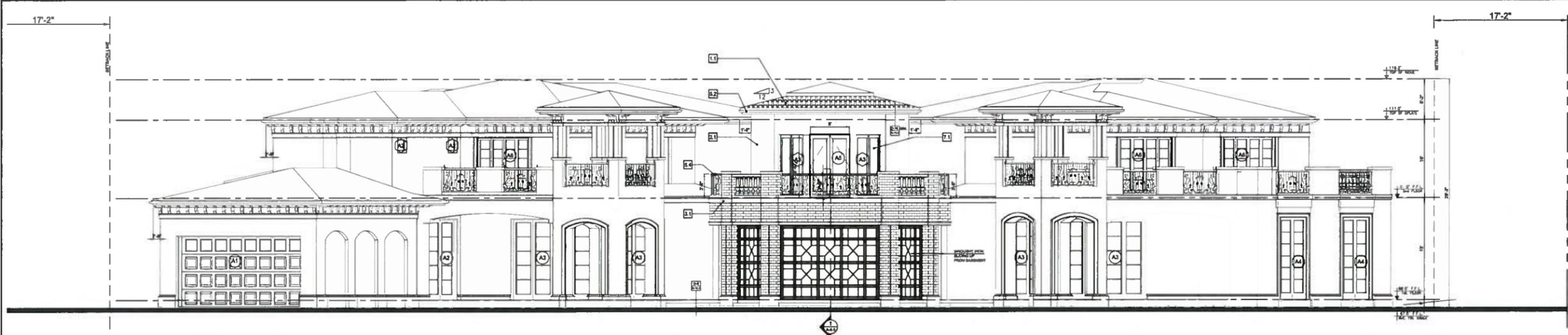
ENERGY REQUIREMENTS:

- Dwelling is provided with comfort heating facilities capable maintaining 68° F at 3 ft above the floor.
- Provide fluorescent lighting in bathrooms and kitchen for general lighting. Locate switch and lighting fixture to show compliance.
- Performance Certificate Per Title 24 (sheet T-24)
 - This Building incorporates an air retarding wrap which shall be installed to meet the requirements of section 150 (f) of the Standards.
 - HIGH MASS Design - Vapour Thermal Mass: 3,300 of Tile in Mortar Interior Mass, 1,500" thick at 1st Floor.
 - This Building incorporates an air retarding wrap which shall be installed to meet the requirements of Section 150 (f) of the standards.
 - The roof R-38 Roof Attic w/ Radiant barrier includes credit for a Radiant barrier that is continuous meeting eligibility and installation criteria as specified in Residential Appendix RM.2.2.
- Provide required insulation, glazing, overhangs, radiant barrier, and other mandatory features.

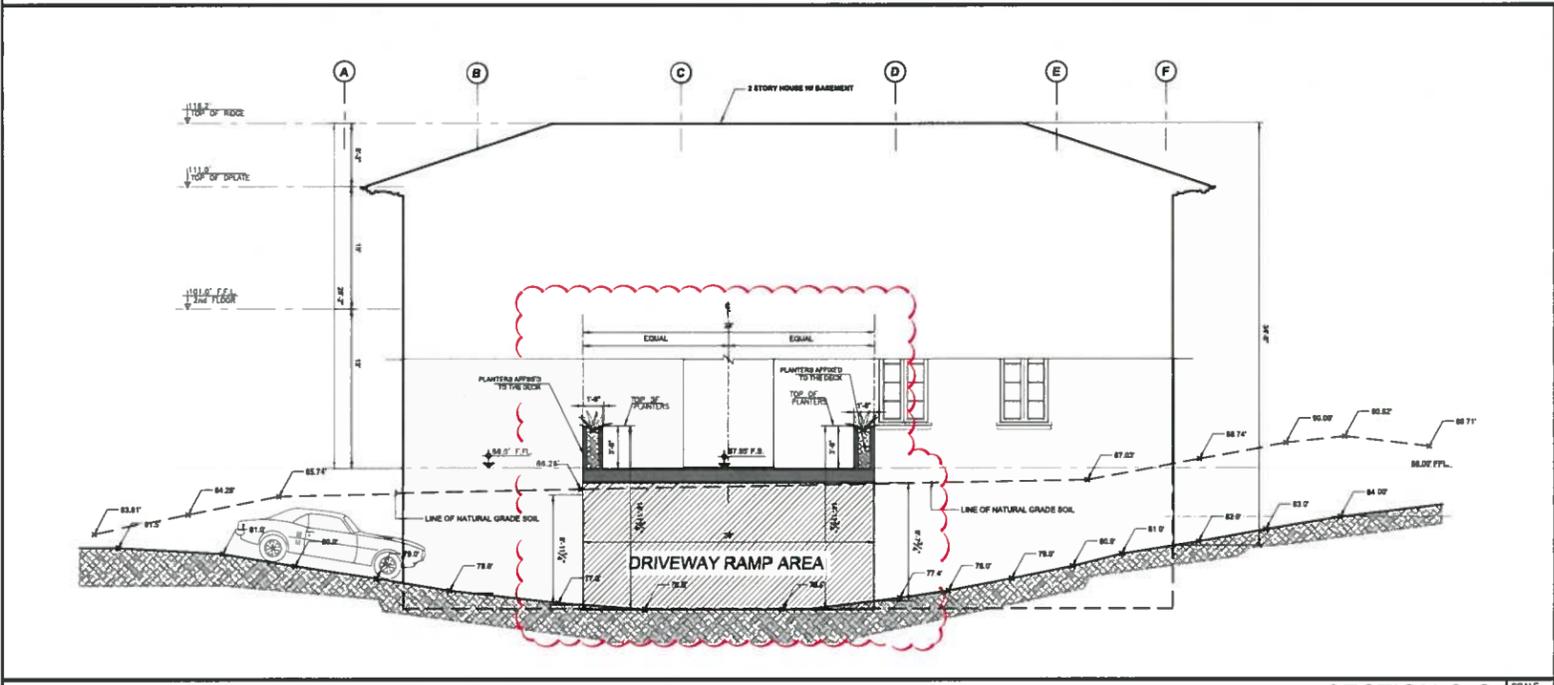
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DATE	SCALE	DRAWN BY	JOB NUMBER
	3/32" = 1' - 0"	MJJ/G/L	0558/12
DRAWING TITLE	BASEMENT PLAN SHOWING PROPOSED DECK OVER DRIVEWAY		
JOB TITLE	HANASAB RESIDENCE		
JOB ADDRESS	101 LEXINGTON RD. BEVERLY HILLS, CA 90210		
OWNER / DEVELOPER	MR. HANASAB		
DECK OVER DRIVEWAY RAMP			
NO.	DATE	DESCRIPTION	
1	2015-12-31		
SHEET NUMBER			
A-3.0			



ELEVATION #1 SCALE: 3/32" = 1'-0" SOUTH



SECTION G-G SCALE: 3/32" = 1'-0"

- KEYED NOTES**
- 1 - ROOF
 - 1.1 Clay Roof Tiles by SQUAL ROOFING LLC Model: Cello Impressed Clay Roof Tile Colors Sample: 1/2 Area Canale 1/4 Area Puugo - 1/4 Area
 - 2 - WALL FINISHES
 - 2.1 Exterior Wall Smooth Stucco Finish By: Marlin Stucco Color: P-1719 302 Finish: SBF Smooth Tier II
 - 3 - PRECAST
 - 3.1 Precast Concrete Molding By: Pacific Stone Design, Inc Color: Roma 08
 - 4 - MASONRY
 - 4.1 Not Used
 - 5 - METAL
 - 5.1 Not Used
 - 5.2 Copper Gutter Color: Satin Copper
 - 5.3 Copper Downspouts Color: Satin Copper
 - 5.4 Wrought Iron Railing By: Marlin's Ironworks Color: Satin Black
 - 5.5 Wood Windows and Doors w/ Aluminum Cladding By: Southland WLD Color: Deep Brown
 - 6 - WOOD
 - 6.1 Main Entry Door Color: Dark Cherry Stain
 - 6.2 Pine Wood Corbels Colored in: Dark Brown
 - 7 - GLASS
 - 7.1 Insulated Glass (TEMPERED) Color/Shade: Clear Glass
 - 8 - OTHERS
 - 8.1 Exterior Lighting by Falsa

NOTES:

A. KEY-NOTES USE ONLY APPLIES ON ELEVATION

B. PROVIDE SAFETY TEMPERED GLAZING FOR ALL WINDOWS AND DOORS THAT HAVE GLASS

C. PROVIDE ANTI-GRAFFITI PAINT FINISH WITHIN THE FIRST 8 FEET MEASURED FROM GRADE, AT EXTERIOR WALL AND DOORS.

SUPPLEMENTAL "VHFHSZ" NOTES:

1. Exterior walls shall be approved non-combustible or light-fire-resistant material, heavy timber or log wall construction or shall provide protection from the intrusion of flames and exterior in accordance with standard SP14 (12-74-1) (7944.3.1)

2. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal solid wood blocking between rafters or in the case of structural masonry, terminate at the enclosure (7944.3.2)

3. Exterior windows, window walls, glass doors, and glazed openings within exterior doors shall be insulating-glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to ASTM E 2916, or conform to the performance requirements of SP14 (12-74-2) (7944.3.2.2)

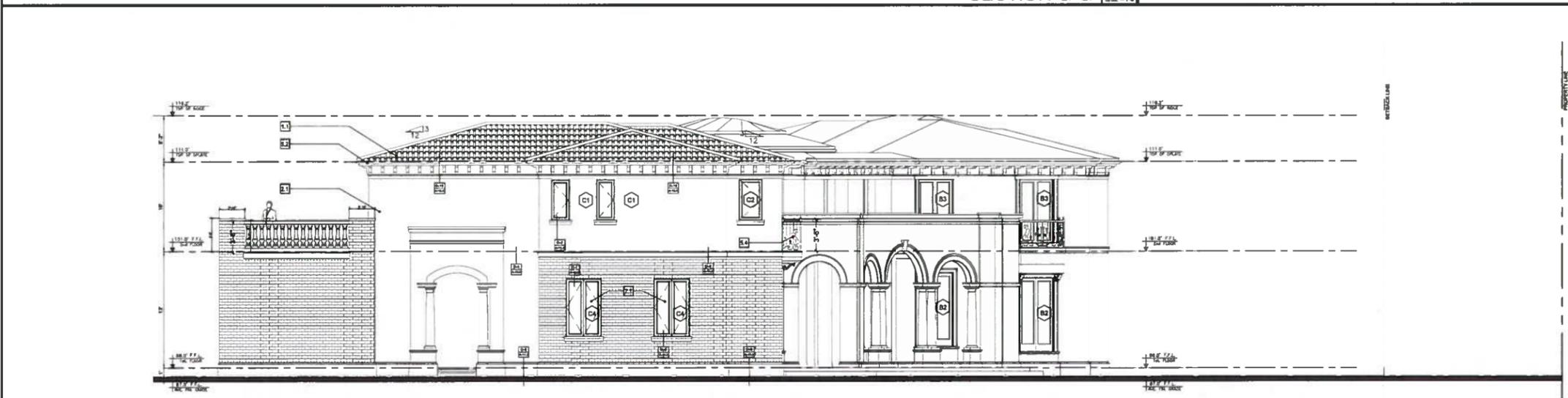
4. Exterior door assemblies shall conform to the performance requirements of standard SP14 (12-74-1) or shall be approved non-combustible construction, or solid core wood having ribs and rails not less than 1 3/8 inches thick with interior field panel thickness no less than 1 1/4 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2914. (Exception: Non-combustible or exterior fire-resistant treated wood vehicle access doors)

5. Decking, surfaces, stair treads, rovers, and landings of decks, porches, and balconies where any portion of such surface is within 18 feet (5488 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 7944.4.1

6. The underside of cantilevered and overhanging appendages and floor projections shall maintain the light-fire-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (7944.4.2.1)

7. Buildings shall have all under-floor areas completely enclosed to the grade with construction as required for exterior walls in A3 unless, pipes, furnaces, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (7947.2)

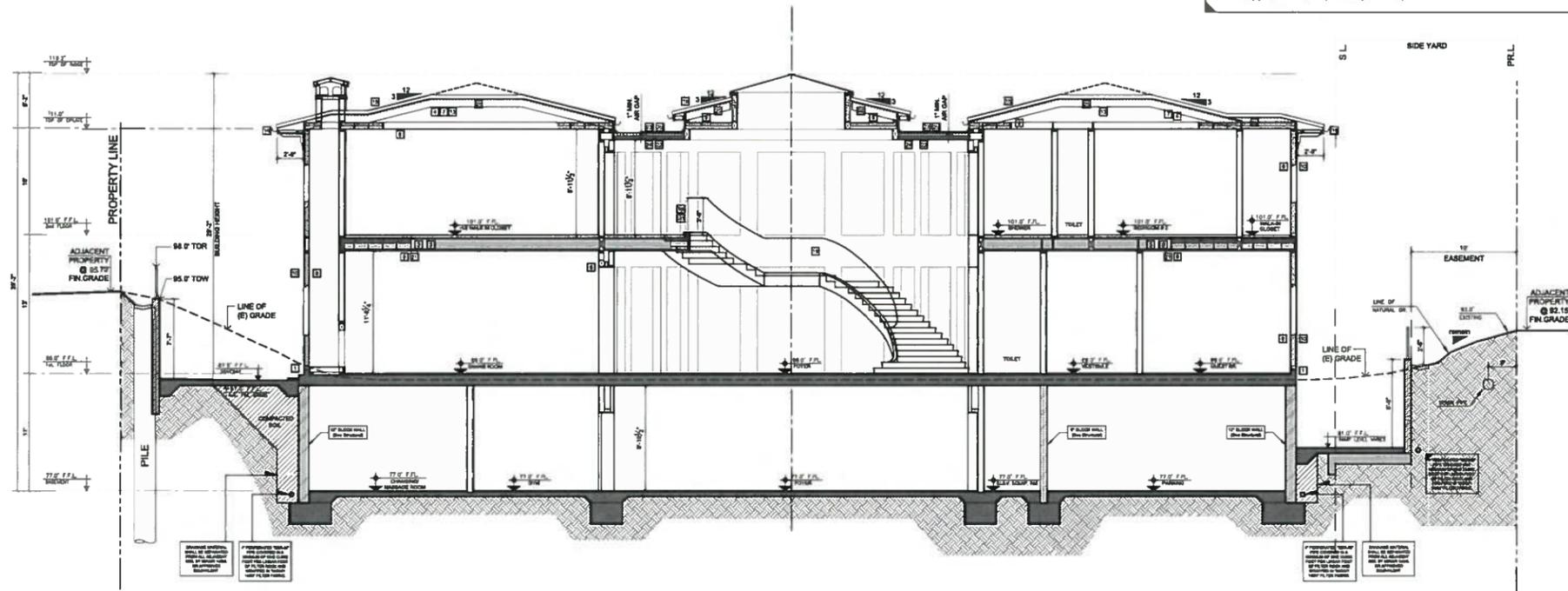
NOTE: Comply with all VHFHSZ requirements (Sheet A-102)



ELEVATION #2 SCALE: 3/32" = 1'-0" EAST

NO.	DATE	DESCRIPTION
1	2018-07-31	ADDED WINDOW FROM DRILL AT LOCUS
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWING TITLE	ELEVATIONS & SECTION
JOB TITLE	HANASAB RESIDENCE
JOB ADDRESS	1011 LEXINGTON RD. BEVERLY HILLS, CA 90210
OWNER / DEVELOPER	MR. HANASAB
DATE	
SCALE	3/32" = 1'-0"
DRAWN BY	M/J/G/L
JOB NUMBER	0556/12
SHEET NUMBER	A-5.0



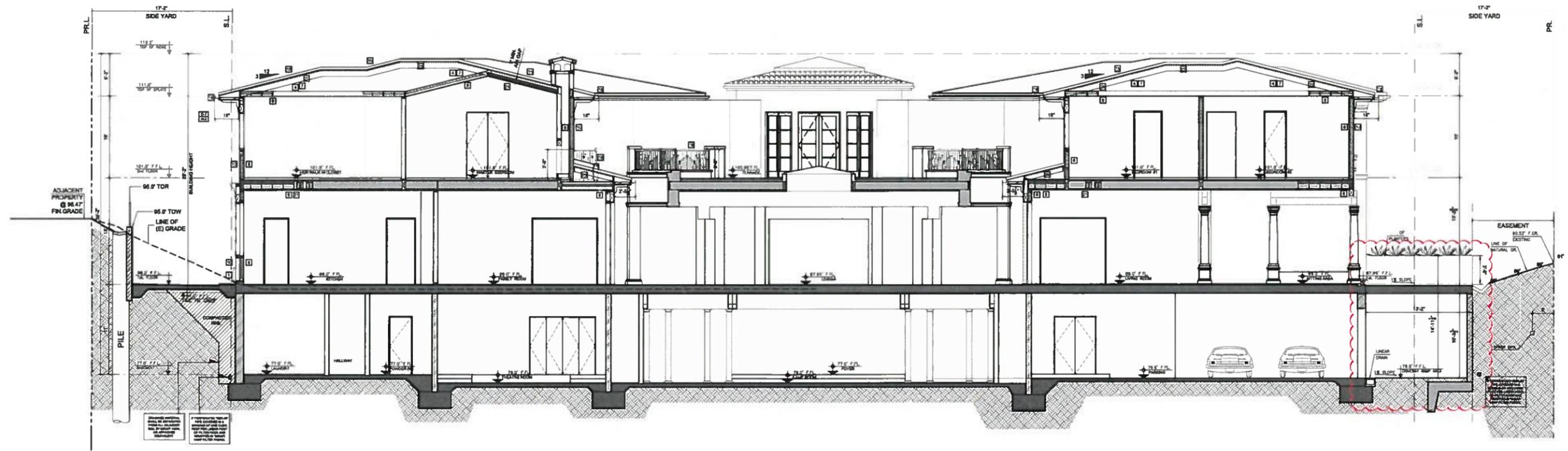
SUPPLEMENTAL "VNFHSZ" NOTES:

1. Exterior walls shall be approved noncombustible or ignition-resistant material, heavy timber or log wall construction or shall provide protection from the intrusion of flames and embers in accordance with standard SFM 12-7A-1 (70A4.3.1)
- g. Exterior wall coverings shall extend from the top of foundation to the roof, and terminate at 2-inch (50.8 mm) nominal sized wood blocking between rafters at all roof overhangs, or in the case of protected eaves, terminate at the enclosure (70A4.3.2)
- h. Exterior windows, window walls, glass doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes, when tested according to ASTM E 2914, or conform to the performance requirements of SFM 12-7A-1 (70A4.3.2)
- i. Exterior door assemblies shall conform to the performance requirements of standard SFM 12-7A-1 or shall be approved noncombustible construction, or solid core wood having edges and rails not less than 1 3/8 inches thick with interior solid panel thickness no less than 1 1/4 inches thick, or shall have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2914. (Exception: Noncombustible or exterior fire-resistant treated wood vehicle access doors)
- j. Decking, surfaces, stair treads, risers, and landings of decks, porches, and balconies where any portion of such surface is within 10 feet (3048 mm) of the primary structure shall be constructed of heavy timber, non-combustible or other approved materials per Sec. 70A4.1.
- k. The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projection shall be enclosed to the grade (70A4.2.1)
- l. Buildings shall have all underfloor areas completely enclosed to the grade with construction as required for exterior walls. All utilities, pipes, lanterns, water heaters or other mechanical devices located in an exposed under-floor area of a residential building shall be enclosed with materials as required for 1-hour fire-resistive construction (70B.2)

NOTE: Comply with all VNFHSZ requirements (2008 A-102)

- KEYED NOTES**
- 1 PROVIDE A WEEP SCREED AT THE FOUNDATION PLATE LINE A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS
 - 2 FLOOR JOISTS T.A. JOISTS @ 16" O.C. SEE FRAMING PLANS FOR SIZING, SPACING AND DETAIL
 - 3 FLOOR SHEATHING: 3/4" PLYWOOD FLOOR SHEATHING U.N.O. SEE FRAMING PLANS FOR SPECIFICATIONS, NAILING AND BLOCKING
 - 4 ROOF RAFTERS: 2X WOOD ROOF RAFTERS SEE FRAMING PLAN SIZE
 - 5 FURRING AND FALSE FRAMING: 2X @ 16" O.C. AT SOFFITS AND FURR DOWNS THROUGHOUT COORDINATE WITH MECHANICAL CONTRACTOR FOR FOR HVAC DUCT LOCATION AND REQUIREMENTS AND ELECTRICAL CONTRACTOR FOR OUTLET REQUIREMENT
 - 6 WOOD HEADER AT FRAMED OPENING: SEE FRAMING PLANS FOR SIZE AND DETAILS
 - 7 ROOF SHEATHING: 3/4" PLYWOOD ROOF SHEATHING U.N.O. SEE ROOF FRAMING PLANS FOR SPECIFICATION AND NAILING
 - 8 EXTERIOR WALL INSULATION: R-19, 5 1/2" THICK FIBERGLASS BATT INSULATION AT SPACE BETWEEN STUDS, TYPICAL AT EXTERIOR WALLS, FULL PERIMETER OF HOUSE (INCLUDING WALL BETWEEN HOUSE AND GARAGE)
 - 9 ABOVE CEILING INSULATION: R-38 1 1/2" FIBERGLASS BATT INSULATION BETWEEN CEILING JOIST, ATTIC SPACE, AND ELSEWHERE AS NOTED ON DRAWINGS, TYPICAL FULL EXTENT OF SECOND FLOOR CEILING
 - 10 EXTERIOR CEMENT PLASTER OVER PREFORMED FOAM MOLDING AT EAVES TYPICAL. SEE EXTERIOR ELEVATION.
 - 11 5/8" TYPE "X" GYPSUM BOARD THROUGHOUT THE GARAGE AT WALLS, CEILING AND BOXED STEEL BEAMS AND COLLUMNS
 - 12 THE WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE AS REQUIRED FOR ONE HOUR FIRE RESISTIVE CONSTRUCTION SECTION 1003.3.3.9
 - 13 ATTIC SPACE: SEE ROOF PLAN FOR VENTILATION REQUIREMENTS
 - 14 ATTIC VENTS: G.L. SHEET METAL ATTIC VENTS LOUVERED & SCREENED. SEE ROOF PLAN FOR VENT AREA REQUIREMENTS.
 - 15 ROOFING: 2-PIECE MISSION CLAY ROOF TILE, APPLIED OVER SOLID SHEATHING WITH 2 LAYERS OF UNDERLAYMENT. SEE ROOF PLAN FOR SPECS.
 - 16 CONTINUOUS G.I. GUTTER AT ROOF EAVES, DRAIN TO GO GRADE LEVEL. VIA EXPOSED G.I. SHEET METAL DOWNSPOUTS. CONTINUOUS G.I. GUTTER AT HIGH ROOF AREA, SPILL NO ADJACENT LOWER ROOF SURFACE WHERE OCCURS. VERIFY LOCATION OF DOWNSPOUTS WITH OWNER PRIOR TO INSTALLATION
 - 17 MINIMUM 42" HIGH RAILING. SEE EXTERIOR ELEVATIONS
 - 18 WROUGHT IRON RAILING. MINIMUM 42" HEIGHT TYPICAL. VERIFY COLOR & FINISH WITH OWNER
 - 19 HANDRAIL (REQUIRED FOR 4 OR MORE RISERS) 3/4" TO 3/8" ABOVE TREAD NOSING 1 1/2" CLEARANCE TO WALL, 1 1/4" TO 2" IN CROSS SECTION WITH ENDS RETURNED TO WALL OR TERMINATE AT NEWEL OR SAFETY POST (1003.3.3.509)
 - 20 HANDRAIL CONNECTION DETAILS ADEQUATE TO WITHSTAND A 20-POUNDS-PER-FOOT LATERAL LOAD 1003.3.3.509)
 - 21 5/8" TYPE "X" GYPSUM BOARD THROUGHOUT THE CEILING
 - 22 ROOF JOISTS T.A. JOISTS @ 16" O.C. SEE FRAMING PLANS FOR SIZING, SPACING AND DETAIL
 - 23 BUILT-UP ROOFING, SEE ROOF PLAN
 - 24 R-38 RIGID INSULATION 6" FO - FACED POLYISO FOAM SHEATHING BY JOHNS MANVILLE, 1" THK. PER R-5 VALUE. ESR - 3398
 - 25 PROVIDE ATTIC FOIL RADIANT BARRIER

SECTION A-A SCALE 3/32" = 1'-0" KEY NOTES



SECTION B-B

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DATE	DESCRIPTION
2018-12-21	DECK COVER OVER DRIVEWAY RAMP

DRAWING TITLE	ARCHITECTURAL SECTIONS
JOB TITLE	HANASAB RESIDENCE
JOB ADDRESS	1011 LEXINGTON RD. BEVERLY HILLS, CA 90210
OWNER / DEVELOPER	MR. HANASAB
SCALE	3/32" = 1'-0"
DRAWN BY	M/J/G/L
JOB NUMBER	0556/12
SHEET NUMBER	
A-6.0	

