



AGENDA REPORT

Meeting Date: December 6, 2016

Item Number: F-1

To: Honorable Mayor & City Council

From: Susan Healy Keene, AICP, Director of Community Development

Subject: AN APPEAL OF THE PLANNING COMMISSION'S DECISION APPROVING A CENTRAL R-1 PERMIT TO ALLOW A REDUCED REAR SETBACK FOR A CORNER PROPERTY FOR THE RESIDENCE LOCATED AT 9570 VIRGINIA PLACE. THE COUNCIL WILL ALSO CONSIDER ADOPTION OF A CATEGORICAL EXEMPTION, PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Attachments:

1. Appeal Petition
2. Correspondence received for Planning Commission hearing
3. Correspondence received for City Council hearing
4. Planning Commission Resolution No. 1771
5. Planning Commission Staff Report – April 28, 2016 (with attachments)
6. Photos of subject property, January and April 2016
7. Photo from existing deck location, November 2016
8. Architectural Plans

RECOMMENDATION

It is recommended that the City Council consider the appeal and Central R-1 Permit to allow a rear setback adjustment for a residence on a corner lot located at 9570 Virginia Place and direct staff to prepare a resolution to deny the appeal and approve the Central R-1 Permit.

INTRODUCTION

On April 28, 2016 the Planning Commission approved a Central R-1 permit for a rear setback adjustment on a corner property located at 9570 Virginia Place to facilitate new residential additions to an existing residence. Subsequent to the Planning Commission's approval of the

Project a timely appeal was filed by Dr. Stan Kahan, owner of the neighboring property addressed 462 Daniels Drive. The Central R-1 Permit approval allowed the reduction of the existing legally nonconforming rear setback from 8' to approximately 6'8". The current zoning code required rear setback for the subject property is 31'.

The submitted appeal asserts that two of the required findings for approval of the Central R-1 Permit for the proposed new deck located above the garage addition cannot be made. First, Beverly Hills Municipal Code (BHMC) § 10-3-2453(A) related to the scale and massing of the streetscape and second, BHMC § 10-3-2453(C) related to neighbors' privacy. This report outlines the basis for the Planning Commission's approval, responds to the information contained in the appeal petition, and makes a recommendation that the City Council deny the appeal and approve the Central R-1 Permit.

BACKGROUND

Project Description

The Project consists of the following elements:

- Addition of approximately 345 square feet to the existing 2 car garage to allow for the parking of 4 cars within the garage.¹
- Addition of approximately 104 square feet of new floor area to the kitchen. Approximately 90 square feet of the new kitchen floor area is proposed to be located at the functional rear of the residence (south side) and 14 square feet located at the functional front (north, street-facing side).
- Addition of approximately 262 square feet of open-air deck to the existing 92 square-foot open-air deck above the garage (not considered floor area). The enlarged deck would be accessed through the renovated kitchen, which is considered to be located at the first floor level of the residence.
- Demolition and replacement of exterior stairs at the north side of the property, which would reduce the existing 8' rear setback to approximately 6'8".

The subject property has street frontage along Virginia Place and along Camden Drive. Camden Drive is technically the front lot line, although the main entrance of the house is oriented towards Virginia Place and the house has a Virginia Place address. The property was originally constructed in 1935 by Master Architect Gerard Colcord. The new additions would total 449 square feet of floor area increasing the floor area of the residence to a total of 4,126 square feet; the property would remain below the maximum allowable floor area of 4,948 square feet. There is a 15' alley separating the subject property and the property located to the west, which is addressed 462 Daniels Drive and is owned by the appellant.

Additional details regarding the Project description are contained in the attached April 28, 2016 Planning Commission staff report (Attachment 5).

¹ The existing residence requires four parking spaces. The parking requirements for the Central Area of the City do not require the four spaces to be located within an enclosed structure.

Required Entitlements

The Central R-1 Permit and the additions to the residence were approved by the Planning Commission on April 28, 2016. A Central R-1 Permit is required for the following components of the Project:

1. To establish a reduced rear setback for the property. The requested new, reduced rear setback would align with new steps for a new rear setback of 6'8";
2. To allow construction of the proposed three new additions to the residence to be built within the project site's required 31' rear setback.

Summary of Planning Commission Deliberations and Findings

At its meeting on April 28, 2016, the Planning Commission held a public hearing, and reviewed all documentation and analysis prepared in conjunction with the Project. In addition, Dr. Stan Kahan, owner of the neighboring property at 462 Daniels Drive, provided testimony outlining his privacy concerns. Dr. Kahan's primary concern was that the location of the expanded deck above the garage would result in views into the rear yard and east-facing rooms of his residence. The Commission discussed the potential for adverse privacy impacts and potential impacts to the scale and mass of the streetscape, with Commissioners Corman and Gordon expressing concerns about privacy and the garage's proximity to the sidewalk. In order to reduce privacy impacts to Dr. Kahan's property, the Applicant agreed to include a wall or landscaping buffer to obscure views to the west from the deck area towards Dr. Kahan's property. The Commission indicated that the appearance of the screening wall or landscaping would be subject to design review by the City's Urban Designer. In addition, the Commission identified that the full height of the screening wall or landscaping need not reach to the front edge of the garage, in order to reduce the massing impacts of the screening device on the streetscape. Commissioner Fischer, Vice Chair Shooshani, and Chair Block agreed that they could make the findings for the project with a condition of approval requiring a screening wall or landscaping 60" in height located at the west side of the proposed deck. The Planning Commission voted 3-2 to approve the Project, with Commissioners Corman and Gordon dissenting. All Project specific findings and conditions are detailed in Attachment 4 (Planning Commission Resolution No. 1771).

Commissioners Corman and Gordon's dissent on the approval of the project was based on two issues. First, they had concerns that the location and expanded size of the deck would result a substantial adverse privacy impact on Dr. Kahan's property. Second, there was a concern that the location of the deck would have a substantial adverse impact on the scale and mass of the streetscape, because the project would result in a deck that could be used for entertaining five feet from the sidewalk in a single family residential area.

Subsequent Commission and City Council Actions

On August 23, 2016, the owners of the subject property submitted an application to the City to designate the property as an historic landmark. The Cultural Heritage Commission subsequently nominated the property as a historic landmark on October 5, 2016. On November 15, 2016, the City Council considered the nomination and continued the hearing for landmark designation of the property to December 6, 2016, so that the appeal and the historic designation could be considered at the same meeting.

APPEAL

The appellant states that two of the findings required for issuing a Central R-1 Permit (each is stated in full below for clarity) for the proposed deck located above the expanded garage cannot be made:

- 10-3-2453(A) - The reviewing authority shall not issue a Central R-1 Permit unless the reviewing authority finds that the proposed development will not have a substantial adverse impact on the scale and massing of the streetscape
- 10-3-2453(C) – The reviewing authority shall not issue a Central R-1 Permit unless the reviewing authority finds that the proposed development will not have a substantial adverse impact on the neighbors' privacy.

The appeal petition contains no new information that had not previously been considered by the Planning Commission prior to rendering a decision on the Project. The appeal petition does not include rationale for why the two identified findings cannot be made. Therefore, staff is not recommending that the matter be remanded to the Planning Commission.

APPEAL ANALYSIS

The following section restates the points provided in the Appeal Petition and provides analysis of each point.

The Planning Commission's approval violates the required findings set forth in BHMC §10-3-2453(A) related to scale and massing of the streetscape.

In evaluating the project, City staff and the Planning Commission considered the possible impact to the streetscape and concluded that the additions would not have a substantial adverse impact on the streetscape for several reasons:

- As evident in the rendering on the following page, the subject property has a substantial slope downward from east to west. Therefore, the first floor level of the house is located approximately 9'6" higher than the floor level of the garage. This results in the bulk and mass of the proposed expanded garage being balanced by the scale of the existing two-story residence, as the majority of the existing structure is located uphill on the property, with a higher base first-floor elevation.
- The proposed 104 square foot kitchen addition and 345 square foot garage expansion are relatively minor in scale when compared to the overall size of the existing 4,077 square foot residence and garage. The proposed additions would increase the gross floor area (inclusive of garage) by approximately 11 percent.
- The proposed garage expansion would allow the property owners to provide four enclosed parking spaces. This would improve the appearance of the site as currently the garage only has interior space for two vehicles, which leads to use of driveway space in front of the garage

for parking. Enlarging the garage would result in four parking spaces being located within a structure and fully screened from the street.

- The design of the proposed kitchen and garage additions has been evaluated by City Staff and found to be compliant with the Secretary of the Interior's Standards for Treatment and Rehabilitation of Historic Properties. Therefore, the appearance of the modified structure will not substantially alter the historic character of the residence when viewed from the street.
- There are other examples of garages located adjacent to the public sidewalk in this area of the City, particularly for corner properties. The street side setback established by the Municipal Code is five feet; the proposal meets this five-foot setback. Of the eight properties located along Virginia Place, four have garage entrances in close proximity to the sidewalk. In terms of the proposed size of the garage, staff believes the proposal to accommodate four code-compliant parking spaces within the structure would be an improvement from the current situation, as the residence is nonconforming with respect to parking.
- Although the proposed deck would be located at the functional front of the house, by code definition it would be adjacent to the street side yard. Other residences in this neighborhood have areas for recreating located adjacent to or facing street side yards: for example, another residence located at the same intersection (the northeast corner of Camden Drive and Virginia Place) has a balcony that faces the street side yard at the second story level.



Rendering of proposed project with area of work outlined in dashed yellow circle.

The Planning Commission's approval violates the required findings set forth in BHMC §10-3-2453(C) related to neighbors' privacy.

The analysis conducted at the time of review indicated that the additions to the existing residence would not create new views into neighboring properties that did not exist prior to the project, nor would the use of the deck or the additional floor area create substantial adverse privacy impacts for the following reasons:

- The existing residence currently has a 92 square-foot deck adjacent to the kitchen. The proposed expanded deck would provide an enlarged view area by expanding the deck by approximately 262 square feet. However, the views to the west would be screened by the substantial distance between the deck and the neighboring residence (approximately 70 feet), as well as the landscaping on the neighboring property. The Planning Commission also added a condition of approval to mitigate privacy impacts to the neighboring property to the west: the Commission required a wall or a planter with plantings 60" in height at the west side of the deck in order to provide a direct physical barrier to block views from the proposed deck towards the neighboring residence and backyard. The applicant has since updated the plans and renderings (Attachment 8) to include a planter that would meet this condition of approval.
- The existing kitchen has first and second story windows that face towards the north and west and provide views of the appellant's residence and back yard. The proposed additions to the kitchen would provide substantially the same views and, therefore, would not cause any additional impacts to privacy.
- At the time of the Planning Commission decision, there was substantial existing landscaping located on the appellant's property, providing screening of the appellant's residence from views from the subject project site. The landscaping on the appellant's property appears to have been trimmed since the time of staff's analysis and the Planning Commission's decision. Comparison photos of foliage that existed on the site at the time that the analysis was conducted (Attachment 6) and a current photo of the view toward the appellant's property from the existing deck (Attachment 7) are provided.

FINDINGS

Staff believes that the following findings, consistent with the Planning Commission's findings for the Project, can be made in support of the Project:

1. The Project is located within a neighborhood that contains properties which are developed primarily with one- and two-story single-family residences and accessory structures. The Project is in keeping with the scale of other residences in the area and the relatively small additions would be consistent with the architectural style of the existing residence. The garage expansion would add approximately 345 square feet in floor area. The expanded garage would be located five feet from the north side yard property line, which is adjacent to the sidewalk on Virginia Place. However, the expanded garage is expected to have a minor effect on the overall quality of the streetscape due to the downward slope of the property from east to west, mitigating the addition's visibility from the street. In

addition, the existing house is located at a higher elevation than the garage level, further limiting the bulk impacts of the garage expansion. As a result of the project's design, siting, and the topography of the property, the project will not have a substantial adverse impact on the scale or massing of the streetscape.

2. The project includes single-story additions that maintain the existing roof lines, reaching a maximum height of 12'3" at a location that is approximately 24' from the nearest shared property line. As a result of the project's design and its low height, as compared with the existing two-story portion of the residence, the project is not anticipated to adversely impact the privacy of the adjacent property to the south. Additionally, a wall or landscaping 60" in height would be required at the west side of the deck as a condition of approval. This screening component would provide additional privacy to the neighbor to the west by preventing views from the finished floor of the deck area. Overall, the project would constitute a small change to the property and would provide the benefit of additional private outdoor space to the property owners, who are limited in usable outdoor area due to the topography of the site.

3. The project is made up of single-story pitched roof additions that slope up and away from the neighboring residence to the south, and reaches its maximum ridge height of 12'4" above the existing average grade at a location that is approximately 24' away from the nearest shared property line. The project is not anticipated to adversely impact access to light and air for the adjacent property to the south due to the single story height of the addition and the addition's location some distance away from the neighboring property. With respect to the neighboring property across the alley to the west, the project would be located a minimum of approximately 24' from the neighbor's property line and therefore the single-story garage expansion will not adversely impact this neighbor's access to light and air.

4. The existing property contains some landscaping, trees, and hardscape within the rear setback. The Project will generally replace existing hardscape, and will not materially alter the existing landscaping within the rear setback. Consequently, the Project will not have an adverse impact on the garden quality of the City.

PUBLIC OUTREACH AND NOTIFICATION

The Planning Commission held a duly noticed public hearing on April 28, 2016, where members of the public and staff provided oral comments on the project. The City received correspondence in opposition to the deck portion of the project from the appellant on the basis of privacy concerns. Additionally, the City received six letters in support of the project from nearby neighbors (all correspondence is included in Attachment 2). Public notice was provided for the December 6, 2016 City Council hearing was provided in the form of direct mailing and on-site posting. Since publishing notice for the City Council review of the appeal, staff has received two written public comments in opposition to the proposed project. Both letters indicated concerns related to privacy impacts from the deck. One of the letters identified concerns about the scale and mass of the garage addition. Both letters are included in Attachment 3.

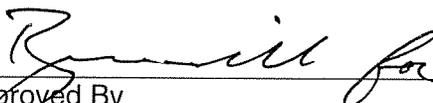
FISCAL IMPACT

No fiscal impact to the City is anticipated from a Council decision in this matter.

RECOMMENDED ACTION

It is recommended that the City Council consider the appeal and Central R-1 Permit to allow a rear setback adjustment for a residence on a corner lot located at 9570 Virginia Place and direct staff to prepare a resolution to deny the appeal and approve the Central R-1 Permit.

Susan Healy Keene, AICP
Director of Community Development


Approved By _____

ATTACHMENT 1

APPEAL PETITION

APPEAL PETITIONS MUST BE FILED WITH THE CITY CLERK'S OFFICE WITHIN
14 CALENDAR DAYS AFTER THE DATE OF THE DECISION

APPEAL TO _____ COMMISSION OR CITY COUNCIL

PLEASE TYPE OR PRINT CLEARLY IN BLACK INK

5/10/16
Date

In accordance with the appeals procedure as authorized by the provisions of the Beverly Hills Municipal Code, the undersigned hereby appeals from the decision of CITY PLANNING COMMISSION (Official, Board or Commission involved) rendered on April 28 2016, which decision consisted of: The grounds submitted for this appeal are as follows: (WARNING: State all grounds for appeal. Describe how decision is inconsistent with law. Use extra paper if necessary.)

The proposed deck addition violates
BHMC 16-3-2453- "c" Neighbors privacy
and "A" - scale + massing of the street scape.
The project is located at 9570 Virginia PLACE -

The undersigned discussed the decision being appealed with:

RYAN GOHLICH / ALEX MILLER on 5/10/16
(Department Head(s) Involved) Date

It is requested that written notice of the time and place for the hearing on this appeal before the City Council be sent to:

STAN KAHAN 462 Daniels Dr B.H. Calif 90212
Name Address

Stan Kahan
Signature of appealing party

462 Daniels Dr B.H. Calif 90212
Address

310-728-9581- cell
Telephone Number & Fax Number

Fee Paid \$5,149.00 (For City Clerk's use) DATE RECEIVED

LOG NO. 23x16 Written Notice mailed to appellant:

Copies to: City Council, City Manager, City Attorney, Community Development Department
Involved Department

RECEIVED
CITY OF BEVERLY HILLS
2016 MAY 10 A 9:28
CITY CLERK'S OFFICE

ATTACHMENT 2

CORRESPONDENCE RECEIVED FOR PLANNING COMMISSION HEARING

From: Stan Kahan <[REDACTED]>
Sent: Monday, April 25, 2016 3:15 PM
To: Alek Miller
Subject: Re: 9570 Virginia Place - Central R-1 Request

Hi

I would like to vigorously object to the following staff recommendations by the reviewing staff. My privacy will definitely be impacted.

The project is at least 25 feet higher than the lowest part of my back yard.

There will be a direct line of site into my kitchen and breakfast room on the first floor as well as my yard.

The deck will have a direct view into my master bedroom and master bath room.

Did staff members actually visit the site? When? How do they know my privacy will be protected.

Is there a line of site review of this plan with regard to my house?

I do not object to the garage addition or the kitchen.

I am one hundred per cent opposed to the deck which will impact me adversely.

Thanks
Stan Kahan

Staff also analyzed the project in terms of the required findings related to scale and massing, neighbors' access to light and air, and neighbors' privacy. Staff's analysis concludes that as a result of the proposed configuration of the addition, the project is not anticipated to result in any significant adverse impacts to adjacent properties or the surrounding neighborhood.

Stan Kahan

On Mon, Apr 25, 2016 at 1:42 PM, Alek Miller <amiller@beverlyhills.org> wrote:

Hi Stan,

We just spoke on the phone. At the link below, you can find the staff report for the Planning Commission hearing on Thursday:
http://beverlyhills.granicus.com/Viewer.php?view_id=&event_id=2415&meta_id=291557

The plans for the proposed project are also attached here. Feel free to get in touch if you have other questions.

Alek Miller

Assistant Planner

Community Development Department

City of Beverly Hills

455 N. Rexford Drive

Beverly Hills, CA 90210

Direct: [310.285.1196](tel:310.285.1196)

Fax: [310.858.5966](tel:310.858.5966)

Email: amiller@beverlyhills.org

The City keeps a copy of all E-mails sent and received for a minimum of 2 years. All retained E-mails will be treated as a Public Record per the California Public Records Act, and may be subject to disclosure pursuant to the terms, and subject to the exemptions, of that Act.







STERN FAMILY
(Meryl & Larry)
9570 Virginia Place
Beverly Hills, CA 90212
October 28, 2015

Mr. and Mrs. Mark Herskovitz
1142 Daniels Drive
Los Angeles, CA 90035

RE: Improvements to the Stern House
9570 Virginia Place
Beverly Hills, CA 90212

Dear Mark and Janette:

We are planning on an addition and remodeling of our home. As one of our neighbors, we seek your approval and ask that you review this letter and the enclosed two pictures. To help us in getting the approval we solicit your signing this letter and returning it in the self addressed envelope to our Architect so he may present the letters to the Planning Department of the City of Beverly Hills to facilitate the issuance of the appropriate permits for construction. Our house was build over 70 years ago by a recognized architect: Gerard Colcord. At the time you can imagine that there were few homes around and that the present setback was not an issue.

We are remodeling the kitchen which is over the garage and extending the garage by a few feet to accommodate our cars. Presently the garage is not long enough or wide enough to park two full size cars. Over the garage we are going to build a deck which will open from the kitchen.

In order to do this, the required setback for the property is 15' off the alley. The current setback is 11' off the alley. This is a legal and non-conforming setback condition as this existed from the time the house was built.

The kitchen, deck and garage extend into the rear setback 4'. To add on to the garage so that we can park the cars in a covered garage as opposed to what you see in the present picture requires that we extend the non-conforming wall into the setback the same 4', ie lengthen the wall towards the street.

The deck above the garage as shown in the enclosed rendering would also extend into the setback 4'. This will not negatively impact any access to the alley nor will it created a negative impact on privacy to us or you as our neighbor.

We currently have 1 window in the kitchen in the non-conforming wall as you can see that window when you pull up the alley. We would like to change that window and add another window which will not have an impact on privacy to any party.

If you are in agreement with our plans (by parking the cars in the garage this makes the area less susceptible to crime and the potential for break-ins is decreased) then Meryl and I would ask that you sign a copy of this letter, and mail it back in the envelope to our Mr. Twichell who will present the letters to the Planning Commission.

Again, look at the present picture and the rendering of what we want to do, I am sure you will agree that the addition makes the area look cleaner and adds to the safety of our neighborhood.

Thank you for your kind cooperation

Lawrence I. Stern

By: _____

Lawrence I. Stern

Agreement to the Proposed Plans:

We have read the letter of Mr. & Mrs. Stern and viewed at the picture of the present garage and driveway and have viewed the rendering of the addition they wish to complete. We agree and have no issue with their proposed plans. We support the improvements requested and urge the Planning Commission to approve their proposal.

By: *Mark or Janette Herskovitz*

Mark or Janette Herskovitz

CC:

Twichell STUDIO

10606 Culver Blvd

Culver City, CA 90232

Mr. and Mrs. Lawrence I. Stern
9570 Virginia Place
Beverly Hills, CA 90212
October 28, 2015

Dr. and Mrs. Herman Graff
461 South Camden Drive
Beverly Hills, CA 90212

RE: Improvements to the Stern House
9570 Virginia Place
Beverly Hills, CA 90212

Dear Dr. and Mrs. Graff:

We are planning on an addition and remodeling of our home.. As one of our neighbors, we seek your approval and ask that you review this letter and the enclosed two pictures. To help us in getting the approval we solicit your signing this letter and returning it in the self addressed envelope to our Architect so he may present the letters to the Planning Department of the City of Beverly Hills to facilitate the issuance of the appropriate permits for construction. Our house was build over 70 years ago by a recognized architect: Gerard Colcord. At the time you can imagine that there were few homes around and that the present setback was not an issue.

We are remodeling the kitchen which is over the garage and extending the garage by a few feet to accommodate our cars. Presently the garage is not long enough or wide enough to park two full size cars. Over the garage we are going to build a deck which will open from the kitchen.

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Lawrence I. Stern

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By: *Herman Graff*

Herman Graff, PhD

By: *Senta Graff*

Senta Graff

CC:

Twichell STUDIO
10606 Culver Blvd
Culver City, CA 90232

Mr. and Mrs. Lawrence I. Stern
9570 Virginia Place
Beverly Hills, CA 90212
October 28, 2015

Dr. Michel Levesque
457 South Camden Drive
Beverly Hills, CA 90212

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Beverly Hills, CA 90212

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By: *Michel Levesque*

Dr. Michel Levesque

CC:

Twichell STUDIO
10606 Culver Blvd
Culver City, CA 90232

Mr. and Mrs. Lawrence I. Stern
9570 Virginia Place
Beverly Hills, CA 90212
October 28, 2015

Ms. Rebeka Shaked
466 South Daniels
Beverly Hills, CA 90212

RE: Improvements to the Stern House
9570 Virginia Place
Beverly Hills, CA 90212

Dear Ms. Shaked:

We are planning on an addition and remodeling of our home. As one of our neighbors, we seek your approval and ask that you review this letter and the enclosed two pictures. To help us in getting the approval we solicit your signing this letter and returning it in the self addressed envelope to our Architect so he may present the letters to the Planning Department of the City of Beverly Hills to facilitate the issuance of the appropriate permits for construction. Our house was build over 70 years ago by a recognized architect: Gerard Colcord. At the time you can imagine that there were few homes around and that the present setback was not an issue.

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By: _____
Lawrence I. Stern

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By: *R. Shaked*

Rebeka Shaked

as long as no one parks in my parking space next to the alley and the trash cans stay in their place.

CC:

Twichell STUDIO
10606 Culver Blvd
Culver City, CA 90232

Mr. and Mrs. Lawrence I. Stern
9570 Virginia Place
Beverly Hills, CA 90212

Mrs. Esther Green
451 South Camden Drive
Beverly Hills, CA 90212

RE: Improvements to the Stern House
9570 Virginia Place
Beverly Hills, CA 90212

Dear Mrs. Green:

We are planning on an addition and remodeling of our home. As one of our neighbors, we seek your approval and ask that you review this letter and the enclosed two pictures. To help us in getting the approval we solicit your signing this letter and returning it in the self addressed envelope to our Architect so he may present the letters to the Planning Department of the City of Beverly Hills to facilitate the issuance of the appropriate permits for construction. Our house was build over 70 years ago by a recognized architect: Gerard Colcord. At the time you can imagine that there were few homes around and that the present setback was not an issue.

We are remodeling the kitchen which is over the garage and extending the garage by a few feet to accommodate our cars. Presently the garage is not long enough or wide enough to park two full size cars. Over the garage we are going to build a deck which will open from the kitchen.

In order to do this, the required setback for the property is 15' off the alley. The current setback is 11' off the alley. This is a legal and non-conforming setback condition as this existed from the time the house was built.

The kitchen, deck and garage extend into the rear setback 4'. To add on to the garage so that we can park the cars in a covered garage as opposed to what you see in the present picture requires that we extend the non-conforming wall into the setback the same 4', ie lengthen the wall towards the street.

The deck above the garage as shown in the enclosed rendering would also extend into the setback 4'.

This will not negatively impact any access to the alley nor will it created a negative impact on privacy to us or you as our neighbor.

We currently have 1 window in the kitchen in the non-conforming wall as you can see that window when you pull up the alley. We would like to change that window and add another window which will not have an impact on privacy to any party.

If you are in agreement with our plans (by parking the cars in the garage this makes the area less susceptible to crime and the potential for break-ins is decreased) then Meryl and I would ask that you sign a copy of this letter, and mail it back in the envelope to our Mr. Twichell who will present the letters to the Planning Commission.

Again, look at the present picture and the rendering of what we want to do, I am sure you will agree that the addition makes the area look cleaner and adds to the safety of our neighborhood.

Thank you for your kind cooperation

Lawrence I. Stern

By: _____

Lawrence I. Stern

Agreement to the Proposed Plans:

I have read the letter of Mr. & Mrs. Stern and viewed at the picture of the present garage and driveway and have viewed the rendering of the addition they wish to complete. We agree and have no issue with their proposed plans. We support the improvements requested and urge the Planning Commission to approve their proposal.

By: *S*

STEVEN GREEN, TRUSTEE FOR
Esther Green

CC:

Twichell STUDIO
10606 Culver Blvd
Culver City, CA 90232

Mr. and Mrs. Lawrence I. Stern
9570 Virginia Place
Beverly Hills, CA 90212
October 28, 2015

Mr. and Mrs. Avrumie Schnitzer
P.O. Box 67284
Los Angeles, CA 90067

RE: Improvements to the Stern House
9570 Virginia Place
Beverly Hills, CA 90212

Dear Avrumie and Marijo:

We are planning on an addition and remodeling of our home. As one of our neighbors, we seek your approval and ask that you review this letter and the enclosed two pictures. To help us in getting the approval we solicit your signing this letter and returning it in the self addressed envelope to our Architect so he may present the letters to the Planning Department of the City of Beverly Hills to facilitate the issuance of the appropriate permits for construction. Our house was build over 70 years ago by a recognized architect: Gerard Colcord. At the time you can imagine that there were few homes around and that the present setback was not an issue.

We are remodeling the kitchen which is over the garage and extending the garage by a few feet to accommodate our cars. Presently the garage is not long enough or wide enough to park two full size cars. Over the garage we are going to build a deck which will open from the kitchen.

In order to do this, the required setback for the property is 15' off the alley. The current setback is 11' off the alley. This is a legal and non-conforming setback condition as this existed from the time the house was built.

The kitchen, deck and garage extend into the rear setback 4'. To add on to the garage so that we can park the cars in a covered garage as opposed to what you see in the present picture requires that we extend the non-conforming wall into the setback the same 4', ie lengthen the wall towards the street.

The deck above the garage as shown in the enclosed rendering would also extend into the setback 4'.

This will not negatively impact any access to the alley nor will it created a negative impact on privacy to us or you as our neighbor.

We currently have 1 window in the kitchen in the non-conforming wall as you can see that window when you pull up the alley. We would like to change that window and add another window which will not have an impact on privacy to any party.

If you are in agreement with our plans (by parking the cars in the garage this makes the area less susceptible to crime and the potential for break-ins is decreased) then Meryl and I would ask that you sign a copy of this letter, and mail it back in the envelope to our Mr. Twichell who will present the letters to the Planning Commission.

Again, look at the present picture and the rendering of what we want to do, I am sure you will agree that the addition makes the area look cleaner and adds to the safety of our neighborhood.

Thank you for your kind cooperation

Lawrence I. Stern

By: _____

Lawrence I. Stern

Agreement to the Proposed Plans:

We have read the letter of Mr. & Mrs. Stern and viewed at the picture of the present garage and driveway and have viewed the rendering of the addition they wish to complete. We agree and have no issue with their proposed plans. We support the improvements requested and urge the Planning Commission to approve their proposal.

By: _____

Avrumie Schnitzer

By: _____

Marijo Schnitzer

CC:

Twichell STUDIO
10606 Culver Blvd
Culver City, CA 90232

ATTACHMENT 3

CORRESPONDENCE RECEIVED FOR CITY COUNCIL HEARING

Betsy and William Phillips
447 S. Camden Dr.
Beverly Hills, CA 90212

November 22, 2016

Alek Miller
Assistant Planner Community Development Department
City of Beverly Hills

Dear Sir,

We are writing this letter to express our opposition to the proposed new roof-top deck and garage expansion at 9570 Virginia Place. We feel that this structural addition is too massive for the neighborhood and will give the appearance of a fortress. We are also very concerned that the deck will invade the privacy of the surrounding neighbors. We urge you to reconsider the approval of this project.

Sincerely,
Betsy and William Phillips

City Council,
C/o City Clerk
455 N. Rexford Drive
Beverly Hills, CA 90210

Re: Opposition to Stern Construction at 9570 Virginia Place

To The Beverly Hills City Council

My wife Marcelle and I are writing to you to express our **very strong disapproval** of the *proposed construction of a garage and a roof top deck at 9570 Virginia Place.*

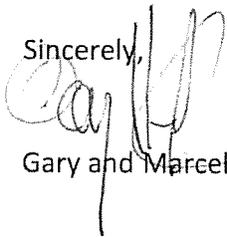
Marcelle and I have been residents of Beverly Hills since 1989. We live at 458 S Camden DR. **directly across the street from the proposed Stern expansion.**

As longtime residents of our neighborhood, I hope you can understand why we have such a strong interest in making sure that the City Council takes our views into account. Based on our very close proximity to the Stern expansion there is no doubt in both of our minds that if this unsightly expansion is granted, it will have a harmful effect not only on us, but on the entire neighborhood as a whole. There are a multitude of reasons for this: the expansion is unsightly, it is in violation of the current city code, it will allow the Stern's and their guests to spy directly into our neighbor's home, it will cause considerably noise when the deck area is used by the Sterns and will create an outpost where the Sterns and their guests can watch the comings and goings of unsuspecting neighbors as they walk or drive near the Stern home.

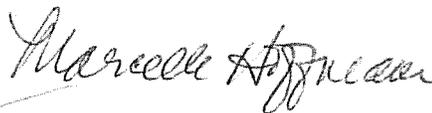
Most importantly, it will create a terrible precedent that will allow individual homeowners to **expand their homes at the expense of their neighbors.**

This is a great neighborhood. Please don't let this happen.

Sincerely,



Gary and Marcelle Hoffman



ATTACHMENT 4

PLANNING COMMISSION RESOLUTION No. 1771

RESOLUTION NO. 1771

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A CENTRAL R-1 PERMIT TO ALLOW THE REDUCTION OF A REAR SETBACK FOR ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE LOCATED ON A CORNER LOT IN THE CENTRAL AREA OF THE CITY AT 9570 VIRGINIA PLACE.

The Planning Commission of the City of Beverly Hills hereby finds, resolves, and determines as follows:

Section 1. Lawrence and Meryl Stern, applicants and property owners (the “Applicant”), has submitted an application for a Central R-1 Permit to allow the reduction of a rear yard setback for additions to an existing two-story single-family residence located at 9570 Virginia Place in the Central Area of the City (the “Project”). The Project does not meet all by-right development standards, and therefore requires entitlements that can be granted by the Planning Commission pursuant to the issuance of a Central R-1 Permit.

Section 2. The proposed project consists of single story additions to an existing two-story single-family residence. The home has an existing attached garage located adjacent to Virginia Place that would be expanded by 345 square feet within the required rear yard as part of the proposal. In addition the project includes two additions to the kitchen on the first floor level of the existing residence that would total 104 square feet of new floor area. The proposed addition would add a total of 449 square feet of floor area to the existing residence, bringing the total floor area on the site to 4,126 square feet (exclusive of the Municipal Code identified 400 square foot allowance for garage floor area). The proposed additions will result in

a reduction in the rear setback to 6'8", as compared with the existing legal non-conforming 8' setback parallel to the alley (the required rear setback is 31'). The proposal would maintain the existing 8' required side setback from the south side property line (adjacent to the neighboring property), and the 5' street facing side setback from the north property line along Virginia Place. The maximum height of the additions to the kitchen would be no higher than approximately 12'3" above the existing grade, which matches the height of the existing kitchen portion of the residence, and is below the 30' maximum height allowed in the R1.7X zone.

Section 3. The Project has been environmentally reviewed pursuant to the provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, *et seq.* ("CEQA")), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*), and the environmental regulations of the City. In its assessment, staff found that the existing residence was designed by Master Architect Gerald Colcord and may have historic value. Pursuant to CEQA Guidelines, categorical exemptions cannot be issued for a project that may cause a substantial adverse change to the significance of a historic resource. Consequently, the project has been designed in accordance with the Secretary of the Interior's standards for the treatment of historic properties. As proposed, the project does not cause a substantial adverse change to the significance of the potential resource, which allows the project to qualify for a Categorical Exemption from CEQA for the construction of an addition less than 2,500 square feet in area and less than fifty percent (50%) of the existing floor area of the residence, pursuant to Section 15301 (Class 1(e)) of the CEQA Guidelines, and the Planning Commission hereby finds the Project to be exempt from CEQA.

Section 4. Notice of the Project and public hearing was mailed on April 18, 2016 to all property owners and residential occupants within a 500-foot radius of the property, extended out to the block-face. On April 28, 2016 the Planning Commission considered the application at a duly noticed public hearing. Evidence, both written and oral, was presented at the meeting.

Section 5. In reviewing the request for a Central R-1 Permit, the Planning Commission considered whether it could make the following findings in support of the Project:

1. The structure will not have a substantial adverse impact on the scale or character of the area;
2. The structure will not have a substantial adverse impact on the privacy of neighboring properties;
3. The structure will not have a substantial adverse impact on the neighbors' access to light and air; and
4. The structure will not have a substantial adverse impact on the garden quality of the city.

Section 6. Based on the foregoing, the Planning Commission hereby finds and determines as follows with respect to the Central R-1 Permit:

1. The Project is located within a neighborhood that contains properties which are developed primarily with one- and two-story single-family residences and accessory structures. The Project is in keeping with the scale of other residences in the area and the relatively small additions would be consistent with the

architectural style of the existing residence. The garage expansion would add approximately 345 square feet in floor area. The expanded garage would be located 5 feet from the north side yard property line, which is adjacent to the sidewalk on Virginia Place. However, the expanded garage is expected to have a minor effect on the overall quality of the streetscape due to the downward slope of the property from east to west, mitigating the addition's visibility from the street. In addition, the existing house is located at a higher elevation than the garage level, further limiting the bulk impacts of the garage expansion. As a result of the project's design, siting, and the topography of the property, the project will not have a substantial adverse impact on the scale or massing of the streetscape.

2. The project includes single-story additions that maintain the existing roof lines, reaching a maximum height of 12'3" at a location that is approximately 24' from the nearest shared property line. As a result of the project's design and its low height, as compared with the existing two-story portion of the residence, the project is not anticipated to adversely impact the privacy of the adjacent property to the south. Overall, the project would constitute a small change to the property and would provide the benefit of additional private outdoor space to the property owners, due to the topography of the site. With respect to the neighboring property across the alley to the east, the nearest portion of the project (the garage expansion) would be located approximately 23' from the neighbor's property line and would not provide any views into the neighboring property since existing mature landscaping on the neighboring property provides a buffer to views from the proposed single-story addition and proposed deck area above the garage.

3. The project is a single-story pitched roof addition that slopes up and away from the neighboring residence to the south, and reaches its maximum ridge height of 12'3" above the existing average grade at a location that is approximately 25' away from the neighbor's property line. The project is not anticipated to adversely impact access to light and air for the adjacent properties to the south due to the single story height of the addition and the addition's location some distance away from the neighboring property. With respect to the neighboring property across the alley to the west, the project would be located approximately 26' from the neighbor's property line and therefore the single story garage expansion will not adversely impact the neighbor's access to light and air.

4. The existing property contains some landscaping, trees, and hardscape within the rear setback. The Project will generally replace existing hardscape, and will not materially alter the existing landscaping within the rear setback. Consequently, the Project will not have an adverse impact on the garden quality of the City.

Section 7. Based on the foregoing, the Planning Commission hereby grants the requested Central R-1 Permit, subject to the following conditions:

1. The Project shall comply with the Secretary of the Interior's Standards for Historic Preservation.

2. The Project shall incorporate either landscaping, a wall, or combination thereof at the west side of the deck to provide screening at a minimum height of 60" for the protection of the privacy of the neighboring property to the west.

Any wall could include translucent materials and need not extend to the front façade of the garage.

3. The Project shall be constructed in substantial compliance with the plans and specifications approved by the Planning Commission on April 28, 2016.

4. APPROVAL RUNS WITH LAND. These conditions shall run with the land and shall remain in full force for the duration of the life of the Project.

5. Minor amendments to the plans shall be subject to approval by the Director of Community Development. A significant change to the approved Project shall be subject to Planning Commission Review. Construction shall be in conformance with the plans approved herein or as modified by the Planning Commission or Director of Community Development.

6. Project Plans are subject to compliance with all applicable zoning regulations, except as may be expressly modified herein. Project plans shall be subject to a complete Code Compliance review when building plans are submitted for plan check. Compliance with all applicable Municipal Code and General Plan Policies is required prior to the issuance of a building permit.

7. APPEAL. Decisions of the Planning Commission may be appealed to the City Council within fourteen (14) days of the Planning Commission action by filing a written appeal with the City Clerk. Appeal forms are available in the City Clerk's office. Decisions involving subdivision maps must be appealed within ten (10) days of the Planning Commission Action. An appeal fee is required.

8. RECORDATION. The resolution approving the Central R-1 Permit shall not become effective until the owner of the Project site records a

covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60 day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.

9. EXPIRATION. Central R-1 Permit: The exercise of rights granted in such approval shall be commenced within three (3) years after the adoption of such resolution.

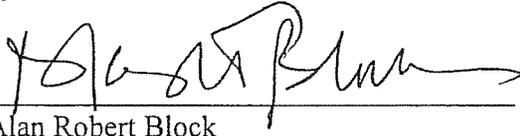
10. VIOLATION OF CONDITIONS: A violation of any of these conditions of approval may result in termination of the entitlements granted herein.

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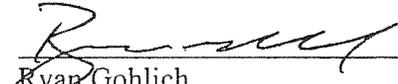
Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his/her Certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Adopted: April 28, 2016



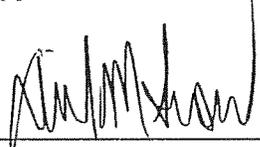
Alan Robert Block
Chair of the Planning Commission of the
City of Beverly Hills, California

Attest:



Ryan Gohlich
Secretary

Approved as to form:



David M. Snow
Assistant City Attorney

Approved as to content:



Ryan Gohlich, AICP
City Planner

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, RYAN GOHLICH, AICP, Secretary of the Planning Commission and City Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. 1771 duly passed, approved and adopted by the Planning Commission of said City at a meeting of said Commission on April 28, 2016, and thereafter duly signed by the Secretary of the Planning Commission, as indicated; and that the Planning Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES: Commissioner Fisher, Vice Chair Shooshani, Chair Block.

NOES: Commissioners Gordon, Corman.

ABSTAIN: None.

ABSENT: None.



RYAN GOHLICH, AICP
Secretary of the Planning Commission /
City Planner
City of Beverly Hills, California

ATTACHMENT 5

PLANNING COMMISSION STAFF REPORT –

APRIL 28, 2016 (WITH ATTACHMENTS)



Planning Commission Report

- Meeting Date:** April 28, 2016
- Subject:** **Central R-1 Permit, 9570 Virginia Place**
Request for a Central R-1 Permit to allow the reduction of a rear setback for an addition to an existing single-family residence located on a corner lot in the Central Area of the City.
- Project Applicant:** Dane Twichell, Twichell Studio Architects
- Recommendation:** That the Planning Commission:
1. Conduct a public hearing and receive testimony on the Project;
 2. Adopt the attached resolution conditionally approving a Central R-1 Permit.
-

REPORT SUMMARY

A request has been made for a Central R-1 Permit to allow a rear setback adjustment for a residence located on a corner lot in the Central area of the City. The proposed project consists of additions to the kitchen and garage, as well as creation of a deck at the first floor level on the property located at 9570 Virginia Place. The proposed additions encroach into the otherwise required rear setback and therefore require discretionary review by the Planning Commission to allow a reduction in the required rear setback.

This report analyzes the proposed project with specific analysis related to the project's height in relation to the existing residence and the topography of the site, along with the proposed garage's potential to provide more parking than the existing structure. Staff also analyzed the project in terms of the required findings related to scale and massing, neighbors' access to light and air, and neighbors' privacy. Staff's analysis concludes that as a result of the proposed configuration of the addition, the project is not anticipated to result in any significant adverse impacts to adjacent properties or the surrounding neighborhood. Therefore, the recommendation in this report is for approval of the addition to the existing single-family residence.

- Attachment(s):
- A. Compliance with zoning requirements
 - B. Required Findings
 - C. Draft Resolution
 - D. Public Notice
 - E. Architectural Plans

Report Author and Contact Information:
Alek Miller, Assistant Planner
(310) 285-1196
amiller@beverlyhills.org



BACKGROUND

File Date 11/22/2015
Application Complete 4/11/2016
Subdivision Deadline N/A
CEQA Deadline 60 days from CEQA Determination
CEQA Determination Categorical Exemption
Permit Streamlining Take action on project within 60 days of CEQA determination

Applicant(s) Dane Twichell, Twichell Studio Architects
Owner(s) Lawrence and Meryl Stern
Representative(s) Dane Twichell, Twichell Studio Architects

Prior PC Action None
Prior Council Action None
CHC Review None

PROPERTY AND NEIGHBORHOOD SETTING

Property Information

Address 9570 Virginia Place
Assessor's Parcel No. 4330-017-024
Zoning District R-1.7X
General Plan One-Family Residential
Existing Land Use(s) One-Family Residential
Lot Dimensions & Area Approximately 65' x 132.96' (approx. 8,642.4 square feet in area)
Year Built 1935
Historic Resource Master Architect, Gerard Colcord – addition complies with Secretary of the Interior's Standards for treatment of historic properties
Protected N/A
Trees/Grove

Adjacent Zoning and Land Uses

North R-1.7X – Single Family Residential
East R-1.7X – Single Family Residential
South R-1.7X – Single Family Residential
West R-1.7X – Single Family Residential

Circulation and Parking

Adjacent Street(s) Camden Drive to the east, alley and Daniels Avenue to the west and south, and Virginia Place to the north
Traffic Volume Olympic Boulevard, eastbound: 19,800
Olympic Boulevard, westbound: 18,200
Adjacent Alleys Fifteen-foot alley to the west of property
Parkways & Sidewalks Virginia Place: 60' street, with 12'6" parkway widths on each side
Camden Drive: 60' street, with 12'6" parkway widths on each side



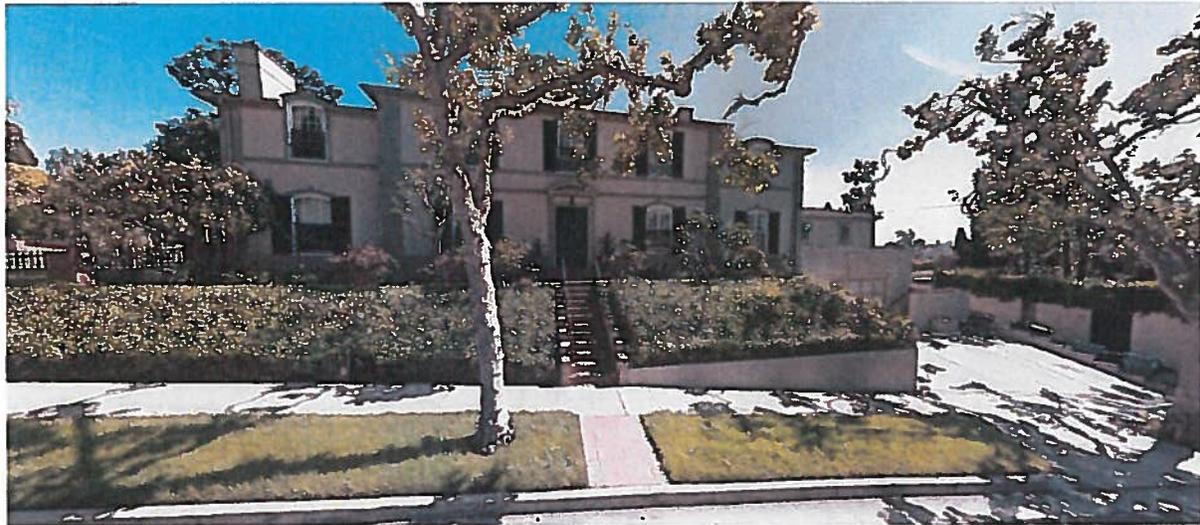
NEIGHBORHOOD CHARACTER

The subject property is located on a corner lot in the Central Area of the City, south of Santa Monica Boulevard, and has frontage along Camden Drive and Virginia Place, with an alley to the rear. The property has a site area of approximately 8,622 square feet and is currently developed with a two-story single-family residence and attached garage totaling 3,677 square feet. The existing residence was originally constructed in 1935. The existing attached garage is accessed from Virginia Place.

The existing residence is consistent with the built environment of the surrounding area, which is characterized by one- and two-story residences similar in size and scale to the structure on the subject site. The parcels in the immediate neighborhood are of a comparable lot size in both width and depth.



Project Site Looking North



Project Site Street Frontage facing Virginia Place

PROJECT DESCRIPTION

The parcel line of the project site parallel to Camden Drive meets the Beverly Hills Municipal Code definition of front lot line, though the house is oriented to front towards Virginia Place. The garage is located at a lower elevation than the first floor of the residence. The proposed project consists of first story and garage additions to the existing two-story single-family residence. The proposed additions would encroach into the required rear yard area. The Central R-1 permit allows for a reduction in the rear setback for corner properties, which would provide relief from the otherwise required 31' rear setback.

The proposed project consists of:

- Addition of approximately 345 square feet to the garage, which would allow the 4 required parking spaces to be enclosed within it.
- Approximately 104 square feet of addition to the kitchen with approximately 90 square feet located at the functional rear of the residence (south side) and 14 square feet located at the front (north, street-facing side).
- Addition of approximately 262 square feet to the deck above the garage (not considered floor area), which would be accessed through the kitchen at the first floor level.
- Demolition and replacement of the stairs at the north side of the property, which would reduce the rear setback to approximately 6'8".
- Reduction of the existing legally nonconforming rear setback from 8' to approximately 6'8". The required rear setback is 31'.



In total, the project would add approximately 449 square feet of floor area to the residence, bringing the total floor area on the site to 4,126 square feet. The existing floor area is 3,677 and the maximum allowed floor area is 4,948 square feet. The proposed additions maintain the required 5' (north) street side setback and the 8' (south) side setback. The maximum height of the first story addition is approximately 12'3" above existing grade, which is below the 22'1" maximum height measurement of the existing residence. The maximum allowed height in this zone is 30'.

Required Entitlements. As proposed, the project requires the following entitlements:

Central R-1 Permit – A request to allow a rear setback reduction for an addition to an existing residence located on a corner lot. Pursuant to Beverly Hills Municipal Code (BHMC) §10-3-2418(D), a Central R-1 Permit may be issued to allow the rear setback to be reduced so long as the project satisfies the required criteria. The criteria [Attachment A] are further explained in the Analysis portion of this staff report.

GENERAL PLAN¹ POLICIES

The General Plan includes numerous goals and policies intended to help guide development in the City. Some policies relevant to the Planning Commission's review of the project include:

- Policy LU 2.1 City Places: Neighborhoods, Districts, and Corridors. Maintain and enhance the character, distribution, built form, scale, and aesthetic qualities of the City's distinctive residential neighborhoods, business districts, corridors, and open spaces.
- Policy LU 5.1 Neighborhood Conservation. Maintain the uses, densities, character, amenities, character, and quality of the City's residential neighborhoods, recognizing their contribution to the City's, identity, economic value and quality of life.
- Policy LU 6.1 Neighborhood Identity. Maintain the characteristics that distinguish the City's single-family neighborhoods from one another in such terms as topography, lot size, housing scale and form, and public streetscapes.

ENVIRONMENTAL ASSESSMENT

The subject project has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. In its assessment, staff found that the existing residence was identified on the City's 1985-1986 Historic Resource Survey as being potentially historic. Pursuant to CEQA Guidelines, categorical exemptions cannot be issued for a project that may cause a substantial adverse change to the significance of a historic resource. Consequently, the project has been designed in accordance with the Secretary of the Interior's Standards for the treatment of historic properties. As proposed, the project does not cause a substantial adverse change to the significance of the potential resource, which allows the project to qualify

¹ Available online at <http://www.beverlyhills.org/business/constructionlanduse/generalplan/>



for a Categorical Exemption from CEQA for the construction of an addition less than 2,500 square feet and less than fifty percent (50%) of the existing floor area of the residence, pursuant to Section 15301 (Class 1(e)) of the CEQA Guidelines.

PUBLIC OUTREACH AND NOTIFICATION

Type of Notice	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice (agenda)	N/A	N/A	4/22/2016	7 Days
Newspaper Notice	N/A	N/A	N/A	N/A
Mailed Notice (Owners & Occupants - 500' Radius)	10 Days	4/18/2016	4/18/2016	10 Days
Property Posting	10 Days	4/18/2016	4/18/2016	10 Days
Website	N/A	N/A	4/22/2016	7 Days

The City has not received any comments or letters concerning the project as of the writing of this report.

ANALYSIS

In reviewing the requested entitlements, the Commission may wish to consider the following information as it relates to the project and required findings.

Design and Streetscape. The proposed kitchen additions would be located at the west side of the subject property. The majority of the addition is screened from public view by the existing residence, with only the bay window-like portion of the addition publicly visible from Virginia Place. The proposed additions will be consistent with the existing home’s architecture, and will appear as minor, natural extensions of the existing home, given the proposed architectural style and building materials. The expansion of the garage would be visible from Virginia Place and would provide the property owners with an expanded deck, adding to the limited amount of semi-private outdoor space available on the property. The garage expansion would add bulk to the western portion of the residence; however, the downward slope of the property from east to west would mitigate the enlarged garage’s visibility from the street because the majority of the house sits at a higher elevation. The expansion of the garage would serve the dual purpose of providing new private open space for the property owners and screening all four required parking spaces from the street. Consequently, the proposed addition is not anticipated to substantially and negatively alter the streetscape of the surrounding neighborhood or the design and character of the existing home. It is important to note that the topography of the property limits possibilities for altering or reorienting the garage. Because of the steep slope, it would be infeasible to change the orientation of the garage to be accessed from the alley and to still accommodate the same number of vehicles as the existing garage and driveway.

Neighboring Properties. The nearest neighboring property is directly abutting to the south of the subject property. The kitchen addition facing this neighboring property would be approximately 24’ from the south property line, which is further than the 13’5” distance between the nearest portions of the existing two-story residence and the south property line. The garage



expansion would bring the structure closer to the street: the existing garage is approximately 17' from the side property line, while the expansion of the garage would be approximately 5' from the street side property line. However, the expansion of the garage would result in complete screening of the 4 required parking spaces.

The majority of the proposed changes are located on the west side of the property, adjacent to the alley. The alley acts as a buffer between the subject property and the property to the west, with existing mature landscaping on the neighboring property providing extensive screening. The proposed new deck would be located approximately 26' from the neighbor's property line to the west at its closest point. The proposed additions would be screened by the existing, mature landscaping on the neighboring property. The new addition and deck would not create substantially higher new viewing areas onto the west neighboring property, since the new deck expands the area of an existing deck area and since the height of the proposed additions match the single story height of the existing kitchen. The project is not anticipated to adversely impact the adjacent properties as a result of the additions' design and the project site's topography.

Applicability of Code Provisions for Rear Setback Reduction. Beverly Hills Municipal Code §10-3-2418(D) allows the Planning Commission to approve a reduction in the otherwise required rear setback on corner properties located south of Santa Monica Boulevard. Staff's analysis above discusses why the proposed design may be appropriate for the subject property.

Special Conditions. As a component of project approval, staff recommends a special condition requiring the project to comply with the Secretary of the Interior Standards in order to ensure that the potentially historic property is not impacted by the additions.

Summary

Taking into account the siting of the existing residence, compliance with the required side yard setbacks, and limited overall size of the requested additions, the proposed project will not result in a substantial adverse impact to the scale, mass, or integrity of the streetscape, nor will it result in privacy impacts to neighboring properties. The project will not have a substantial adverse impact on neighbors' access to light and air based on the size and location of the proposed additions. Therefore, staff recommends conditional approval of the Central R-1 Permit.



Planning Commission Report

9570 Virginia Place

April 28, 2016

Page 8 of 8

Recommendation

It is recommended that the Planning Commission conduct the public hearing and adopt a resolution conditionally approving a Central R-1 Permit to allow a reduction in the required rear yard setback.

Alternatively, the Planning Commission may consider the following actions:

1. Approve the project with modified findings or conditions of approval.
2. Deny the project, or portions of the project, based on specific findings.
3. Direct staff or applicant as appropriate and continue the hearing to a date (un)certain, consistent with permit processing timelines.

Report Reviewed By:



Ryan Gohlich, AICP
Assistant Director of Community Development / City
Planner



Planning Commission Report

9570 Virginia Place
April 28, 2016

Attachment A

Compliance with zoning requirements

Compliance with Zoning Code Criteria for Rear Setback Reduction

In order to consider the requested Central R-1 Permit allowing the reduction in the rear yard setback, specific criteria must be met pursuant to BHMC Section 10-3-2418(D):

1. *Location: The corner lot in question is located south of Santa Monica Boulevard.*
The subject project is located on a corner lot, south of Santa Monica Boulevard, on the southwest corner of South Camden Drive and Virginia Place.
2. *Rear Lot Line: The rear lot line of the corner lot is located along an alley.*
The rear lot line of the subject property abuts an alley.
3. *Corner Lot Width: The corner lot has a minimum width of fifty four feet (54').*
The subject project has an average lot width of 65.2 feet.
4. *Minimum Street Side Setback: A minimum five foot (5') street side setback is provided by the existing principal residential building and the proposed addition.*
The existing residence and proposed addition both have a minimum street side setback of 5'-0".
5. *Height of Principal Building: The height of the existing principal residential building on the corner lot complies with the maximum building height requirements set forth in BHMC §10-3-2403(B).*
The BHMC §10-3-2403(B)¹ permits structures with sloped roofs located on lots South of Santa Monica within the principal building area to extend to a maximum roof height of 28'. The existing residence is approximately 22'1" in height, less than the maximum 30' permitted.
6. *Height of Addition: The height of the addition does not exceed the height of the existing principal residential building.*
The BHMC §10-3-2403(B) permits structures, with sloped roofs, located on lots South of Santa Monica within the principal building area to extend to a maximum roof height of 30'. The proposed addition would extend up to 12'7", less than the maximum 22'1" height of the existing two-story residence.
7. *Coverage: The existing principal residential building and the addition do not cover more than fifty percent (50%) of the required rear yard area, excluding porches and decks that are attached to the building and constructed in accordance with BHMC §10-3-2409(C)² of this chapter.*
The required rear yard area for the subject property is approximately 2,138 square feet. The proposed addition will result in approximately 1,335 square feet of rear setback area (62.4%) remaining uncovered by structures.

¹ BHMC §10-3-2403(B) Height in the Principal Building Area for Lots South of Santa Monica Boulevard: Structures, with a sloped roof, located in the principal building area are restricted to a maximum roof height of 30'-0".

² BHMC §10-3-2409(C): Porches and decks located at or below the first level of the residence

8. *Rear Setback: For the first floor or up to fourteen feet (14') in height the proposed addition maintains a minimum eight foot (8') rear setback, unless the addition contains a two (2) car garage at a minimum that is not accessed from the alley, in which case no rear setback shall be required. The second floor or any portion of the addition over fourteen feet (14') in height shall be well modulated with stepbacks or architectural details or a combination thereof, unless the planning commission finds that the modulation would be inconsistent with the architectural style of the primary residential building and is not necessary to maintain privacy.*

The proposed addition contains a 4-car garage that is not accessed from the alley; therefore, no rear setback is required with the approval of a Central R-1 Permit.

9. *Street Side Modulation Requirement: In addition to the street side setback and rear setback required by this section, the street side facade of the proposed addition shall be well modulated with stepbacks or architectural details or a combination thereof, unless the planning commission finds that the modulation would be inconsistent with the architectural style of the primary residential building.*

The proposed addition is consistent with the architectural style of the residence, and provides sufficient architectural details, and therefore does not require additional modulation.



Planning Commission Report

9570 Virginia Place

April 28, 2016

Attachment B

Required Findings

Required Findings (per BHMC § 10-3-2453)

The reviewing authority shall not issue a Central R-1 permit unless the reviewing authority finds that the proposed development will not have a substantial adverse impact on:

- A. The scale and massing of the streetscape,
- B. Neighbors' access to light and air,
- C. Neighbors' privacy, and
- D. The garden quality of the city.



Planning Commission Report

9570 Virginia Place
April 28, 2016

Attachment C

Draft Resolution

RESOLUTION NO. ____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A CENTRAL R-1 PERMIT TO ALLOW THE REDUCTION OF A REAR SETBACK FOR ADDITIONS TO AN EXISTING TWO-STORY SINGLE-FAMILY RESIDENCE LOCATED ON A CORNER LOT IN THE CENTRAL AREA OF THE CITY AT 9570 VIRGINIA PLACE.

The Planning Commission of the City of Beverly Hills hereby finds, resolves, and determines as follows:

Section 1. Lawrence and Meryl Stern, applicants and property owners (the "Applicant"), has submitted an application for a Central R-1 Permit to allow the reduction of a rear yard setback for additions to an existing two-story single-family residence located at 9570 Virginia Place in the Central Area of the City (the "Project"). The Project does not meet all by-right development standards, and therefore requires entitlements that can be granted by the Planning Commission pursuant to the issuance of a Central R-1 Permit.

Section 2. The proposed project consists of single story additions to an existing two-story single-family residence. The home has an existing attached garage located adjacent to Virginia Place that would be expanded by 345 square feet within the required rear yard as part of the proposal. In addition the project includes two additions to the kitchen on the first floor level of the existing residence that would total 104 square feet of new floor area. The proposed addition would add a total of 449 square feet of floor area to the existing residence, bringing the total floor area on the site to 4,126 square feet (exclusive of the Municipal Code identified 400 square foot allowance for garage floor area). The proposed additions will result in

a reduction in the rear setback to 6'8", as compared with the existing legal non-conforming 8' setback parallel to the alley (the required rear setback is 31'). The proposal would maintain the existing 8' required side setback from the south side property line (adjacent to the neighboring property), and the 5' street facing side setback from the north property line along Virginia Place. The maximum height of the additions to the kitchen would be no higher than approximately 12'3" above the existing grade, which matches the height of the existing kitchen portion of the residence, and is below the 30' maximum height allowed in the R1.7X zone.

Section 3. The Project has been environmentally reviewed pursuant to the provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, *et seq.* ("CEQA")), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, *et seq.*), and the environmental regulations of the City. In its assessment, staff found that the existing residence was designed by Master Architect Gerald Colcord and may have historic value. Pursuant to CEQA Guidelines, categorical exemptions cannot be issued for a project that may cause a substantial adverse change to the significance of a historic resource. Consequently, the project has been designed in accordance with the Secretary of the Interior's standards for the treatment of historic properties. As proposed, the project does not cause a substantial adverse change to the significance of the potential resource, which allows the project to qualify for a Categorical Exemption from CEQA for the construction of an addition less than 2,500 square feet in area and less than fifty percent (50%) of the existing floor area of the residence, pursuant to Section 15301 (Class 1(e)) of the CEQA Guidelines, and the Planning Commission hereby finds the Project to be exempt from CEQA.

Section 4. Notice of the Project and public hearing was mailed on April 18, 2016 to all property owners and residential occupants within a 500-foot radius of the property, extended out to the block-face. On April 28, 2016 the Planning Commission considered the application at a duly noticed public hearing. Evidence, both written and oral, was presented at the meeting.

Section 5. In reviewing the request for a Central R-1 Permit, the Planning Commission considered whether it could make the following findings in support of the Project:

1. The structure will not have a substantial adverse impact on the scale or character of the area;
2. The structure will not have a substantial adverse impact on the privacy of neighboring properties;
3. The structure will not have a substantial adverse impact on the neighbors' access to light and air; and
4. The structure will not have a substantial adverse impact on the garden quality of the city.

Section 6. Based on the foregoing, the Planning Commission hereby finds and determines as follows with respect to the Central R-1 Permit:

1. The Project is located within a neighborhood that contains properties which are developed primarily with one- and two-story single-family residences and accessory structures. The Project is in keeping with the scale of other residences in the area and the relatively small additions would be consistent with the

architectural style of the existing residence. The garage expansion would add approximately 345 square feet in floor area. The expanded garage would be located 5 feet from the north side yard property line, which is adjacent to the sidewalk on Virginia Place. However, the expanded garage is expected to have a minor effect on the overall quality of the streetscape due to the downward slope of the property from east to west, mitigating the addition's visibility from the street. In addition, the existing house is located at a higher elevation than the garage level, further limiting the bulk impacts of the garage expansion. As a result of the project's design, siting, and the topography of the property, the project will not have a substantial adverse impact on the scale or massing of the streetscape.

2. The project includes single-story additions that maintain the existing roof lines, reaching a maximum height of 12'3" at a location that is approximately 24' from the nearest shared property line. As a result of the project's design and its low height, as compared with the existing two-story portion of the residence, the project is not anticipated to adversely impact the privacy of the adjacent property to the south. Overall, the project would constitute a small change to the property and would provide the benefit of additional private outdoor space to the property owners, due to the topography of the site. With respect to the neighboring property across the alley to the east, the nearest portion of the project (the garage expansion) would be located approximately 23' from the neighbor's property line and would not provide any views into the neighboring property since existing mature landscaping on the neighboring property provides a buffer to views from the proposed single-story addition and proposed deck area above the garage.

3. The project is a single-story pitched roof addition that slopes up and away from the neighboring residence to the south, and reaches its maximum ridge height of 12'3" above the existing average grade at a location that is approximately 25' away from the neighbor's property line. The project is not anticipated to adversely impact access to light and air for the adjacent properties to the south due to the single story height of the addition and the addition's location some distance away from the neighboring property. With respect to the neighboring property across the alley to the west, the project would be located approximately 26' from the neighbor's property line and therefore the single story garage expansion will not adversely impact the neighbor's access to light and air.

4. The existing property contains some landscaping, trees, and hardscape within the rear setback. The Project will generally replace existing hardscape, and will not materially alter the existing landscaping within the rear setback. Consequently, the Project will not have an adverse impact on the garden quality of the City.

Section 7. Based on the foregoing, the Planning Commission hereby grants the requested Central R-1 Permit, subject to the following conditions:

1. The Project shall comply with the Secretary of the Interior's Standards for Historic Preservation.

2. The Project shall be constructed in substantial compliance with the plans and specifications approved by the Planning Commission on April 28, 2016.

3. APPROVAL RUNS WITH LAND. These conditions shall run with the land and shall remain in full force for the duration of the life of the Project.

4. Minor amendments to the plans shall be subject to approval by the Director of Community Development. A significant change to the approved Project shall be subject to Planning Commission Review. Construction shall be in conformance with the plans approved herein or as modified by the Planning Commission or Director of Community Development.

5. Project Plans are subject to compliance with all applicable zoning regulations, except as may be expressly modified herein. Project plans shall be subject to a complete Code Compliance review when building plans are submitted for plan check. Compliance with all applicable Municipal Code and General Plan Policies is required prior to the issuance of a building permit.

6. APPEAL. Decisions of the Planning Commission may be appealed to the City Council within fourteen (14) days of the Planning Commission action by filing a written appeal with the City Clerk. Appeal forms are available in the City Clerk's office. Decisions involving subdivision maps must be appealed within ten (10) days of the Planning Commission Action. An appeal fee is required.

7. RECORDATION. The resolution approving the Central R-1 Permit shall not become effective until the owner of the Project site records a covenant, satisfactory in form and content to the City Attorney, accepting the conditions of approval set forth in this resolution. The covenant shall include a copy

of the resolution as an exhibit. The Applicant shall deliver the executed covenant to the Department of Community Development **within 60 days** of the Planning Commission decision. At the time that the Applicant delivers the covenant to the City, the Applicant shall also provide the City with all fees necessary to record the document with the County Recorder. If the Applicant fails to deliver the executed covenant within the required 60 days, this resolution approving the Project shall be **null and void** and of no further effect. Notwithstanding the foregoing, the Director of Community Development may, upon a request by the Applicant, grant a waiver from the 60 day time limit if, at the time of the request, the Director determines that there have been no substantial changes to any federal, state, or local law that would affect the Project.

8. EXPIRATION. Central R-1 Permit: The exercise of rights granted in such approval shall be commenced within three (3) years after the adoption of such resolution.

9. VIOLATION OF CONDITIONS: A violation of any of these conditions of approval may result in termination of the entitlements granted herein.

Section 8. The Secretary of the Planning Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and his/her Certification to be entered in the Book of Resolutions of the Planning Commission of the City.

Adopted: April 28, 2016

Alan Robert Block
Chair of the Planning Commission of the
City of Beverly Hills, California

Attest:

Secretary

Approved as to form:

Approved as to content:

David M. Snow
Assistant City Attorney

Ryan Gohlich, AICP
City Planner



Attachment D

Public Notice



NOTICE OF PUBLIC HEARING

HEARING DATE: April 28, 2016
TIME: 1:30 PM, or as soon thereafter as may be heard
LOCATION: Commission Meeting Room 280A
Beverly Hills City Hall
455 North Rexford Drive
Beverly Hills, CA 90210

The Planning Commission of the City of Beverly Hills, at its REGULAR meeting on Thursday, April 28, 2016, will hold a public hearing beginning at or after 1:30 PM to consider:

A request for a Central R-1 Permit to allow the construction of one-story additions to an existing two-story single-family residence and the expansion of the attached garage located on a corner lot at 9570 Virginia Place. The Central R-1 Permit has been requested in order to allow the proposed additions to encroach into the required rear setback for the property. As proposed, the project includes additions to both the functional front and rear of the residence that total approximately 104 square feet of floor area added to the kitchen. The garage would be expanded by approximately 304 square feet and would maintain the existing nonconforming 8' setback from the rear property line. The garage expansion would also include creation of a deck above it that would be visible from Virginia Place. The proposed garage addition would match the height of the existing garage. The proposed kitchen additions would match the height of the existing first floor kitchen. The request for the Central R-1 Permit is being made pursuant to Beverly Hills Municipal Code Section 10-3-2418(D).

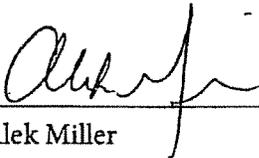
This project has been assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. The project qualifies for a Class 1 Categorical Exemption for the construction of an addition to an existing single-family residence, and therefore the project has been determined not to have a significant environmental impact and is exempt from the provisions of CEQA. Because the residence has potential historic value, the proposal has been evaluated and found to be in compliance with the Secretary of the Interior's Standards for Preservation and Rehabilitation of Historic Structures.

Any interested person may attend the meeting and be heard or present written comments to the Commission. Any comments submitted will be considered as part of the public record.

According to Government Code Section 65009, if you challenge the Commission's action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City, either at or prior to the public hearing.

If there are any questions regarding this notice, please contact **Alek Miller, Assistant Planner** in the Planning Division at (310)285-1196, or by email at amiller@beverlyhills.org. Copies of the project plans and associated application materials are on file in the Community Development Department, and can be reviewed by any interested person at 455 North Rexford Drive, Beverly Hills, CA 90210.

Sincerely:



Alek Miller
Assistant Planner

Mailed: April 18, 2016

ATTACHMENT 6
PHOTOS OF SUBJECT PROPERTY,
JANUARY AND APRIL 2016

Photos of Subject Property
9570 Virginia Place (taken January – April 2016)



Street Side on Virginia Place



Official front on
Camden Drive

Photos of Subject Property
9570 Virginia Place (taken January 2016)



Area of proposed addition and alley



Alley and neighboring property



View of 462 Daniels Dr. from Existing Deck (April 2016)

ATTACHMENT 7

PHOTO FROM EXISTING DECK LOCATION,

NOVEMBER 2016



View of 462 Daniels Drive from existing deck,
November 2016

ATTACHMENT 8
ARCHITECTURAL PLANS



EDWARDS ASSOCIATES
CE 6/19





PROJECT DATA

SCOPE OF WORK: ADD TO GARAGE, REMODEL AND ADD TO KITCHEN, SITE IMPROVEMENTS

LEGAL DESCRIPTION

LOT 222, TRACT 3535, IN THE CITY OF BEVERLY HILLS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, MAP BOOK 107, PAGES 1-9 ASSESSOR'S PARCEL #4330-017-024

NUMBER OF STORIES: 2 STORIES+BASEMENT GARAGE

FIRE SPRINKLERS: NONE

ZONING INFO

ZONE: R-1

LOT SIZE: 70' X 129.5' IRR.

LOT AREA: 8,622 SF

MAX FLOOR AREA ALLOWED (40% OF LOT+ 1,500)

3,448 SF + 1,500 = 4,948 SF

(E) FLOOR AREA: 3,648 SF

PROPOSED FLOOR AREA: 3,752 SF

FRONT YARD SETBACK: 30'

SIDE YARD SETBACKS: 5' MIN 2 SIDES MUST ADD UP TO 20% OF LOT WIDTH (13')

REAR YARD SETBACK (30% OF LOT DEPTH-9')

133.2' x 30% = 39.96'-9" = 31'

15' SETBACK FOR ADDITION INTO REAR SETBACK

(NONCONFORMING BHMC 10-3-2405 (c)(1))

HEIGHT OF BUILDING: 31'

PARKING: 2 COVERED

FLOOR AREA

EXISTING FLOOR AREA	
EXISTING FIRST FLOOR AREA	2,071 SF
EXISTING SECOND FLOOR AREA	1,577 SF
EXISTING GARAGE AREA	429 SF
(SUBTRACT GARAGE ALLOWANCE)	-400 SF
TOTAL FLOOR AREA	3,677 SF

PROPOSED ADDITIONS

EXISTING GARAGE AREA	429 SF
PROPOSED GARAGE ADDITION	345 SF
TOTAL PROPOSED GARAGE AREA	774 SF

EXISTING FIRST FLOOR AREA	2,071 SF
PROPOSED FIRST FLOOR ADDITION	164 SF
TOTAL PROPOSED FIRST FLOOR AREA	2,175 SF

EXISTING DECK AREA	93 SF
PROPOSED DECK ADDITION	262 SF
TOTAL PROPOSED DECK AREA	355 SF

PROPOSED FLOOR AREA	
PROPOSED FIRST FLOOR AREA	2,175 SF
EXISTING SECOND FLOOR AREA	1,577 SF
PROPOSED GARAGE AREA	774 SF
(SUBTRACT GARAGE ALLOWANCE)	-400 SF
TOTAL PROPOSED FLOOR AREA	4,126 SF

SITE PLAN - GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS.

- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK.

- NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN NECESSARY PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOR-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

- ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.

- COMPLY WITH THE PROVISIONS FOR EXPANSIVE SOIL CONDITIONS. IF THE EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOIL ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.

- COMPLY WITH THE PROVISIONS FOR EXPANSIVE SOIL CONDITIONS. IF THE EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOIL ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.

- COMPLY WITH THE REQUIREMENTS IN THE GEOLOGY / SOILS REPORT. IF THE EXCAVATIONS REVEAL UNEXPECTED OR UNFAVORABLE CONDITIONS, NOTIFY THE GEOLOGY / SOILS ENGINEER.

- A SEPARATE PERMIT IS REQUIRED FOR GRADING WORK.

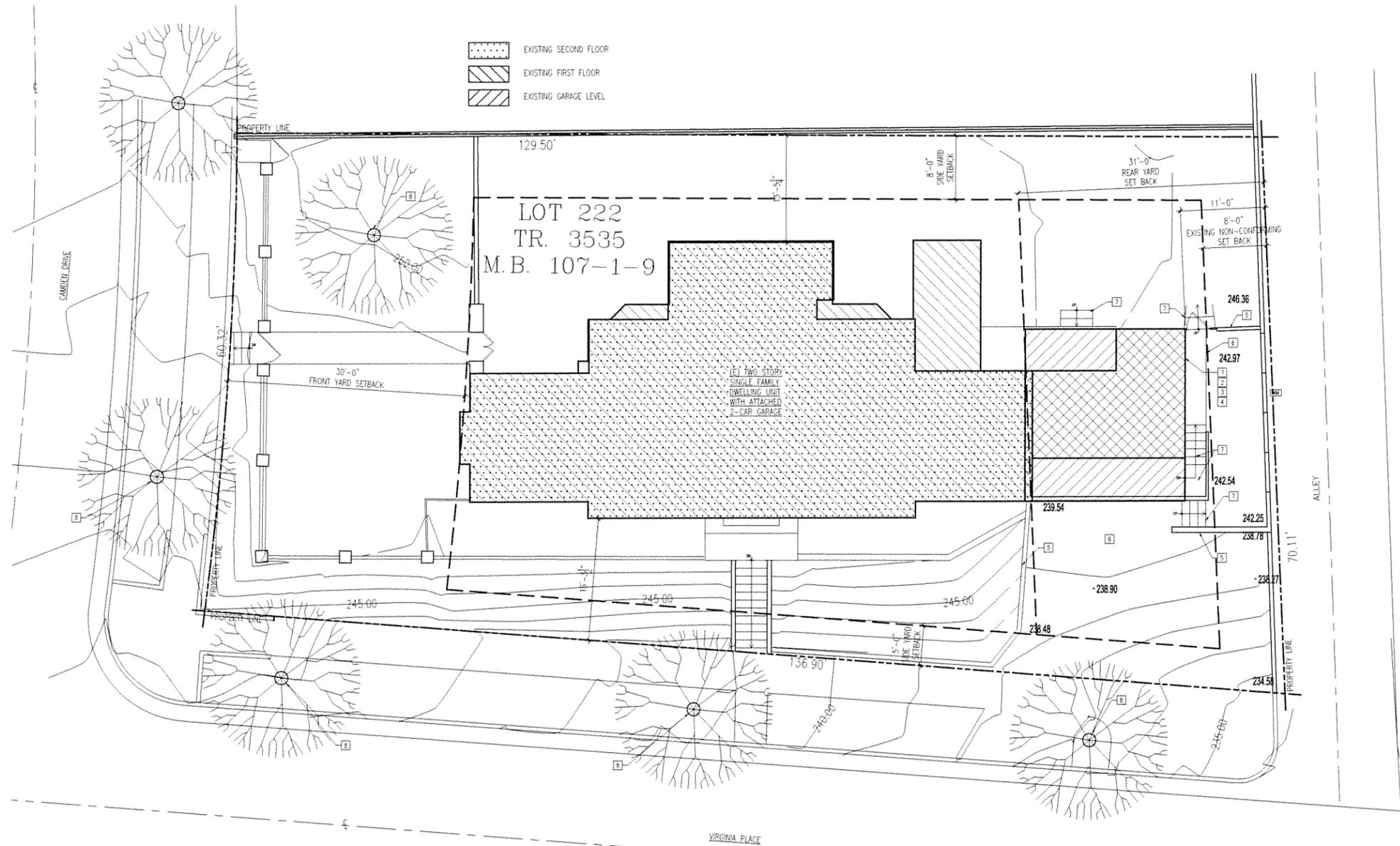
- A SEPARATE PERMIT IS REQUIRED FOR FENCES.

- ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 6" WITHIN THE FIRST 10 FEET.

- THE GENERAL CONTRACTOR SHALL INVESTIGATE THE CONDITION OF THE SEWERLINE FROM THE PROPERTY LINE OUT TO THE CITY MAIN LINE AND ADVISE THE OWNER OF APPROPRIATE OPTIONS.

SITE DEMO PLAN - KEYED NOTES

1. DEMO (E) ELECTRIC METER & PANEL
2. DEMO (E) GAS METER
3. DEMO (E) PHONE BOX
4. DEMO (E) CABLE BOX
5. DEMO (E) BLOCK WALL
6. DEMO (E) CONCRETE SLAB
7. DEMO (E) STAIRS AND LANDING
8. (E) TREE TO REMAIN. PROTECT DURING CONSTRUCTION PROCESS.



(E) DEMO SITE PLAN A1 A-0.1

All ideas, designs and plans indicated or represented by these drawings are owned by and are the property of Twichell Studio and were created and developed for use in connection with the specified project. None of such ideas, designs or plans shall be used for any purpose whatsoever without the written permission of Twichell Studio.

REMODEL & ADDITION TO SINGLE FAMILY DWELLING
STERN RESIDENCE
 9570 VIRGINIA PLACE, BEVERLY HILLS, CA 90210

Twichell STUDIO:
 architects
 10806 CULVER BLVD
 CULVER CITY, CA 90232
 P.H. 310-836-3223

CENTRAL R-1
 PERMIT REVIEW

DATE:
 08-19-2016

EXISTING SITE PLAN

A-0.1

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REMODEL & ADDITION TO SINGLE FAMILY DWELLING
STERN RESIDENCE
 9570 VIRGINIA PLACE, BEVERLY HILLS, CA 90210

Twitchell STUDIO:
architects
 10606 CULVER BLVD
 CULVER CITY, CA 90232
 PH 310-836-3223

CENTRAL R-1
 PERMIT REVIEW

DATE:
 06-19-2016

EXISTING GARAGE PLAN

A-2.0

LEGEND

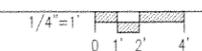
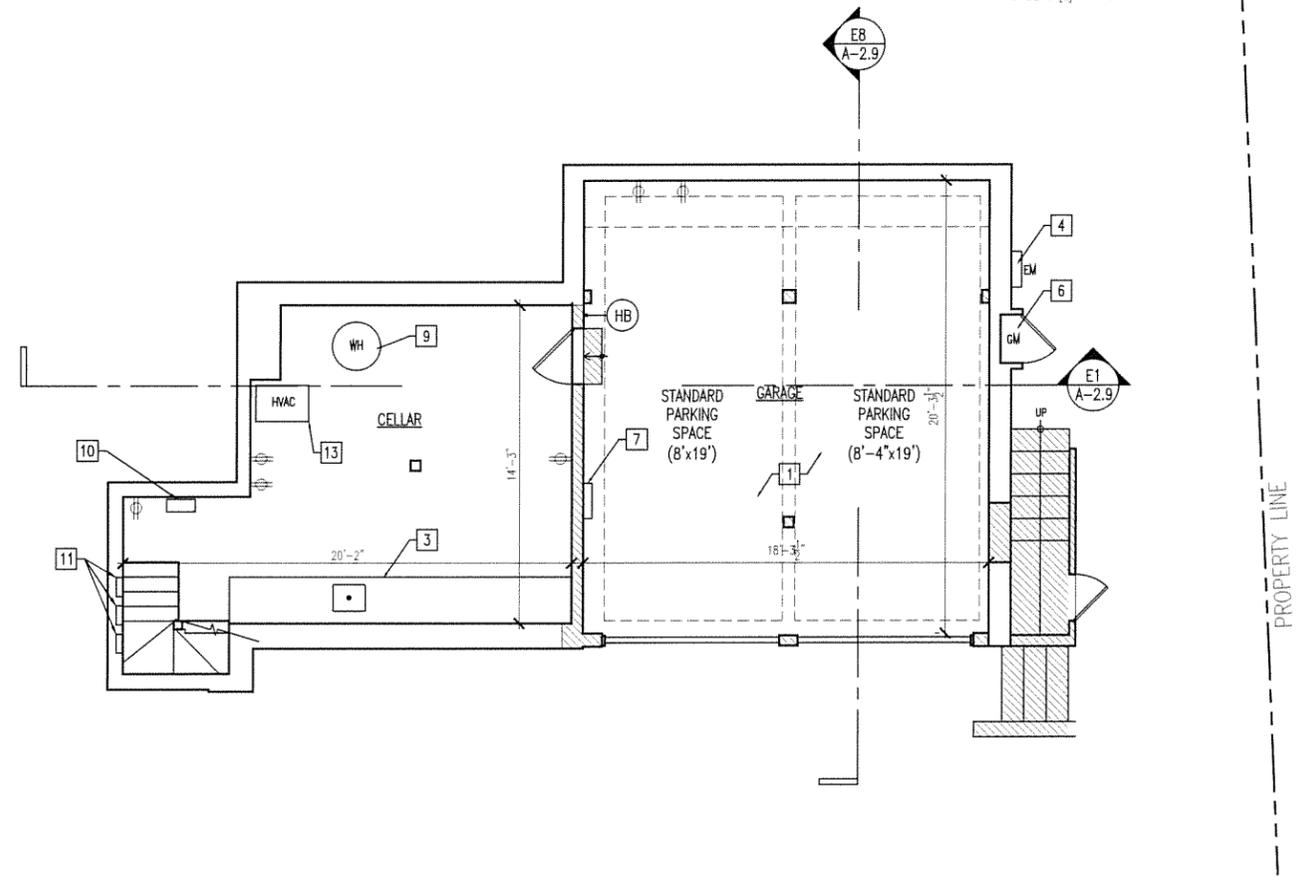
- ▨ WALLS OR AREAS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN

EXISTING FLOOR PLAN — GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- FULL SCOPE OF DEMOLITION TO BE DETERMINED BY COORDINATION OF NEW ARCHITECTURAL AND STRUCTURAL PLANS BY GENERAL CONTRACTOR
- HAVE AN ASBESTOS REPORT DONE BEFORE STARTING ANY DEMOLITION

EXISTING FLOOR PLAN — KEYED NOTES

- 1 DEMO [E] CONC SLAB
- 2 REMOVE WINDOW FOR RE-USE IN NEW CONSTRUCTION.
- 3 DEMO (E) CABINETS
- 4 DEMO (E) ELECTRIC METER
- 5 DEMO (E) ELECTRIC PANEL
- 6 DEMO (E) GAS METER
- 7 DEMO (E) PHONE BOX
- 8 DEMO (E) CABLE BOX
- 9 DEMO [E] WATER HEATER
- 10 DEMO [E] SECURITY PANEL
- 11 [E] ELECTRIC SUB PANELS
- 12 DEMO [E] STEPS
- 13 DEMO [E] HVAC UNIT



EXISTING GARAGE PLAN C1
 A-2.0

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REMODEL & ADDITION TO SINGLE FAMILY DWELLING
STERN RESIDENCE
 9570 VIRGINIA PLACE, BEVERLY HILLS, CA 90210

Twitchell STUDIO:
 architects
 10806 CULVER BLVD.
 CULVER CITY, CA 90232
 PH 310-836-3223

CENTRAL R-1
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EXISTING FIRST FLOOR PLAN

A-2.1

LEGEND

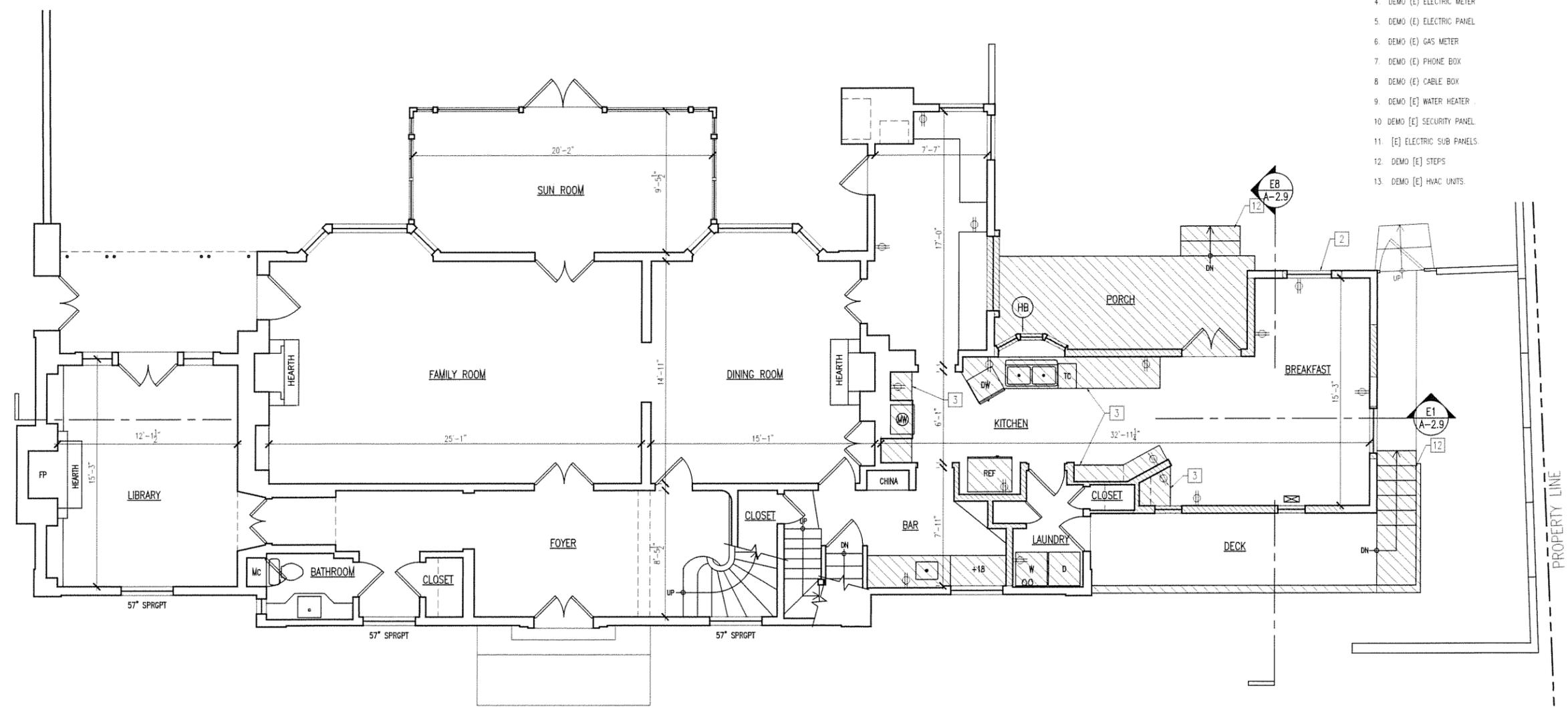
- ▨ WALLS OR AREAS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN

EXISTING FLOOR PLAN – GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- FULL SCOPE OF DEMOLITION TO BE DETERMINED BY COORDINATION OF NEW ARCHITECTURAL AND STRUCTURAL PLANS BY GENERAL CONTRACTOR
- HAVE AN ASBESTOS REPORT DONE BEFORE STARTING ANY DEMOLITION

EXISTING FLOOR PLAN – KEYED NOTES

- 1 DEMO [E] CONC. SLAB
- 2 REMOVE WINDOW FOR RE-USE IN NEW CONSTRUCTION
- 3 DEMO (E) CABINETS
- 4 DEMO (E) ELECTRIC METER
- 5 DEMO (E) ELECTRIC PANEL
- 6 DEMO (E) GAS METER
- 7 DEMO (E) PHONE BOX
- 8 DEMO (E) CABLE BOX
- 9 DEMO [E] WATER HEATER
- 10 DEMO [E] SECURITY PANEL
- 11 [E] ELECTRIC SUB PANELS
- 12 DEMO [E] STEPS
- 13 DEMO [E] HVAC UNITS



EXISTING FIRST FLOOR PLAN C1
 A-2.1



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EXISTING SECOND FLOOR PLAN

A-2.2

LEGEND

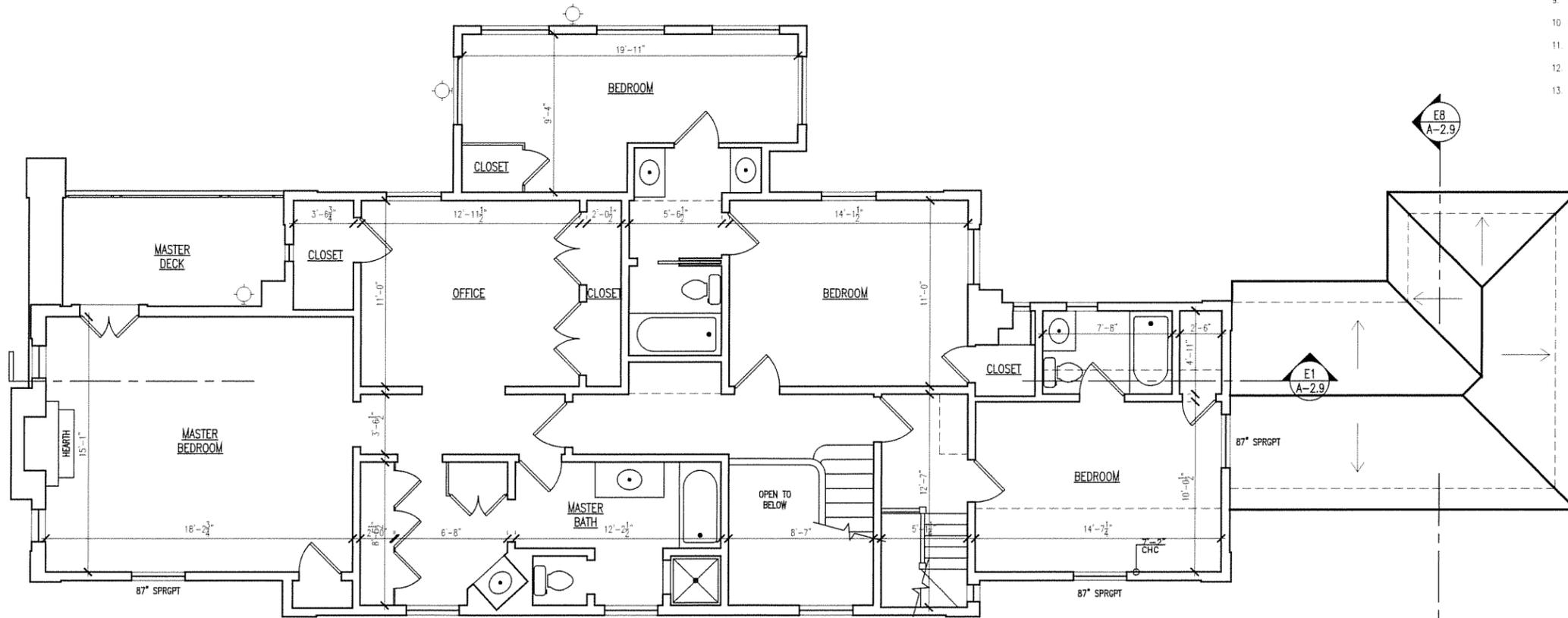
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EXISTING FLOOR PLAN - KEYED NOTES

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- 13 DEMO [E] HVAC UNITS.



EXISTING SECOND FLOOR PLAN C1 A-2.2



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EXISTING GARAGE
 REFLECTED CEILING PLAN

A-2.3

LEGEND

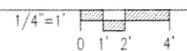
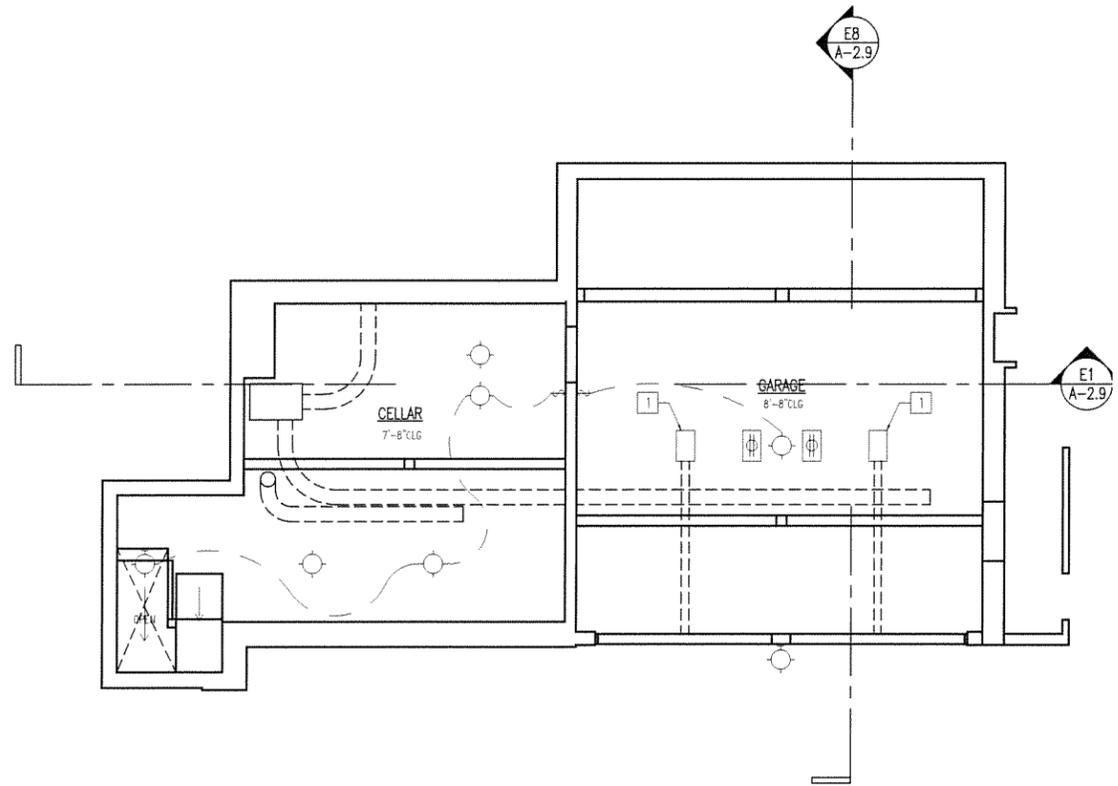
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EXISTING RCP - GENERAL NOTES

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EXISTING RCP - KEYED NOTES

1. REMOVE EXISTING LIGHT FIXTURE
2. REMOVE EXISTING GARAGE DOOR OPENERS AND TRACKS



EXISTING GARAGE REFLECTED CEILING PLAN C1
 A-2.3



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LEGEND

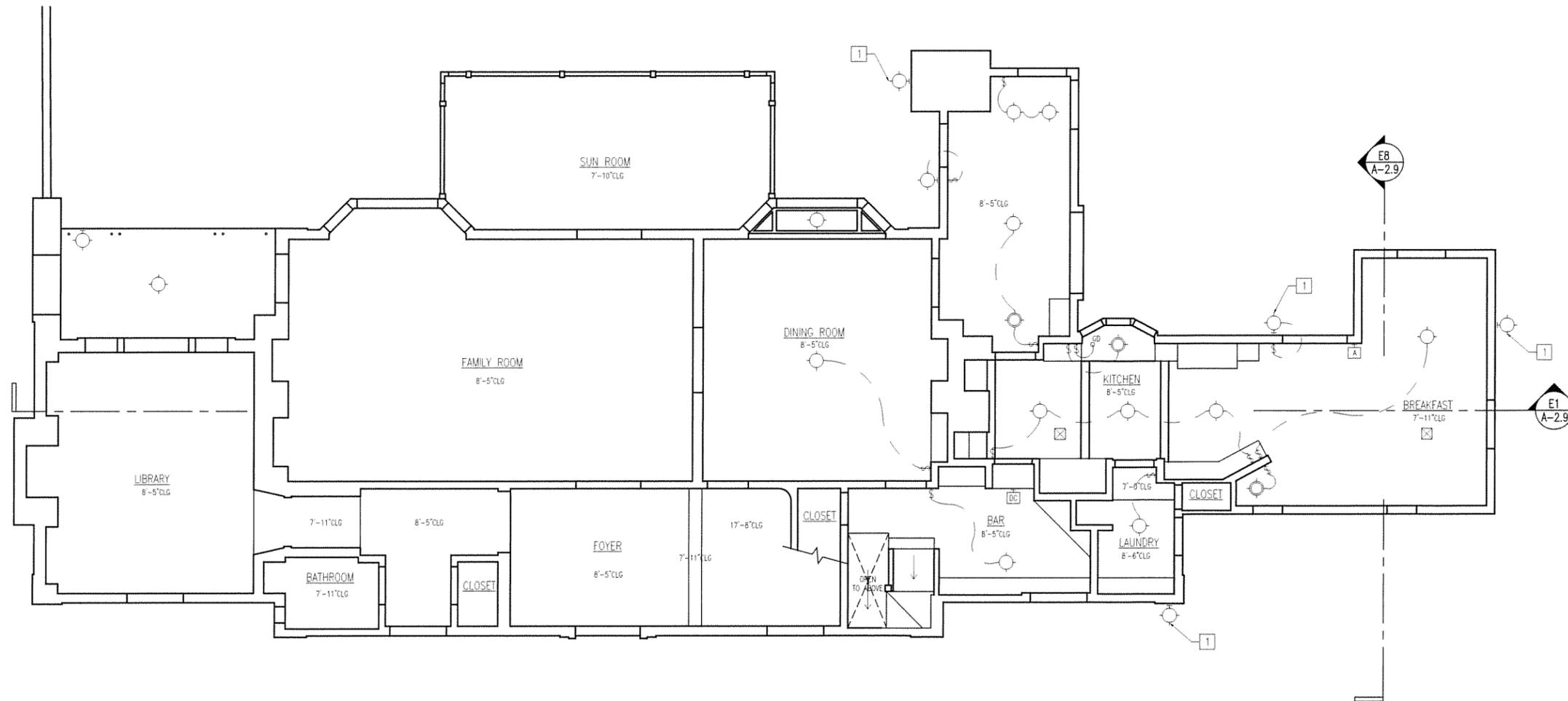
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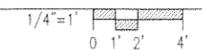
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EXISTING FIRST FLOOR
 REFLECTED CEILING PLAN

A-2.4

EXISTING FIRST FLOOR REFLECTED CEILING PLAN C1 A-2.4



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EXISTING SECOND FLOOR
 REFLECTED CEILING PLAN

A-2.5

LEGEND

-  WALLS OR AREAS TO BE DEMOLISHED
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EXISTING RCP - KEYED NOTES

- 1 REMOVE EXISTING LIGHT FIXTURE
- 2 REMOVE EXISTING GARAGE DOOR OPENERS AND TRACKS



EXISTING SECOND FLOOR REFLECTED CEILING PLAN

C1
 A-2.5



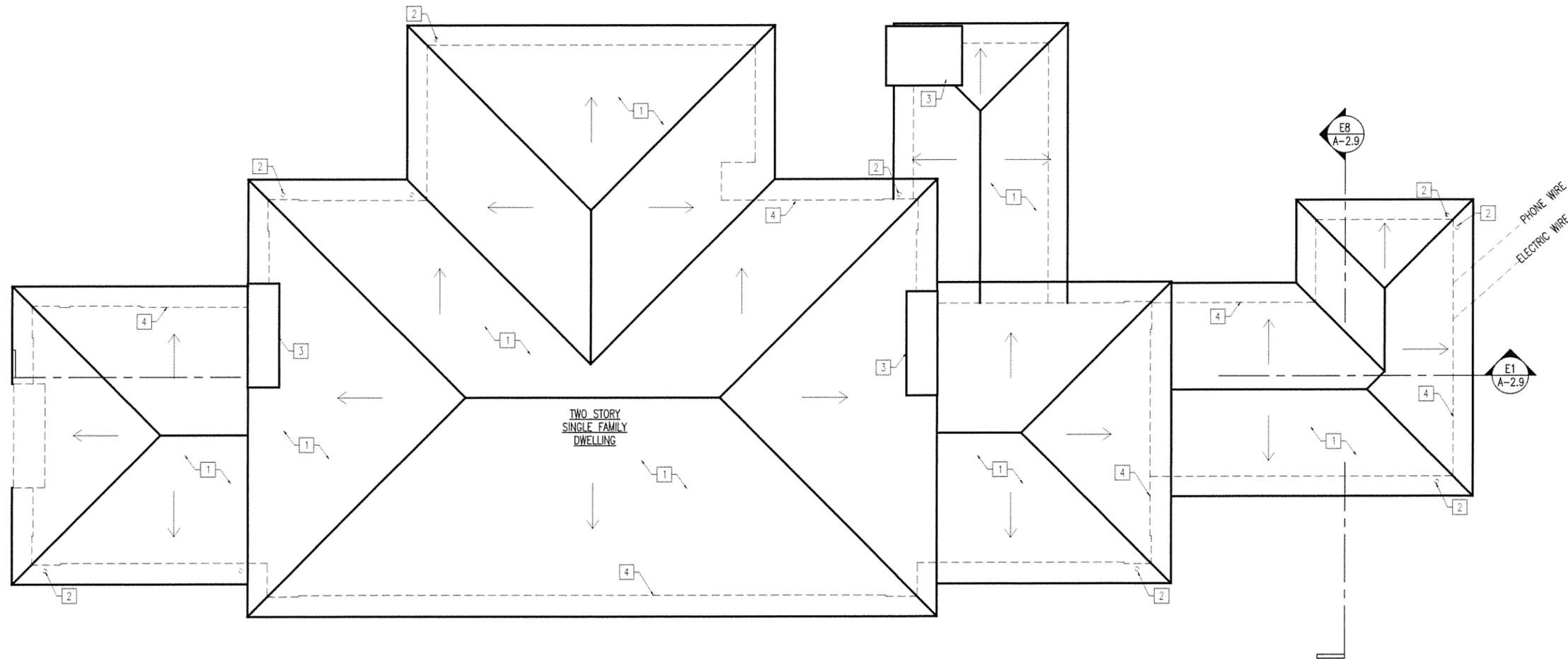
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EXISTING ROOF PLAN - GENERAL NOTES

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EXISTING ROOF PLAN - KEYED NOTES

- 1 [E] CLASS 'A' ROOFING
- 2 [E] DOWNSPOUT
- 3 [C] CHIMNEY. VERIFY THAT THE CHIMNEY IS 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS AND THAT THERE IS AN APPROVED SPARK ARRESTER INSTALLED
- 4 LINE OF BUILDING BELOW SHOWN DASHED



EXISTING ROOF PLAN C1 A-2.6



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EXISTING ROOF PLAN

A-2.6

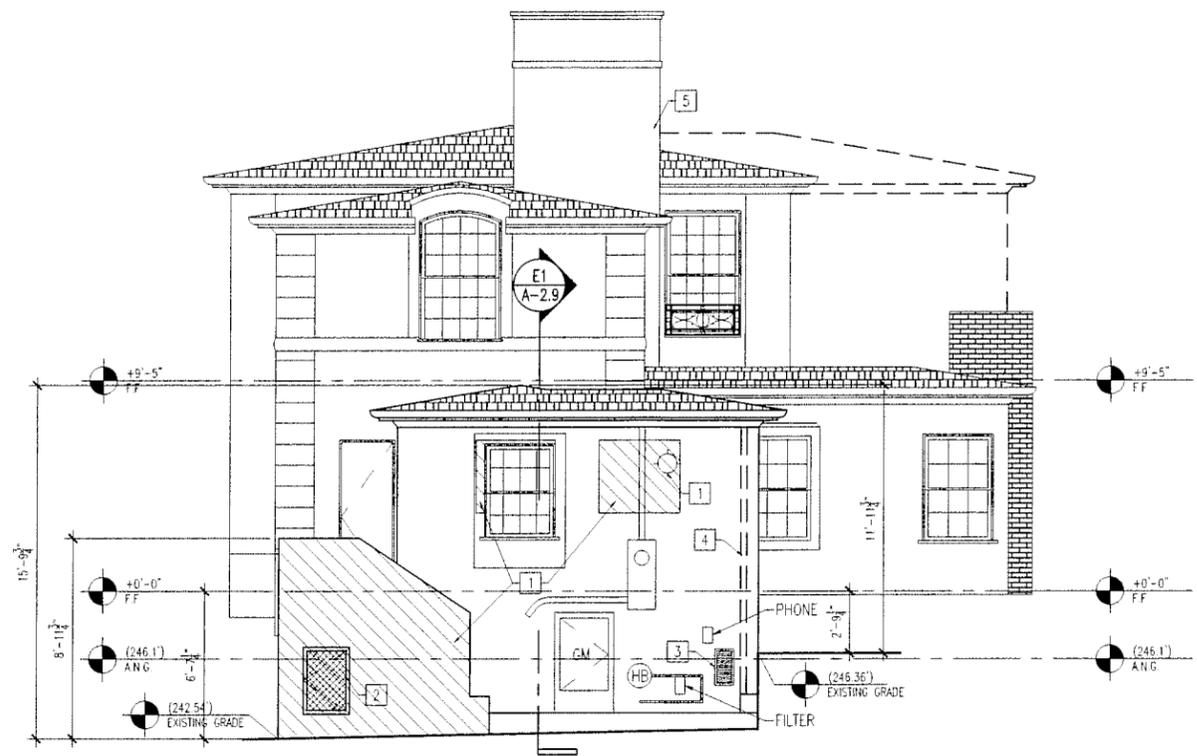
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EXISTING ELEVATIONS - GENERAL NOTES

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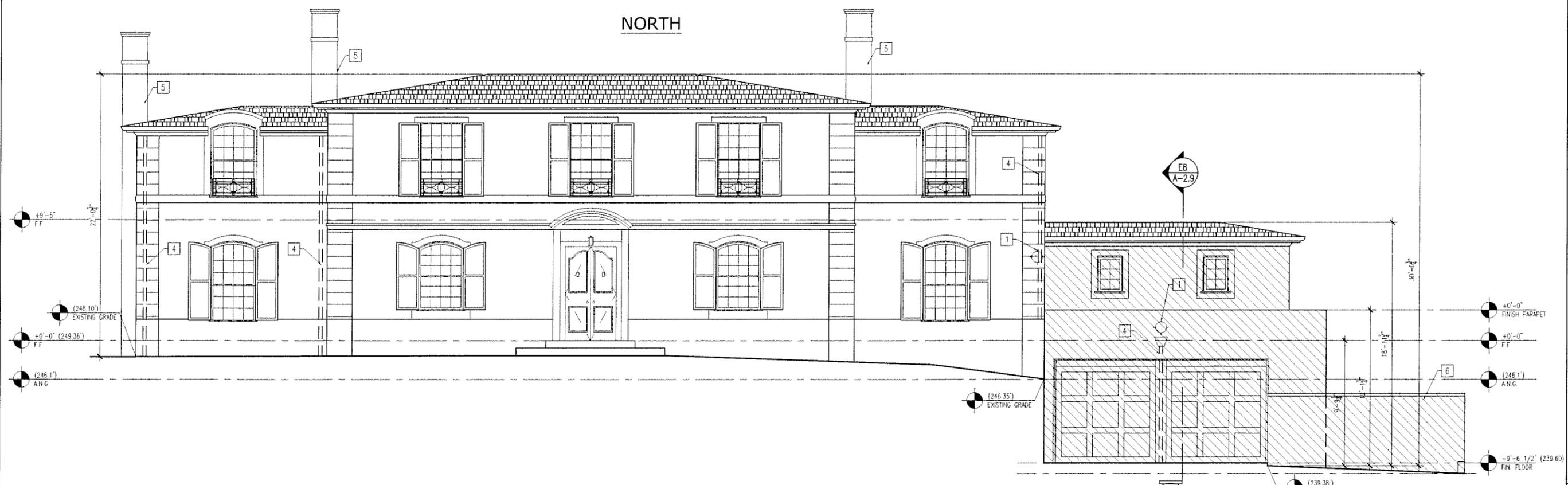
EXISTING ELEVATIONS - KEYED NOTES

- 1 REMOVE [E] LIGHT FIXTURE
- 2 [E] UNDERFLOOR CRAWL ACCESS
- 3 [E] VENTS [TYP]
- 4 [E] DOWNSPOUT
- 5 [E] CHIMNEY IS MORE THAN 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS.
- 6 AREA OF DEMOLITION SHOWN SHADED (TYP)
- 7 [E] DECORATIVE TRIM ON PANELS TO REMAIN



EXISTING WEST ELEVATION E7
A-2.7

NORTH



EXISTING NORTH ELEVATION E1
A-2.7

REMODEL & ADDITION TO SINGLE FAMILY DWELLING

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EXISTING ELEVATIONS

A-2.7

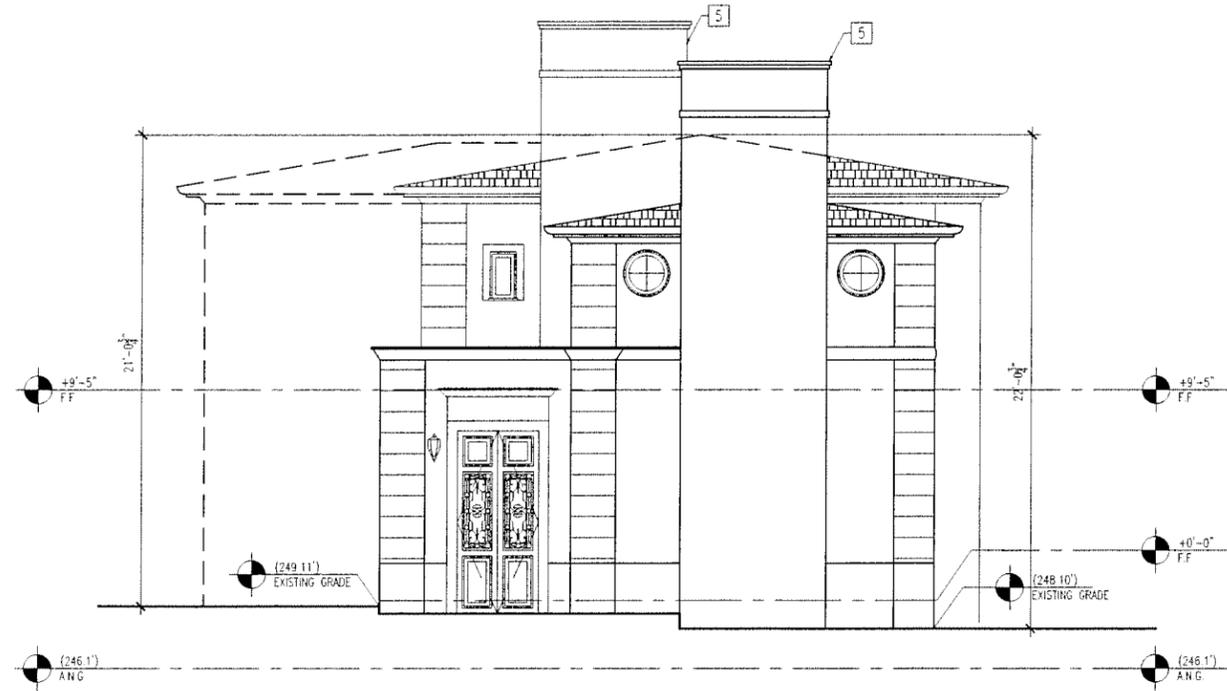
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EXISTING ELEVATIONS - KEYED NOTES

1. REMOVE [E] LIGHT FIXTURE.
2. [E] UNDERFLOOR CRAWL ACCESS.
3. [E] VENTS (TYP).
4. [E] DOWNSPOUT.
5. [E] CHIMNEY IS MORE THAN 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS.
6. AREA OF DEMOLITION SHOWN SHADED (TYP).
7. [E] DECORATIVE TRIM ON PANELS TO REMAIN.



EXISTING EAST ELEVATION E7
A-2.8



EXISTING SOUTH ELEVATION E1
A-2.8

REMODEL & ADDITION TO SINGLE FAMILY DWELLING

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EXISTING ELEVATIONS

A-2.8

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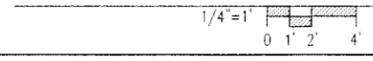
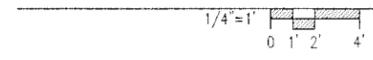
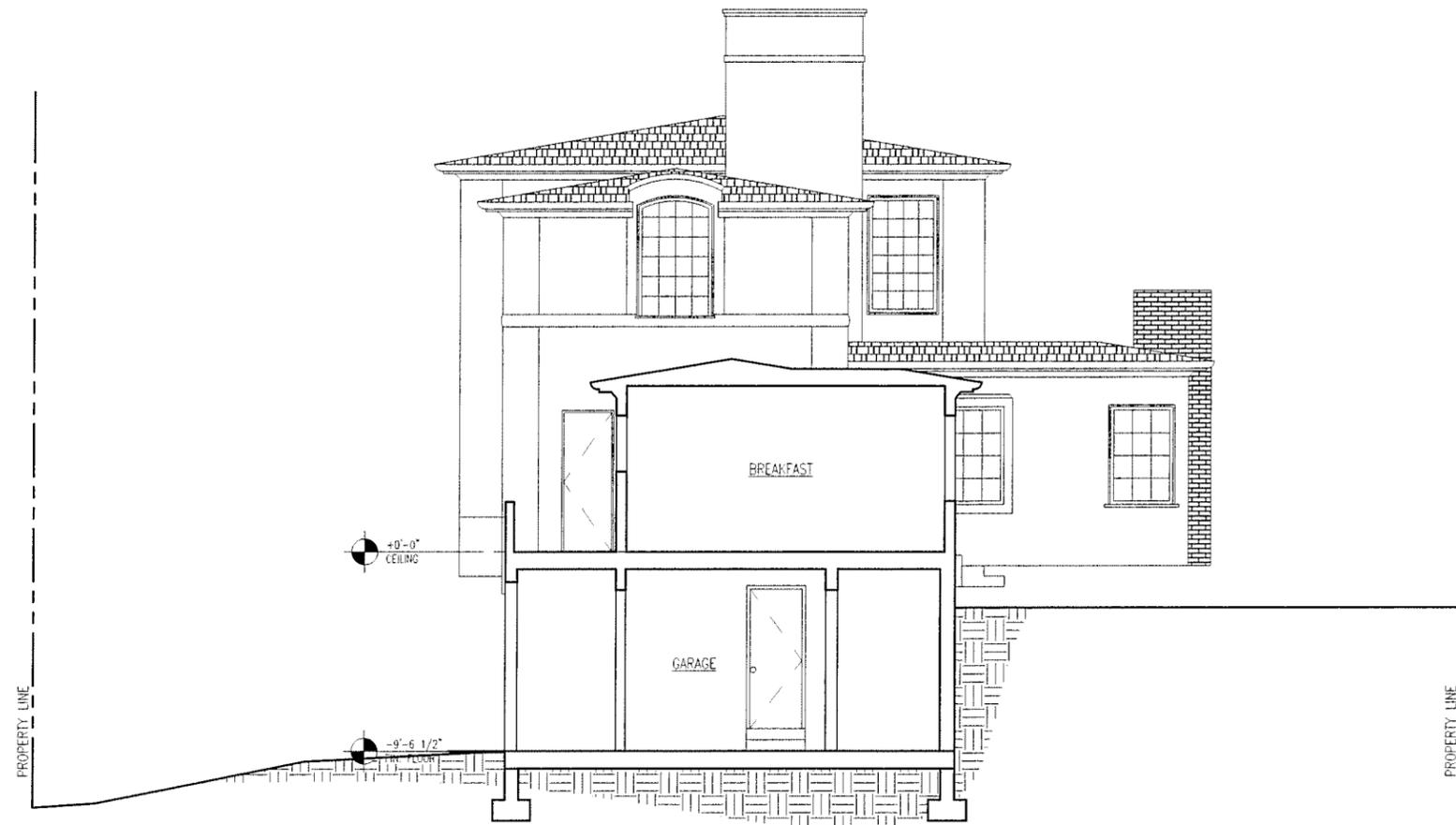
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EXISTING SECTIONS

A-2.9

EXISTING SECTIONS - GENERAL NOTES

EXISTING SECTIONS - KEYED NOTES



15' ALLEY (+237)

NEIGHBORING PROPERTY LINE

LEGEND

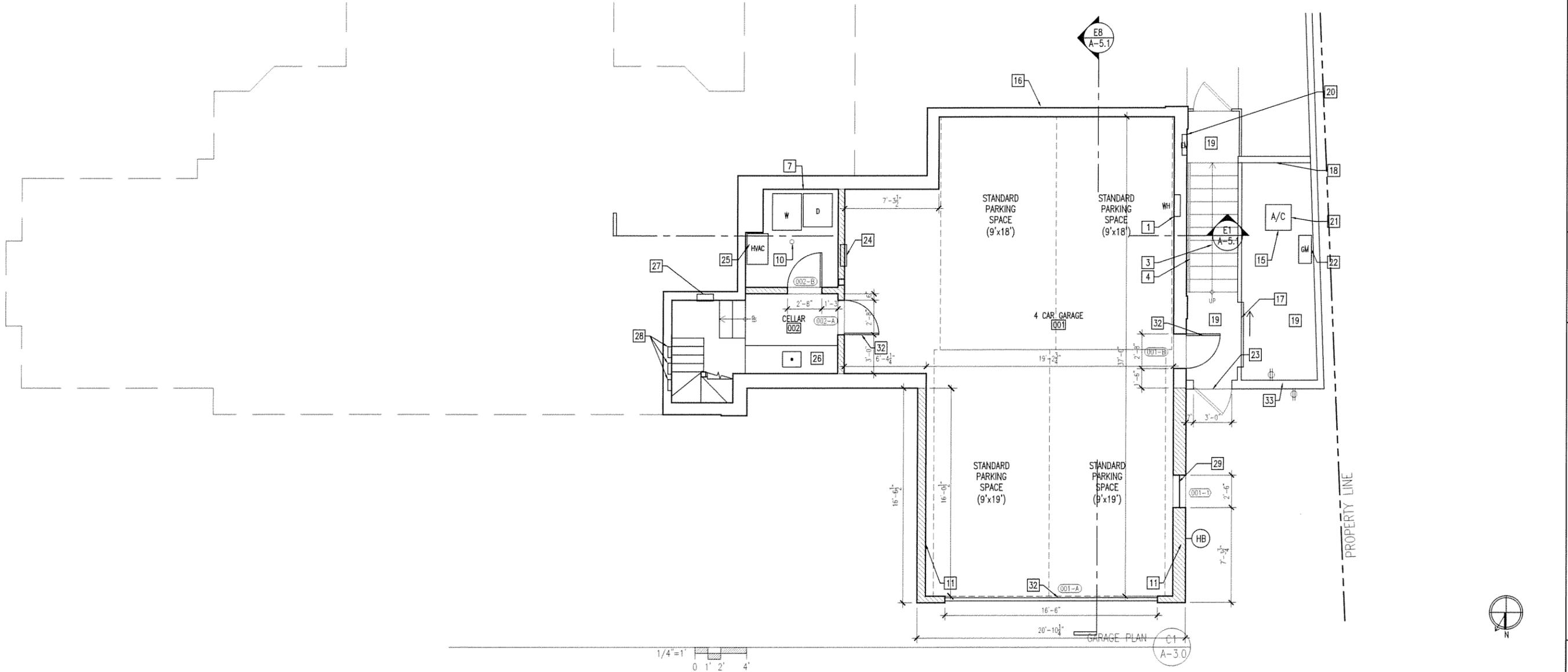
- NEW WALLS
- EXISTING WALLS TO REMAIN

FLOOR PLANS – GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- PLUMBING SYSTEM UNDER SEPARATE PERMIT. SYSTEM DESIGNER TO SUBMIT SHOP DRAWINGS OF PROPOSED LAYOUT TO ARCHITECT FOR COORDINATION BEFORE OBTAINING PERMIT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK
- DIMENSIONS SHOWN REPRESENT FINISH DIMENSIONS, UNLESS OTHERWISE NOTED
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- PROVIDE CONTINUOUS GLASS BATT INSULATION FOR SOUND PROOFING IN ALL FRAMED WALLS, FLOORS, AND CEILINGS OPENED UP DURING THE CONSTRUCTION PROCESS
- INSTALL AN APPROVED SEISMIC GAS SHUTOFF VALVE ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND RIGIDLY CONNECT TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING [PER ORDINANCE 170.158]
- CONNECT LANDSCAPE DRAINS AND DOWNSPOUTS TO SOLID SUBSURFACE PIPE CONDUCTING DRAINAGE DIRECTLY TO DAYLIGHT AT CURB, AND/OR DRAIN DOWNSPOUTS TO STREET BY WAY OF DRIVEWAY
- COMPLETE, PATCH, OR REPAIR FINISHES IN AREAS OF CONSTRUCTION TO MATCH SURROUNDING FINISHES
- COORDINATE CLEARANCES AT PLUMBING WALLS WITH PLUMBER [TYP]
- PROVIDE PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY. USE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE TO THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

FLOOR PLANS – KEYED NOTES

- 1 (N) 'ON DEMAND' TANKLESS WATER HEATER. PROVIDE A RECIRCULATING PUMP WITH EXPANSION TANK. PLUMBER TO USE MANUFACTURER'S RECOMMENDATIONS TO CALCULATE SIZE OF UNIT BASED ON WORST CASE SCENARIO
- 2 (N) BRICK STEPS. MAX 7" RISERS. MIN 11" TREADS. DIFFERENCE BETWEEN LARGEST AND SMALLEST MAY VARY BY 3/8" MAX.
- 3 (N) WOOD STAIRS. MAX 7" RISERS. MIN 11" TREADS. DIFFERENCE BETWEEN LARGEST AND SMALLEST MAY VARY BY 3/8" MAX.
- 4 (N) HANDRAIL CONTINUOUS THE FULL LENGTH OF THE STAIRS, MOUNTED 36" ABOVE NOSING OF TREAD. HANDGRIP TO BE 2" DIAM AND PROJECT FROM THE WALL WITH A MIN. OF 1 1/2" BETWEEN WALL & HANDRAIL.
- 5 (N) 42" GUARDRAIL, INTERMEDIATE RAILS TO BE SPACED SUCH THAT A SPHERE 4" IN DIAM. CANNOT PASS THROUGH.
- 6 ONE WINDOW IN EVERY BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET
 - MINIMUM NET CLEAR OPENABLE HEIGHT OF 24 INCHES
 - MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES
 - MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES
- 7 LAUNDRY HOOK-UP. INSTALL A RECESSED DRYER VENT BOX BEHIND THE DRYER. MANUFACTURED BY DRYERBOX.COM. - SIZE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. ROUTE OF CLOTHES DRYER EXHAUST DUCT SHOWN DASHED. MAX. 14' WITH TWO 90 DEGREE ELBOWS PER UMC.
- 8 (N) BUILT IN SHELVES AND CABINETS. WOOD TO MATCH COLOR AND STYLE OF KITCHEN CABINETS.
- 9 PLUMB REFRIGERATOR FOR ICE MACHINE AND WATER DISPENSER.
- 10 (N) SELF PRIMING FLOOR DRAIN. SLOPE FLOOR TO DRAIN.
- 11 FINISH GARAGE WALLS, POSTS, AND BEAMS ADJACENT TO DWELLING WITH MATERIALS APPROVED FOR CONTIGUOUS ONE-HOUR FIRE RESISTANCE PER CBC TABLE 720.1. CEILING SHALL HAVE 2 LAYERS OF 5/8" TYPE 'X' GYP. BOARD. WALLS SHALL HAVE 1 LAYER OF 5/8" TYPE 'X' GYP. BOARD. PROVIDE SELF-CLOSING, 1 3/8" SOLID WOOD SLAB OR 20 MINUTE RATED DOOR ASSEMBLY FOR OPENING BETWEEN GARAGE & DWELLING.
- 12 (N) SLATE DECK SURFACE OVER WATERPROOF DECKING.
- 13 RELOCATE LANDSCAPE SPRINKLER CONTROL VALVES. MODIFY EXISTING SPRINKLER LAYOUT TO ACCOMMODATE NEW PLAN.
- 14 (N) GAS HOOK UP FOR GAS BBQ.
- 15 (N) A/C CONDENSER, PROVIDE CLEARANCE PER MANUFACTURER'S REQUIREMENTS.
- 16 (N) FRENCH DRAIN AT BASE OF FOUNDATION.
- 17 (N) WOOD FENCE AND SLIDING GATES TO SCREEN UTILITY AREA.
- 18 (N) RETAINING WALL. STUCCO TO MATCH HOUSE.
- 19 (N) BRICK WALKWAY.
- 20 (N) ELECTRIC METER RECESSED IN WALL.
- 21 (E) A/C CONDENSER.
- 22 RELOCATED (E) GAS METER.
- 23 (N) GATE. MATCH EXISTING FRONT GATE.
- 24 (N) TELEPHONE PANEL RECESSED IN WALL.
- 25 (N) HVAC UNIT.
- 26 (N) BASE CABINETS WITH UPPERS.
- 27 (N) RECESSED SECURITY PANEL.
- 28 (E) ELECTRIC SUB PANELS.
- 29 (N) WINDOW.
- 30 (N) BAY FRENCH DOORS TO MATCH DETAILING ON (E) HOUSE.
- 31 (N) PARAPET WALL WITH IRON GUARDRAIL TO MATCH DETAILING ON (E) HOUSE. INTERMEDIATE RAILS TO BE SPACED SUCH THAT SPHERE 4" DIA. CANNOT PASS THROUGH.
- 32 (N) DOOR.
- 33 (N) CMU WALL W/ STUCCO FINISH TO MATCH HOUSE.



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GARAGE PLAN

A-3.0

LEGEND

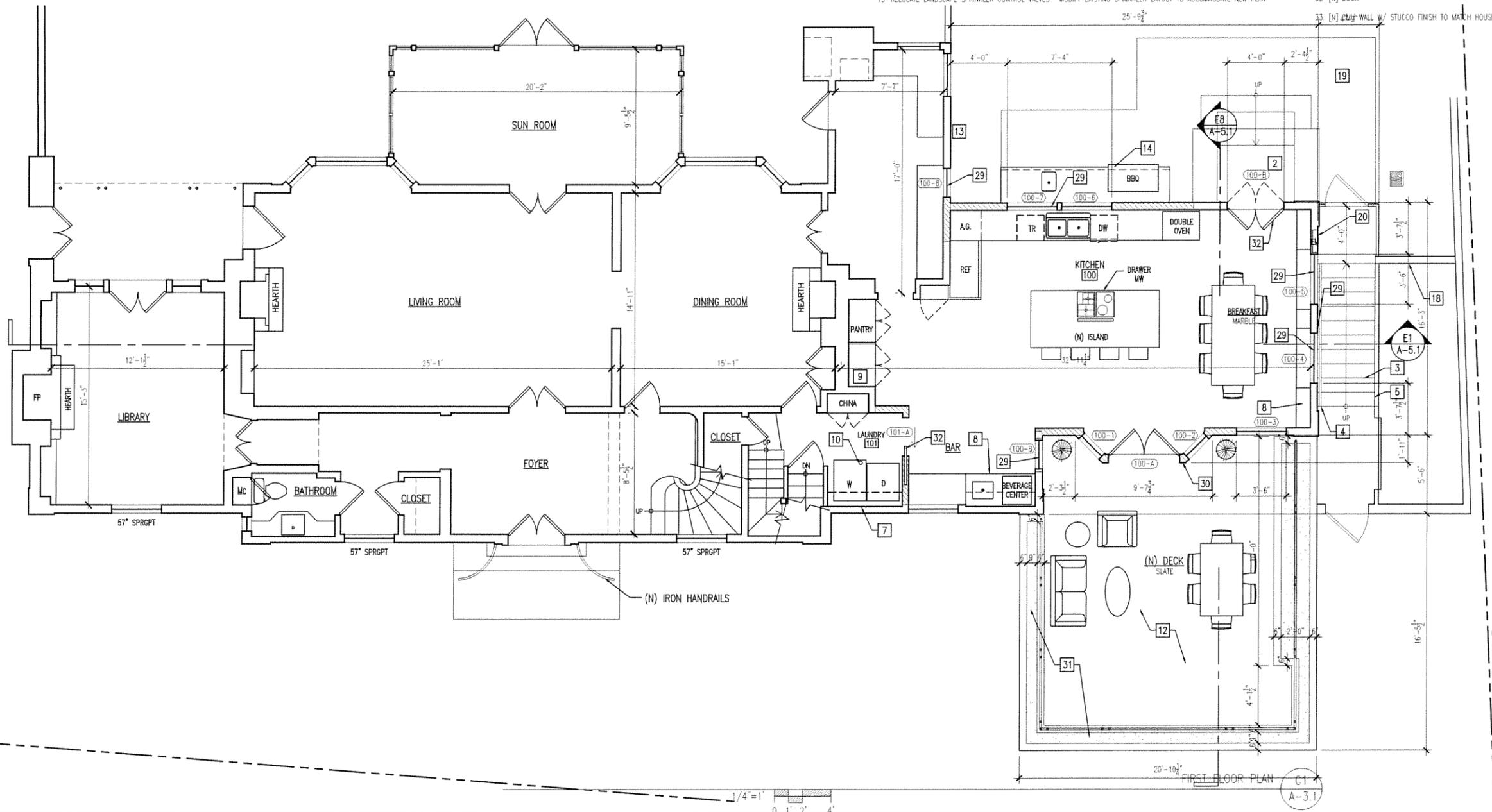
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- CONNECT LANDSCAPE DRAINS AND DOWNSPOUTS TO SOLID SUBSURFACE PIPE CONDUCTING DRAINAGE DIRECTLY TO DAYLIGHT AT CURB, AND/OR DRAIN DOWNSPOUTS TO STREET BY WAY OF DRIVEWAY.
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- 4 (N) HANDRAIL CONTINUOUS THE FULL LENGTH OF THE STAIRS, MOUNTED 36" ABOVE NOSING OF TREAD HANDGRIP TO BE 2" DIAM AND PROJECT FROM THE WALL WITH A MIN. OF 1 1/2" BETWEEN WALL & HANDRAIL.
- 5 (N) 42" GUARDRAIL, INTERMEDIATE RAILS TO BE SPACED SUCH THAT A SPHERE 4" IN DIAM. CANNOT PASS THROUGH.
- 6 ONE WINDOW IN EVERY BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET
 - MINIMUM NET CLEAR OPENABLE HEIGHT OF 24 INCHES
 - MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES
 - MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
- 7 LAUNDRY HOOK-UP. INSTALL A RECESSED DRYER VENT BOX BEHIND THE DRYER MANUFACTURED BY DRYERBOX.COM -SIZE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. ROUTE OF CLOTHES DRYER EXHAUST DUCT SHOWN DASHED MAX. 14' WITH TWO 90 DEGREE ELBOWS PER UMC.
- 8 (N) BUILT IN SHELVES AND CABINETS WOOD TO MATCH COLOR AND STYLE OF KITCHEN CABINETS
- 9 PLUMB REFRIGERATOR FOR ICE MACHINE AND WATER DISPENSER.
- 10 (N) SELF PRIMING FLOOR DRAIN SLOPE FLOOR TO DRAIN.
- 11 FINISH GARAGE WALLS, POSTS, AND BEAMS ADJACENT TO DWELLING WITH MATERIALS APPROVED FOR CONTINUOUS ONE-HOUR FIRE RESISTANCE PER CBC TABLE 720.1. CEILING SHALL HAVE 2 LAYERS OF 5/8" TYPE 'X' GYP. BOARD WALLS SHALL HAVE 1 LAYER OF 5/8" TYPE 'X' GYP. BOARD PROVIDE SELF-CLOSING, 1 3/8" SOLID WOOD SLAB OR 20 MINUTE RATED DOOR ASSEMBLY FOR OPENING BETWEEN GARAGE & DWELLING
- 12 (N) SLATE DECK SURFACE OVER WATERPROOF DECKING
- 13 RELOCATE LANDSCAPE SPRINKLER CONTROL VALVES MODIFY EXISTING SPRINKLER LAYOUT TO ACCOMMODATE NEW PLAN
- 14 (N) GAS HOOK UP FOR GAS BBQ.
- 15 (N) A/C CONDENSER, PROVIDE CLEARANCE PER MANUFACTURERS REQUIREMENTS.
- 16 (N) FRENCH DRAIN AT BASE OF FOUNDATION
- 17 (N) WOOD FENCE AND SLIDING GATES TO SCREEN UTILITY AREA.
- 18 (N) RETAINING WALL, STUCCO TO MATCH HOUSE
- 19 (N) BRICK WALKWAY
- 20 (N) ELECTRIC METER RECESSED IN WALL.
- 21 (E) A/C CONDENSER.
- 22 RELOCATED (E) GAS METER.
- 23 (N) GATE, MATCH EXISTING FRONT GATE.
- 24 (N) TELEPHONE PANEL RECESSED IN WALL
- 25 (N) HVAC UNIT
- 26 (N) BASE CABINETS WITH UPPERS
- 27 (N) RECESSED SECURITY PANEL
- 28 (E) ELECTRIC SUB PANELS.
- 29 (N) WINDOW
- 30 (N) BAY FRENCH DOORS TO MATCH DETAILING ON (E) HOUSE.
- 31 (N) PARAPET WALL WITH IRON GUARDRAIL TO MATCH DETAILING ON (E) HOUSE. INTERMEDIATE RAILS TO BE SPACED SUCH THAT SPHERE 4" DIA. CANNOT PASS THROUGH.
- 32 (N) DOOR.
- 33 (N) CMU WALL W/ STUCCO FINISH TO MATCH HOUSE.



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FIRST FLOOR PLAN

A-3.1

LEGEND

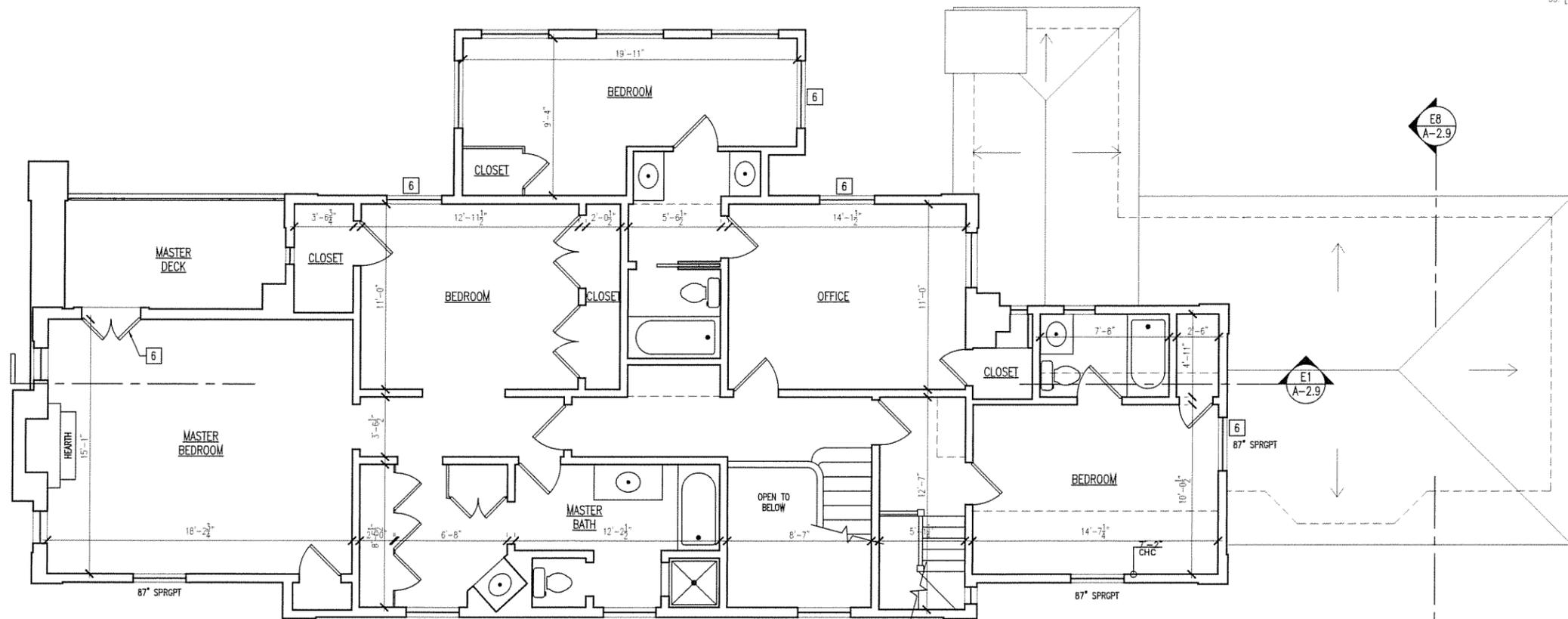
-  NEW WALLS
-  EXISTING WALLS TO REMAIN

FLOOR PLANS – GENERAL NOTES

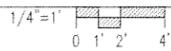
- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS.
- PLUMBING SYSTEM UNDER SEPARATE PERMIT. SYSTEM DESIGNER TO SUBMIT SHOP DRAWINGS OF PROPOSED LAYOUT TO ARCHITECT FOR COORDINATION BEFORE OBTAINING PERMIT.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK.
- DIMENSIONS SHOWN REPRESENT FINISH DIMENSIONS, UNLESS OTHERWISE NOTED.
- PROVIDE NATURAL LIGHT AND VENTILATION OR MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN ALL BATHROOMS, LAUNDRY ROOM, & SERVICE ROOMS. POINT OF DISCHARGE SHALL BE 3' MINIMUM FROM ANY OPENING.
- PROVIDE CONTINUOUS GLASS BATT INSULATION FOR SOUND PROOFING IN ALL FRAMED WALLS, FLOORS, AND CEILINGS OPENED UP DURING THE CONSTRUCTION PROCESS.
- INSTALL AN APPROVED SEISMIC GAS SHUTOFF VALVE ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND RIGIDLY CONNECT TO THE EXTERIOR OF THE BLDG. OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158).
- CONNECT LANDSCAPE DRAINS AND DOWNSPOUTS TO SOLID SUBSURFACE PIPE CONDUCTING DRAINAGE DIRECTLY TO DAYLIGHT AT CURB. AND/OR DRAIN DOWNSPOUTS TO STREET BY WAY OF DRIVEWAY.
- COMPLETE, PATCH, OR REPAIR FINISHES IN AREAS OF CONSTRUCTION TO MATCH SURROUNDING FINISHES.
- COORDINATE CLEARANCES AT PLUMBING WALLS WITH PLUMBER [TYP].
- PROVIDE PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY. USE NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE TO THE SPECIES, PRODUCT, PRESERVATIVE, AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.

FLOOR PLANS – KEYED NOTES

1. (N) 'ON DEMAND' TANKLESS WATER HEATER. PROVIDE A RECIRCULATING PUMP WITH EXPANSION TANK. PLUMBER TO USE MANUFACTURER'S RECOMMENDATIONS TO CALCULATE SIZE OF UNIT BASED ON WORST CASE SCENARIO.
2. (N) BRICK STEPS. MAX 7" RISERS. MIN 11" TREADS. DIFFERENCE BETWEEN LARGEST AND SMALLEST MAY VARY BY 3/8" MAX.
3. (N) WOOD STEPS. MAX 7" RISERS. MIN 11" TREADS. DIFFERENCE BETWEEN LARGEST AND SMALLEST MAY VARY BY 3/8" MAX.
4. (N) HANDRAIL CONTINUOUS THE FULL LENGTH OF THE STAIRS, MOUNTED 36" ABOVE NOSING OF TREAD. HANDGRIP TO BE 2" DIAM. AND PROJECT FROM THE WALL WITH A MIN. OF 1 1/2" BETWEEN WALL & HANDRAIL.
5. (N) 42" GUARDRAIL, INTERMEDIATE RAILS TO BE SPACED SUCH THAT A SPHERE 4" IN DIAM. CANNOT PASS THROUGH.
6. ONE WINDOW IN EVERY BEDROOM SHALL MEET THE FOLLOWING REQUIREMENTS.
 - MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET
 - MINIMUM NET CLEAR OPENABLE HEIGHT OF 24 INCHES.
 - MINIMUM NET CLEAR OPENABLE WIDTH OF 20 INCHES.
 - MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
7. LAUNDRY HOOK-UP. INSTALL A RECESSED DRYER VENT BOX BEHIND THE DRYER. MANUFACTURED BY DRYERBOX.COM. -SIZE AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. ROUTE OF CLOTHES DRYER EXHAUST DUCT SHOWN DASHED. MAX 14' WITH TWO 90 DEGREE ELBOWS PER UMC.
8. (N) BUILT IN SHELVES AND CABINETS. WOOD TO MATCH COLOR AND STYLE OF KITCHEN CABINETS.
9. PLUMB REFRIGGERATOR FOR ICE MACHINE AND WATER DISPENSER.
10. (N) SELF PRIMING FLOOR DRAIN. SLOPE FLOOR TO DRAIN.
11. FINISH GARAGE WALLS, POSTS, AND BEAMS ADJACENT TO DWELLING WITH MATERIALS APPROVED FOR CONTINUOUS ONE-HOUR FIRE RESISTANCE PER CBC TABLE 720.1. CEILING SHALL HAVE 2 LAYERS OF 5/8" TYPE 'X' GYP. BOARD. WALLS SHALL HAVE 1 LAYER OF 5/8" TYPE 'X' GYP. BOARD. PROVIDE SELF-CLOSING, 1 3/8" SOLID WOOD SLAB OR 20 MINUTE RATED DOOR ASSEMBLY FOR OPENING BETWEEN GARAGE & DWELLING.
12. (N) SLATE DECK SURFACE OVER WATERPROOF DECKING.
13. RELOCATE LANDSCAPE SPRINKLER CONTROL VALVES. MODIFY EXISTING SPRINKLER LAYOUT TO ACCOMMODATE NEW PLAN.
14. (N) GAS HOOK UP FOR GAS BBQ.
15. (N) CONC. SLAB FOR A/C CONDENSER, PROVIDE CLEARANCE PER MANUFACTURER'S REQUIREMENTS.
16. (N) FRENCH DRAIN AT BASE OF FOUNDATION.
17. (N) WOOD FENCE AND SLIDING GATES TO SCREEN UTILITY AREA.
18. (N) RETAINING WALL. STUCCO TO MATCH HOUSE.
19. (N) BRICK WALKWAY.
20. (N) ELECTRIC METER RECESSED IN WALL.
21. (E) A/C CONDENSER.
22. RELOCATED (E) GAS METER.
23. (N) GATE. MATCH EXISTING FRONT GATE.
24. (N) TELEPHONE PANEL RECESSED IN WALL.
25. (N) HVAC UNIT.
26. (N) BASE CABINETS WITH UPPERS.
27. (N) RECESSED SECURITY PANEL.
28. (E) ELECTRIC SUB PANELS.
29. (N) WINDOW.
30. (N) BAY FRENCH DOORS TO MATCH DETAILING ON (E) HOUSE.
31. (N) PARAPET WALL WITH IRON GUARDRAIL TO MATCH DETAILING ON (E) HOUSE. INTERMEDIATE RAILS TO BE SPACED SUCH THAT A SPHERE 4" DIA. CANNOT PASS THROUGH.
32. (N) DOOR.
33. (N) CMU WALL W/ STUCCO FINISH TO MATCH HOUSE.



SECOND FLOOR PLAN C1 A-3.2



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SECOND FLOOR PLAN

A-3.2

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ROOF PLAN

A-3.3

LEGEND

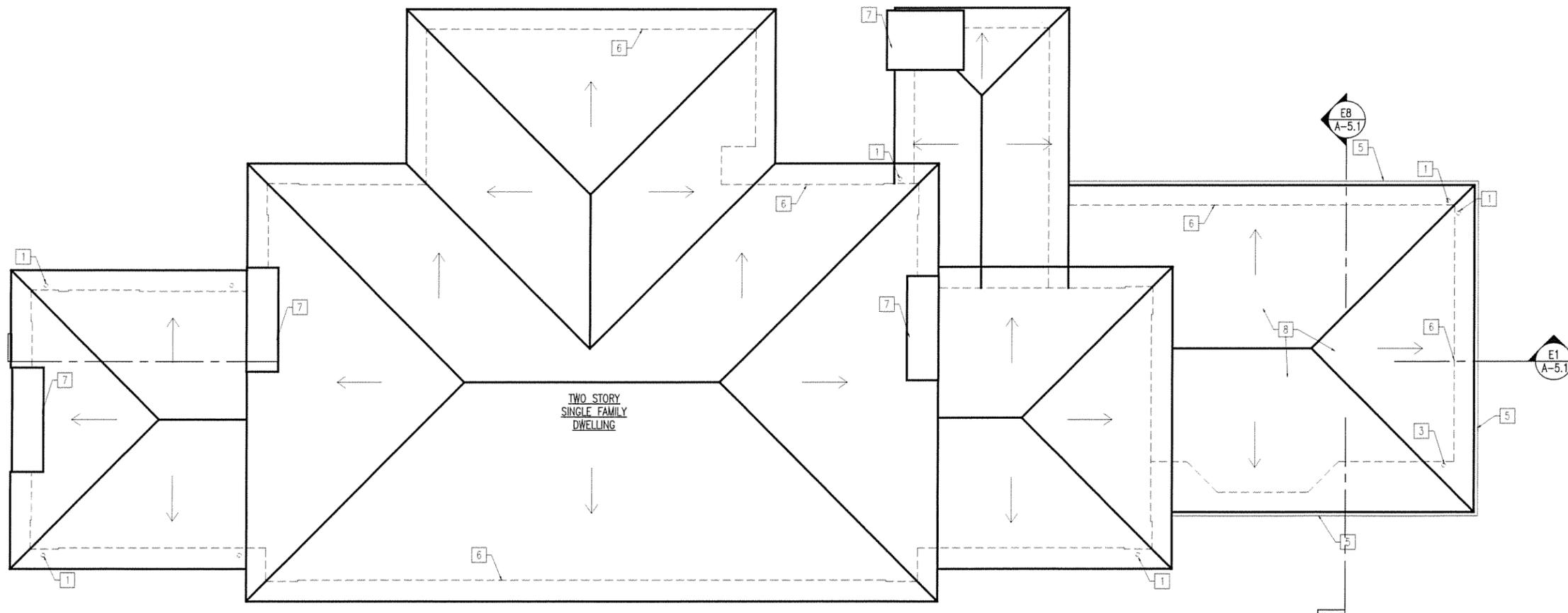
-  NEW WALLS
-  EXISTING WALLS TO REMAIN

ROOF PLAN - GENERAL NOTES

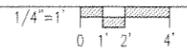
- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS.
- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK.
- ROOFS TO HAVE MIN. CLASS 'B' FIRE RATING
- PROVIDE ATTIC VENTILATION EQUAL TO 1/150 OF ROOF AREA MINIMUM, PROVIDED 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE VENTS. [UBC 1203.2]
- LOCATE VENT PIPES ON REAR ELEVATION OF ROOF IN INCONSPICUOUS LOCATIONS. PAINT ALL VENTS AND FLASHING TO MATCH THE COLOR OF THE SHINGLES

ROOF PLAN - KEYED NOTES

1. EXISTING DOWNSPOUT - CURRENTLY DRAINS UNDERGROUND TO CURB
2. EXISTING DOWNSPOUT - DRAINS TO DRIVEWAY
3. NEW DOWNSPOUT - CONNECT TO SOLID SUBSURFACE PIPE CONDUCTING DRAINAGE DIRECTLY TO DAYLIGHT AT STREET CURB
4. NEW DOWNSPOUT - DRAINS TO DRIVEWAY
5. [N] GUTTER.
6. LINE OF BUILDING BELOW SHOWN DASHED
7. [E] CHIMNEY. VERIFY THAT THE CHIMNEY IS 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS AND THAT THERE IS AN APPROVED SPARK ARRESTER INSTALLED
8. [N] ROOFING. MAINTAIN THE SAME SHAPE AND MATERIAL AS THE EXISTING ROOF. ASPHALT SHINGLES TO MATCH EXISTING



TWO STORY
 SINGLE FAMILY
 DWELLING



ROOF PLAN C1
 A-3.3



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GARAGE REFLECTED CEILING PLAN

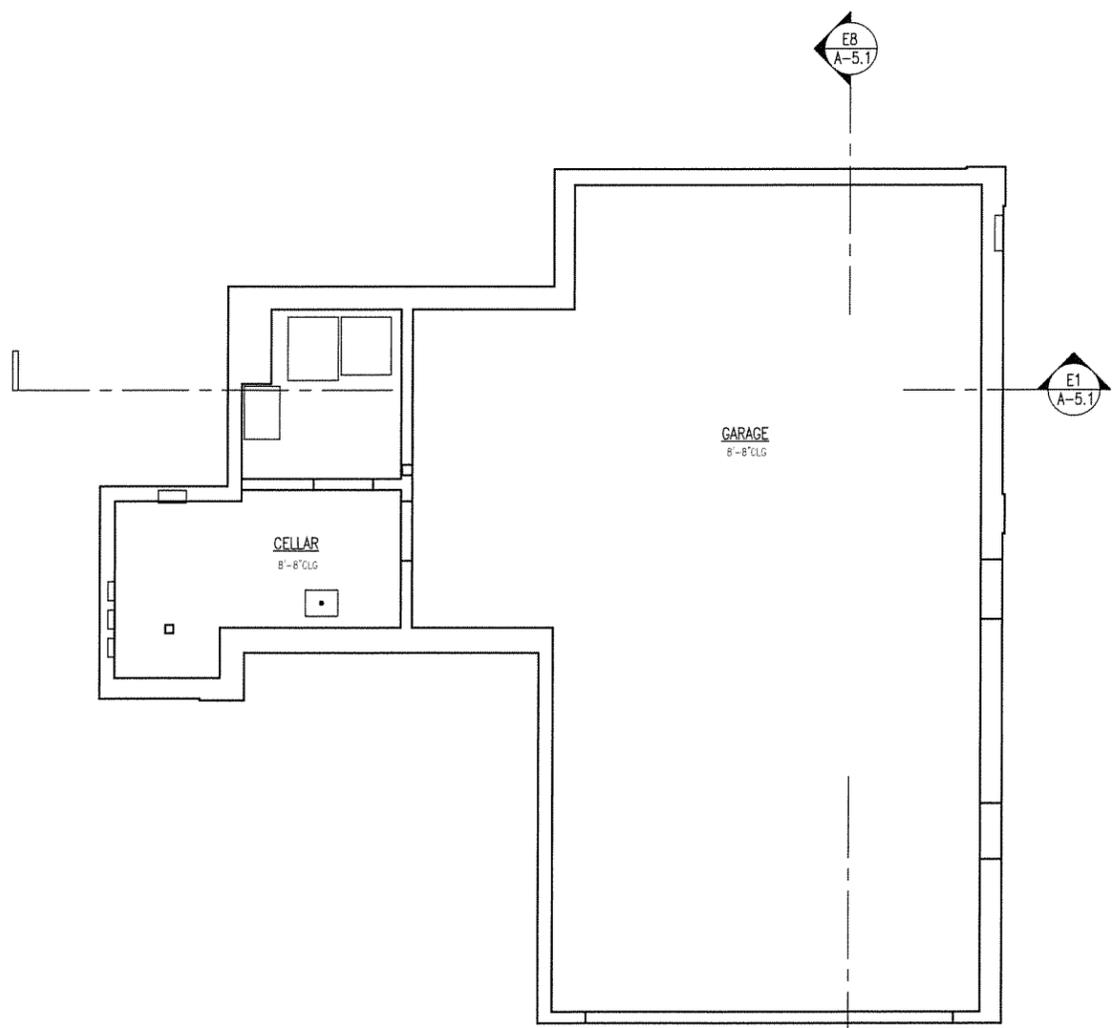
A-3.4

LEGEND

- WALLS OR AREAS TO BE DEMOLISHED
- EXISTING WALLS TO REMAIN

REFLECTED CEILING PLAN - GENERAL NOTES

RCP - KEYED NOTES



GARAGE REFLECTED CEILING PLAN C1 A-3.4

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FIRST FLOOR
 REFLECTED CEILING PLAN

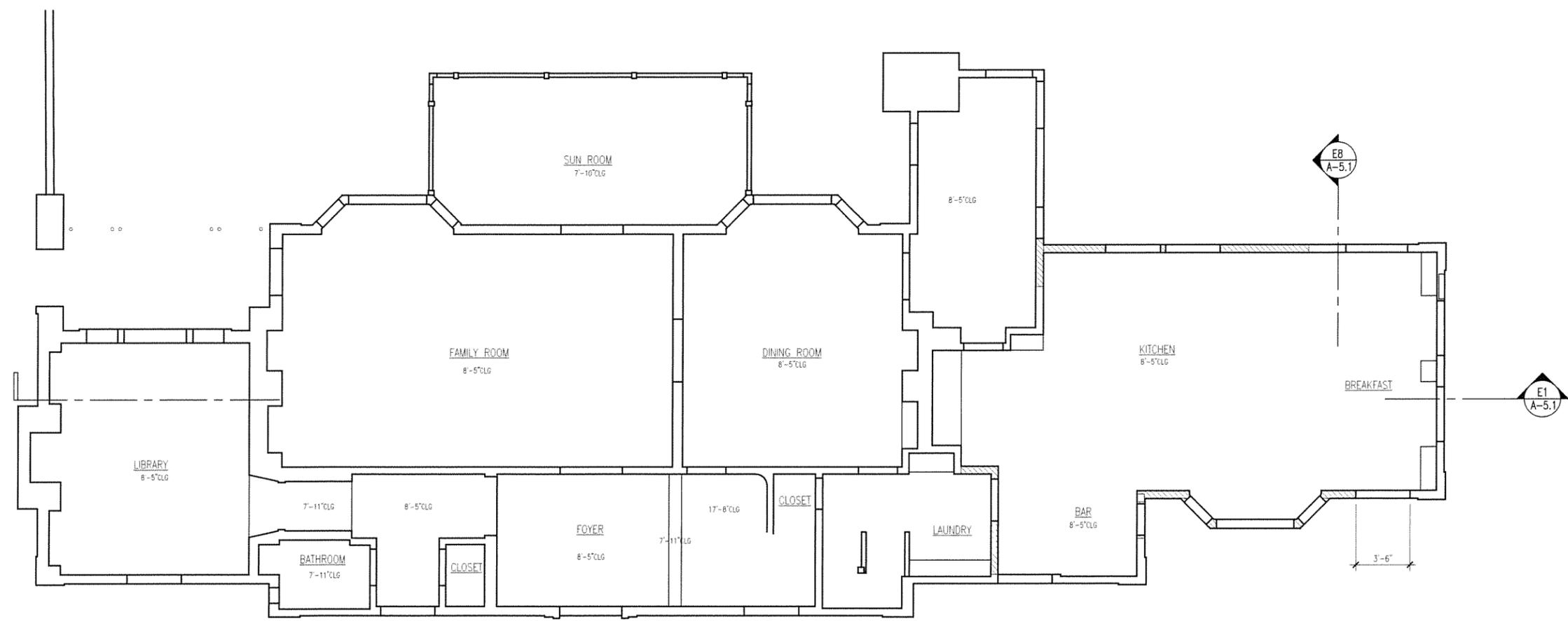
A-3.5

LEGEND

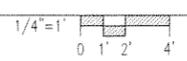
-  WALLS OR AREAS TO BE DEMOLISHED
-  EXISTING WALLS TO REMAIN

REFLECTED CEILING PLAN - GENERAL NOTES

REFLECTED CEILING PLAN - KEYED NOTES



FIRST FLOOR REFLECTED CEILING PLAN C1
 A-3.5



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ELEVATIONS

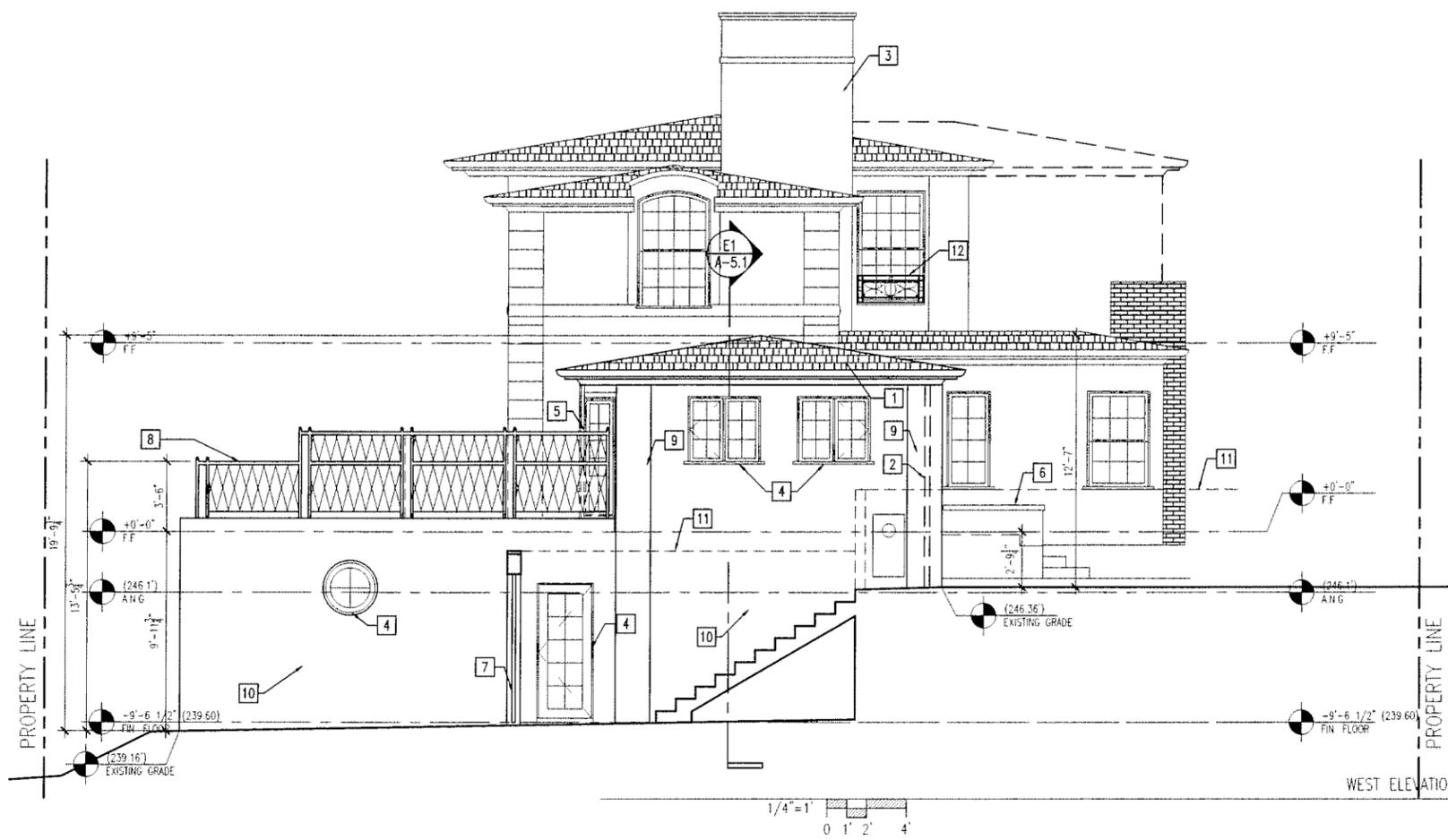
A-4.1

ELEVATIONS - GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS.
- ALL ROOFING SHALL HAVE A MIN CLASS B RATING. ALL ROOF WATER IS TO BE CONDUCTED TO THE STREET IN A NON-CORROSIIVE DRAINAGE SYSTEM.
- NEW MATERIALS TO MATCH EXISTING FRONT FAÇADE INCLUDING: PAINT, SIDING, WOOD BANDS, WINDOWS, TRIM, SILLS, FACIAS, EAVES, SHUTTERS, RAIN GUTTERS & DOWNSPOUTS.
- ALL EXTERIOR WOOD PRODUCTS TO BE REDWOOD, CEDAR, OR WATERPROOF COMPOSITES APPROVED BY ARCHITECT.
- A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
- COMPLETE, PATCH, OR REPAIR FINISHES IN AREAS OF CONSTRUCTION TO MATCH SURROUNDING FINISHES.

ELEVATIONS - KEYED NOTES

- 1 [N] ROOFING: MAINTAIN THE SAME SHAPE AND MATERIALS AS THE EXISTING ROOF
- 2 [N] DOWNSPOUT SHOWN DASHED (TYP)
- 3 [E] STUCCO CHIMNEY TO REMAIN. VERIFY THAT THE CHIMNEY IS 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS AND THAT THERE IS AN APPROVED SPARK ARRESTER INSTALLED.
- 4 DOORS AND WINDOWS W/ PAINTED WOOD TRIM AT TO MATCH EXISTING
- 5 [N] BAY FRENCH DOORS TO MATCH DETAILING ON [E] HOUSE.
- 6 [N] BRICK STOOP AND STAIRS
- 7 [N] GATE: MATCH (E) CAMDEN GATE.
- 8 [N] IRON RAILING TO MATCH DETAILING ON [E] HOUSE.
- 9 RAISED STUCCO COLUMNS @ CORNERS OF THE ADDITION
- 10 [N] STUCCO TO MATCH (E) IN TEXTURE, FINISH, AND APPEARANCE
- 11 HEIGHT OF ALLEY WALL IN FOREGROUND SHOWN DASHED
- 12 [E] GUARDRAILS TO REMAIN ON 2ND FLOOR WINDOWS (TYP)
- 13 [E] DECORATIVE TRIM ON PANELS TO REMAIN



WEST ELEVATION E7
 A-4.1



NORTH ELEVATION E1
 A-4.1

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ELEVATIONS

A-4.2

ELEVATIONS - GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- ALL ROOFING SHALL HAVE A MIN CLASS B RATING. ALL ROOF WATER IS TO BE CONDUCTED TO THE STREET IN A NON-CORROSIIVE DRAINAGE SYSTEM.
- NEW MATERIALS TO MATCH EXISTING FRONT FACADE INCLUDING: PAINT, SIDING, WOOD BANDS, WINDOWS, TRIM, SILLS, FACIAS, EAVES SHUTTERS, RAIN GUTTERS & DOWNSPOUTS.
- ALL EXTERIOR WOOD PRODUCTS TO BE REDWOOD, CEDAR, OR WATERPROOF COMPOSITES APPROVED BY ARCHITECT.
- A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
- COMPLETE, PATCH, OR REPAIR FINISHES IN AREAS OF CONSTRUCTION TO MATCH SURROUNDING FINISHES.

ELEVATIONS - KEYED NOTES

1. [N] ROOFING MAINTAIN THE SAME SHAPE AND MATERIALS AS THE EXISTING ROOF
2. [N] DOWNSPOUT SHOWN DASHED (TYP.)
3. [E] STUCCO CHIMNEY TO REMAIN. VERIFY THAT THE CHIMNEY IS 2 FEET ABOVE ANYTHING WITHIN A 10' RADIUS AND THAT THERE IS AN APPROVED SPARK ARRESTER INSTALLED.
4. DOORS AND WINDOWS W/ PAINTED WOOD TRIM AT TO MATCH EXISTING
5. [N] BAY FRENCH DOORS TO MATCH DETAILING ON [E] HOUSE.
6. [N] BRICK STOOP AND STAIRS
7. [N] GATE MATCH (E) CAMDEN GATE.
8. [N] IRON RAILING TO MATCH DETAILING ON [E] HOUSE
9. RAISED STUCCO COLUMNS @ CORNERS OF THE ADDITION
10. [N] STUCCO TO MATCH (E) IN TEXTURE, FINISH, AND APPEARANCE
11. HEIGHT OF ALLEY WALL IN FOREGROUND SHOWN DASHED
12. [E] GUARDRAILS TO REMAIN ON 2ND FLOOR WINDOWS (TYP.)
13. [E] DECORATIVE TRIM ON PANELS TO REMAIN



EAST ELEVATION E7
 A-4.2



SOUTH ELEVATION E1
 A-4.2

PROPERTY LINE

PROPERTY LINE

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SECTION

A-5.1

LEGEND

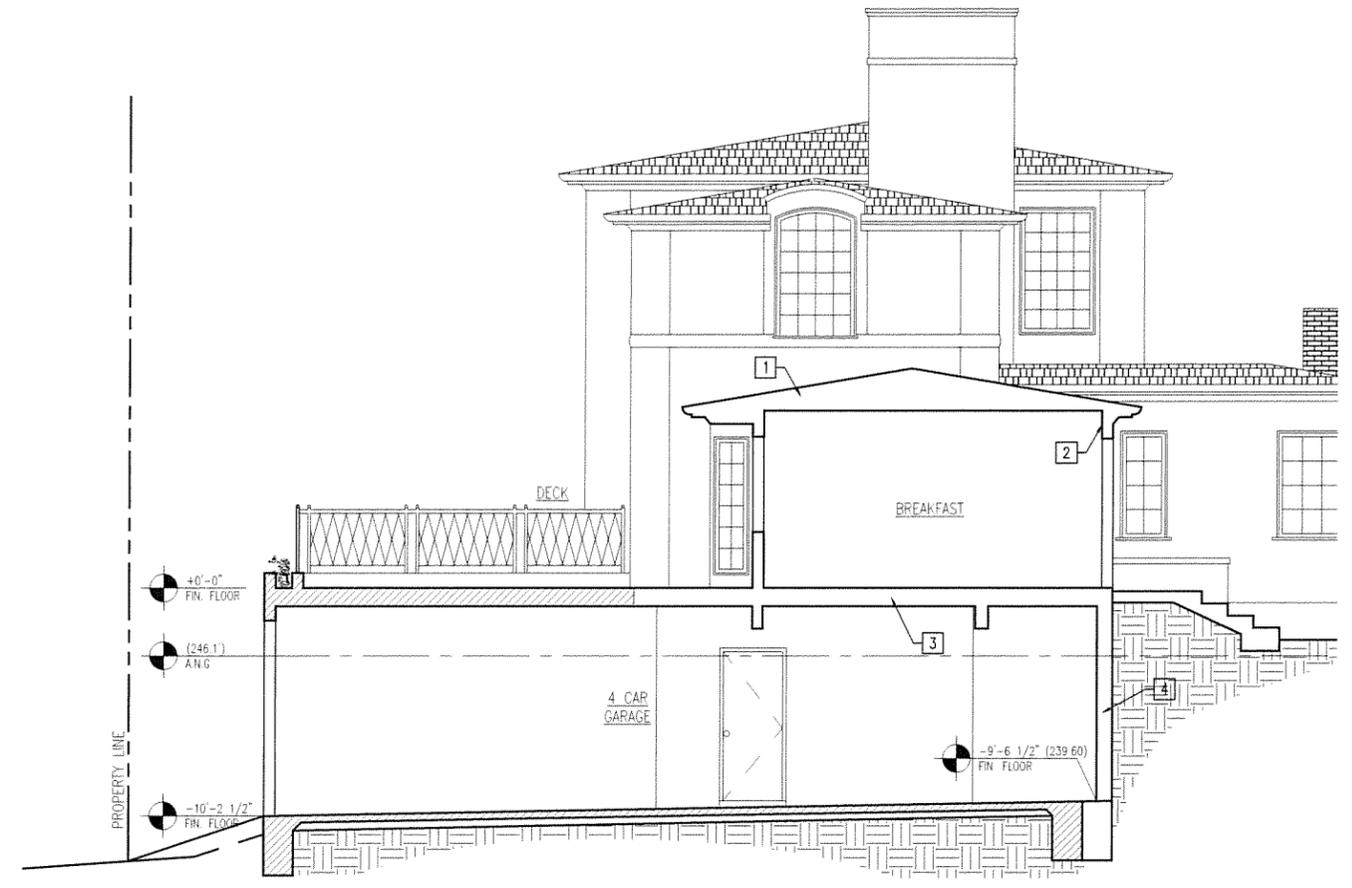
-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION TO REMAIN

SECTION -- GENERAL NOTES

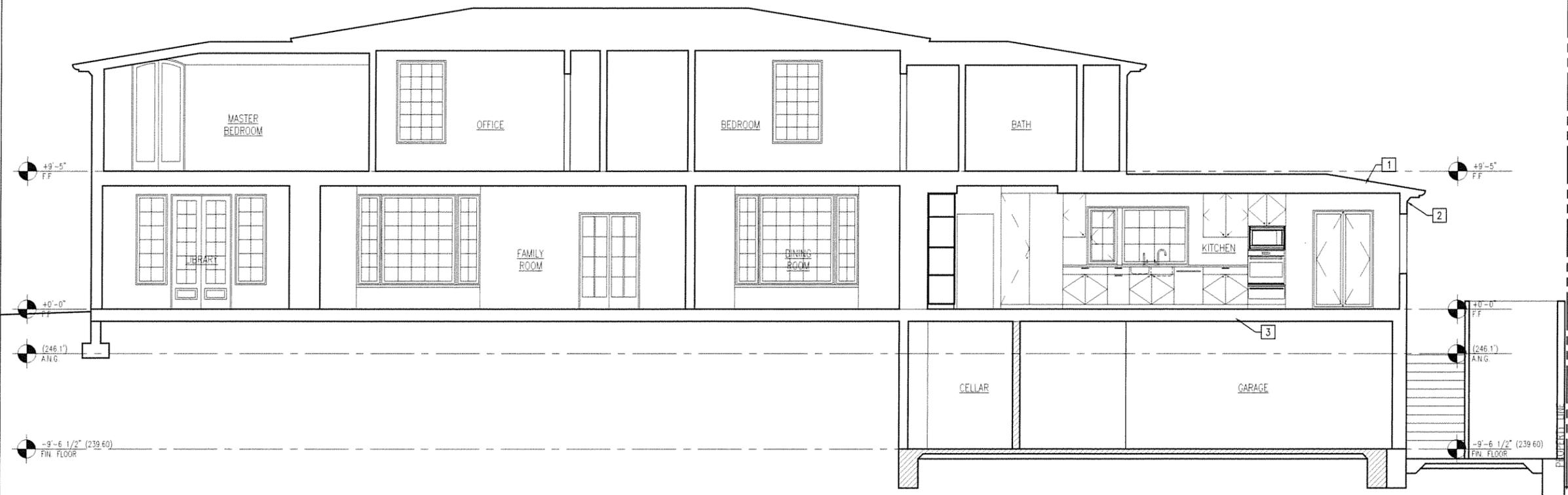
- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK
- PROVIDE AND INSTALL INSULATION IN ALL NEW CONSTRUCTION AND AREAS OF EXISTING STRUCTURES OPENED UP DURING CONSTRUCTION

SECTION -- KEYED NOTES

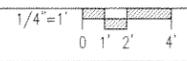
- 1 R-30 ROOF INSULATION: ALL CEILINGS OR ROOF / CEILING ASSEMBLIES, NEW AND EXISTING, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 30 [TYP]
- 2 R-13 EXTERIOR WALL INSULATION: ALL NEW WALLS, AND ALL EXISTING WALLS ACCESSIBLE DURING CONSTRUCTION, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 13. [TYP]
- 3 R-19 FLOOR INSULATION: ALL NEW RAISED FLOOR AREAS OVER UNCONDITIONED SPACES, AND ALL EXISTING FLOORS ACCESSIBLE DURING CONSTRUCTION, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 19 [TYP]
- 4 R-19 FOUNDATION WALL INSULATION: WATERPROOF MEMBRANE AND PROTECTION BOARD WITH FILTERING ROCK BACKFILL. 4" DIAM PERFORATED PIPE AT BASE OF FOUNDATION, DRAIN TO SUMP.



CROSS SECTION E8
 A-5.1



LONGITUDINAL SECTION E1
 A-5.1



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LEGEND

-  NEW CONSTRUCTION
-  EXISTING CONSTRUCTION TO REMAIN

SECTION - GENERAL NOTES

- SEE GENERAL NOTES SHEETS FOR MECHANICAL / ELECTRICAL / PLUMBING NOTES, SYMBOLS, & ABBREVIATIONS
- GENERAL CONTRACTOR TO VERIFY CONDITIONS AND MEASUREMENTS IN THE FIELD AND NOTIFY THE ARCHITECT OF DISCREPANCIES AND THE NEED OF ADDITIONAL DETAILS OR INFORMATION PRIOR TO THE EXECUTION OF THE WORK.
- PROVIDE AND INSTALL INSULATION IN ALL NEW CONSTRUCTION AND AREAS OF EXISTING STRUCTURES OPENED UP DURING CONSTRUCTION.

SECTION - KEYED NOTES

- 1 R-30 ROOF INSULATION: ALL CEILINGS OR ROOF / CEILING ASSEMBLIES, NEW AND EXISTING, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 30 [TYP].
- 2 R-13 EXTERIOR WALL INSULATION: ALL NEW WALLS, AND ALL EXISTING WALLS ACCESSIBLE DURING CONSTRUCTION, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 13 [TYP].
- 3 R-19 FLOOR INSULATION: ALL NEW RAISED FLOOR AREAS OVER UNCONDITIONED SPACES, AND ALL EXISTING FLOORS ACCESSIBLE DURING CONSTRUCTION, SHALL BE INSULATED WITH A MINIMUM R-VALUE OF 19 [TYP].
- 4 R-19 FOUNDATION WALL INSULATION: WATERPROOF MEMBRANE AND PROTECTION BOARD WITH FILTERING ROCK BACKFILL. 4" DIAM PERFORATED PIPE AT BASE OF FOUNDATION, DRAIN TO SUMP.

REMODEL & ADDITION TO SINGLE FAMILY DWELLING
STERN RESIDENCE
 9570 VIRGINIA PLACE, BEVERLY HILLS, CA 90210

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CENTRAL R-1
 PERMIT REVIEW

DATE:
 08-19-2016

SECTION

A-5.2

