



AGENDA REPORT

Meeting Date: November 15, 2016
Item Number: E-4
To: Honorable Mayor & City Council
From: Mark Odell, Urban Designer
Subject: TWO RESOLUTIONS OF THE COUNCIL OF THE CITY OF BEVERLY HILLS DESIGNATING THE "SALKIN APARTMENT BUILDING NO. 2" 328 SOUTH REXFORD DRIVE AND THE "TALLMAN-STERN RESIDENCE" AT 9570 VIRGINIA PLACE AS LOCAL LANDMARKS AND PLACING THE PROPERTIES ON THE BEVERLY HILLS REGISTER OF HISTORIC PROPERTIES; AND

THE COUNCIL WILL ALSO CONSIDER ADOPTION OF TWO CATEGORICAL EXEMPTIONS, PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Attachments:

1. Resolution Designating the "Salkin Apartment Building No. 2" at 328 South Rexford Drive as a Local Landmark
2. Resolution Designating the "Tallman-Stern Residence" at 9570 Virginia Place as a Local Landmark
3. Cultural Heritage Commission Reports and CHC Resolutions No. 57 & 58 Recommending Landmark Designation of the two properties (excluding attachments)

RECOMMENDATION

Staff recommends that the City Council, on the recommendation of the Cultural Heritage Commission and with property owner agreement, adopt two resolutions designating the "Salkin Apartment Building No. 2" at 328 South Rexford Drive and the "Tallman-Stern Residence" at 9570 Virginia Place as Local Landmarks and placing the two properties on the Beverly Hills Register of Historic Properties.

INTRODUCTION

Currently thirty-two (32) properties in Beverly Hills are designated as Landmarks listed on the Beverly Hills Register of Historic Properties (viewable at www.beverlyhills.org/preservation). The Cultural Heritage Commission (CHC) recommended that the City Council designate two

additional historic properties as local historic landmarks in accordance with the City of Beverly Hills Historic Preservation Ordinance (Beverly Hills Municipal Code Title 10, Chapter 3, Article 32). Designating these properties as landmarks would recognize them as important to the history of the City and help to ensure protection of these resources by requiring City review of any significant future work done to the property, including renovations, additions, and any potential demolition. Listing these properties on the City's Register of Historic Properties would also enable the property owners to be eligible for current and future incentives offered to local landmarks, including application for a Historic Incentive Permit and a Mills Act contract for possible property tax relief.

BACKGROUND

The Salkin Apartment Building No. 2



The property was built in 1956 and had previously been identified as a potential historic resource in the 2004 city-wide historic resources survey. At that time, the property was given a status code "5S3," "appears to be individually eligible for local listing or designation through survey evaluation." The two-story, eight-unit Mid-Century apartment building is located in a multi-family residential neighborhood, on the east side of South Rexford Drive, south of Gregory Way and north of Olympic Boulevard. Distinguishing features of the mid-century building include decorative horizontal panels defined on the façade with exterior circulation corridors; large elongated metal address numbers rendered in a period-appropriate typeface; and an aluminum brushed canned bullet lamp attached to the lower horizontal panel at the north end. Concrete steps lead to the first floor unit entrances and an exterior staircase which leads to a second story open-air walkway and additional apartment units.

The initial owner of the subject property (and also the developer and designer) was Jules G. Salkin, an architect with an office along Robertson Boulevard in Beverly Hills. Salkin was born in 1916 in Philadelphia, Pennsylvania to Russian immigrant parents and he would go on to have a diverse career on both the east and west coasts. During the 1930s, he was an accomplished musician playing the violin and viola and also had his own small orchestra. In the summer of 1938, he was invited to play as part of the Taliesin (Frank Lloyd Wright's Arizona school of architecture) Quartet, a quartet of string players that Frank Lloyd Wright commissioned to play at Taliesin in Wisconsin (Taliesin East). Acclaimed as a brilliant violist, Salkin was first chair of the Indianapolis Symphony who was hand-picked by iconic conductor Leopold Stokowski to be the first violist for the All-American Youth Orchestra. Salkin played at Taliesin again in the summer of 1939; at the time Wright was developing the Usonian house and furthering ideas for

affordable, cooperative housing developments. While at Taliesin, Salkin asked Wright if he could study architecture under his tutelage. After serving in World War II Salkin moved to Los Angeles to further his musical career as a studio musician at Paramount Studios. However, following his interest in architecture he became a general contractor and supplemented his informal training under Wright with formal studies on architecture and building. He obtained his architect's license in October 1954 and joined the Southern California Chapter of the American Institute of Architects in 1955.

Jules Salkin's early small-scale, multi-family apartment building work includes the six-unit Modern style apartment at 360 South Elm (1955) in Beverly Hills; the subject property located at 328 South Rexford Drive in 1956; another apartment building at 1746 North Gramercy Place in Los Angeles (1956); and another multi-family building at 705 South Barrington Avenue in west Los Angeles in 1957. Most of his earlier projects were designed in the Mid-century Modern style with many of Frank Lloyd Wright's philosophies incorporated. Salkin later moved into more profitable ventures that included the development of large apartment buildings and condominium complexes in West Covina, Glendale, and Van Nuys, among other areas in the southland. The Morning-Sun Investment Company located at Salkin's office on Robertson Boulevard in Beverly Hills was one of his first real estate development businesses. He later had firms throughout the real estate spectrum, including a real estate construction company, which built tract houses; a development company, which built apartment houses; a company that develops, builds, and sells condominiums; and a development and management company that manages and operates real estate. Small investment companies such as Dynatech Capital Corporation, Beverly Hills Capital Corporation, Capital for Progress Fund, Inc., and Capital Dynamics were all under his control.

The Tallman-Stern Residence



The two-story residence at 9570 Virginia Place is sited on a rectangular-shaped, gently sloped parcel at the corner of Virginia Place and South Camden Drive in the southwestern area of the city. The dwelling is set back from the both South Camden Drive and Virginia Place with a low-rise garden wall with a wrought iron fence that wraps the eastern portion of the property. An attached wing that forms the garage with habitable space above and a paved driveway are sited to the immediate west of the main massing of the residence along Virginia Place.

The residence was designed in the Georgian Revival style by Master Architect Gerard Colcord in 1935. The exterior surface is finished in a smooth stucco plaster with a decorative quoining treatment at the corners. The structure is capped by a low-pitch hip roof with minimal overhanging eaves and wide cornice trim. The lower story on both main elevations is given prominence by the placement of a single and double molded stringcourse along with the classically inspired decorative features which culminate in the entablature for the main entry

door on Virginia Place. The dwelling has two primary elevations, as it has two distinct formal entrances off its east (Camden Drive) and north (Virginia Place) elevations. The entry at the Camden Drive elevation is defined by the classical entry portal, long brick walkway, and stucco wall with tile cap that encloses a patio, side yard, and the front door porch space. Features along this elevation include an engaged brick chimney flanked by two oculus wood-frame windows at the upper floor, quoining details at the corners, stringcourse, entry portal with entablature and wide molded lintel trim with pilasters and ornate double entry doors. Carefully manicured landscape that includes a mature tree, grassy lawn, low-growing shrubs, and a brick walkway enhances the formal quality of the architecture along both street frontages. The façade of the north elevation of the house is symmetrically arranged and contains five bays punctuated by four-over-three wood-frame sash windows with metal “S” scrolled “shutter dogs” (fasteners) and a central entry portico on the lower story. Molded lintels (some arch shaped with keystones), casings, sills and louvered shutters embellish the windows. Molded stringcourses; a multi-panel, double entry door (wood) framed by thinly molded engaged pilasters; scrolled brackets; and an arched shaped pediment accents the front door portico. A stucco sheathed garage wing with a set back upper floor is attached off the west elevation of the house. Landscaping along this side of the structure includes a stucco covered retaining wall that follows the change in topography of the sidewalk/parcel, brick stairs that lead up to the entry portico, and low-growing shrubs and plants.

DISCUSSION

Acting upon a Landmark Nomination application filed on behalf of the owner, the Cultural Heritage Commission (CHC) initiated nomination proceedings for the residential property at 328 South Rexford Drive at a Special Meeting on July 13, 2016. At this meeting the Cultural Heritage Commission considered a Landmark Assessment Report regarding eligibility of the property prepared by Jan Ostashay of Ostashay Consulting and a Preliminary Evaluation of the property’s eligibility prepared by the Director of Community Development (pursuant to the requirements in BHMC §10-3-3215 A.3). The Commission found the property to be eligible under landmark criteria (Beverly Hills Municipal Code §10-3-3212) and adopted Resolution CHC 57, nominating the “Salkin Apartment Building No. 2” for inclusion onto the City of Beverly Hills Register of Historic Properties.

At their Meeting on October 5, 2016, the Cultural Heritage Commission considered the single-family residence at 9570 Virginia Place for eligibility under landmark designation criteria with a Preliminary Evaluation prepared by the Director and a Landmark Assessment Report on the property prepared by the City’s historic consultant, Jan Ostashay of Ostashay & Associates Consulting. At this meeting, the CHC voted to initiate the property for landmark proceedings, and also adopted Resolution CHC 57 nominating the “Tallman-Stern Residence” for inclusion onto the City of Beverly Hills Register of Historic Properties.

Landmark Eligibility

The City’s Historic Preservation Ordinance enables the City Council to designate local landmarks. The subject properties have both been assessed for their eligibility for designation as Beverly Hills landmarks. The Landmark Assessment and Evaluation Report provide the background and findings to justify the property’s eligibility under Landmark Designation Criteria of the Beverly Hills Historic Preservation Ordinance (BHMC §10-3-3212), to which the property is subject. Eligibility is summarized for both properties in Table 1 below.

Table 1. Summary of Local Landmark Criteria Eligibility

| Criterion | Salkin Apartment Building No. 2 | Tallman-Stern Residence |
|--|--|---|
| A.1 It is at least forty-five (45) years of age, or is a property of extraordinary significance | <p style="text-align: center;">Yes</p> <p>The property is 60 years of age in 2016.</p> | <p style="text-align: center;">Yes</p> <p>The property is 81 years of age in 2016.</p> |
| A.2 It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural style or architectural type or architectural period | <p style="text-align: center;">Yes</p> <p>For architectural merit, the subject property is an example of a mid-century multi-family complex with its trademark architectural features, building circulation patterns and signature details.</p> | <p style="text-align: center;">Yes</p> <p>The subject property expresses a high artistic and aesthetic value through its architectural design and execution as undertaken by a Master Architect. It fully articulates the Georgian Revival style in the general building massing and through the application of classically inspired design features.</p> |
| A.3 It retains substantial integrity from its period of significance | <p style="text-align: center;">Yes</p> <p>The multi-family building retains sufficient integrity from its period of significance and, despite some exterior modifications to the property, retains integrity of materials, design, setting, feeling, and association. The building retains sufficient architectural integrity to adequately convey its original design intent, high aesthetic qualities, architectural merit, and historical significance.</p> | <p style="text-align: center;">Yes</p> <p>The single-family residence retains sufficient integrity from its period of significance and appears to retain all seven aspects of integrity (location, design, workmanship, materials, association, feeling and setting).</p> |
| A.4 It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article | <p style="text-align: center;">Yes</p> <p>The property is considered to have historic value because of its architectural design, aesthetic value, and association with this property type.</p> | <p style="text-align: center;">Yes</p> <p>Due to the property's association with Master Architect Gerard Colcord, its distinctive Georgian Revival architectural styling, and integrity as a resource, the property has continued historic value.</p> |

| Criterion | Salkin Apartment Building No. 2 | Tallman-Stern Residence |
|--|---|--|
| B.1 It is listed on the National Register of Historic Places | <p style="text-align: center;"><i>No</i></p> <p>The subject property is not listed on the National Register.</p> | <p style="text-align: center;"><i>No</i></p> <p>The subject property is not listed on the National Register.</p> |
| B.2 It is an exceptional work by a Master Architect | <p style="text-align: center;"><i>No</i></p> <p>The property was the work of the architect Jules G. Salkin of Los Angeles who is not considered a Master Architect in the City of Beverly Hills. There is no additional information on this architect to include him in the current list of Master Architects at this time.</p> | <p style="text-align: center;"><i>Yes</i></p> <p>Gerard Colcord was a noted classically trained residential architect in Beverly Hills whose revival architectural styles and derivations of these traditional designs continue to influence the features of the residential structures of today within the confines of Beverly Hills.</p> |
| B.3 It is an exceptional work that was owned and occupied by a person of great importance, and was directly connected to a momentous event in the person's endeavors or the history of the nation. For purposes of this paragraphs, personal events such as birth, death, marriage, social interaction, and the like shall not be deemed to be momentous | <p style="text-align: center;"><i>No</i></p> <p>There is no information to indicate the property was owned or occupied by a "person of great importance."</p> | <p style="text-align: center;"><i>No</i></p> <p>The property was not owned or occupied by a person of "great local prominence."</p> |
| B.4 It is an exceptional property that was owned and occupied by a person of great local prominence | <p style="text-align: center;"><i>No</i></p> <p>The research information uncovered for this property during the assessment of its historical significance does not indicate that the property was owned and/or occupied by a "person of great local prominence."</p> | <p style="text-align: center;"><i>No</i></p> <p>The research information uncovered for this property during the assessment of its historical significance does not indicate the property was owned and occupied by a "person of great local prominence."</p> |

| Criterion | Salkin Apartment Building No. 2 | Tallman-Stern Residence |
|---|--|--|
| B.5 It is an iconic property | <i>No</i> Although the building is an interesting representative of a distinctive mid-century multi-family property type and maintains many of the original character-defining architectural features, it is not considered an iconic property. | <i>No</i> Although the property was designed by the Master Architect Gerard Colcord, the residence is not an iconic example of this architects' work and was not recognized as a superior example of the architect's work as represented in articles on the architectural design and/or photographic studies of the structure since its construction. |
| B.6 The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property. | <i>Yes</i> The landmark designation procedure has been expressly agreed to by the owner(s) of the property. | <i>Yes</i> The landmark designation procedure has been expressly agreed to by the owner(s) of the property. |
| All criteria in Section A met? | <i>Yes</i> | <i>Yes</i> |
| At least one criterion in Section B met? | <i>Yes</i> | <i>Yes</i> |
| Does the subject property satisfy all the requirements in Beverly Hills Municipal Code §10-3-3212 to be considered an eligible property for landmark nomination and designation? | YES | YES |

By satisfying all criteria in Section A and at least one criterion in Section B, the subject properties both meet the necessary requirements for local landmark designation. With City Council designation, the properties would be added to the Local Register of Historic Properties (in the order of their nomination by the CHC), listed as follows:

| Property Name | Proposed Local Landmark Designation |
|---------------------------------------|-------------------------------------|
| Salkin Apartment Building No. 2, 1956 | No. 33 |
| Tallman-Stern Residence, 1935 | No. 34 |

Future Regulation and the Secretary of the Interior’s (SOI) Standards

Given the ongoing need of property owners to adapt to changing tenant and market needs, it is important to consider the impact of any historic registry listings on the functional activities of properties. The effect of listing onto the City’s Historic Register of Historic Properties is not intended to freeze a property in time without any opportunity for future adaptations, but rather to provide reasonable guidelines to inform any future alterations, additions and/or adaptations in a way that allows for change without destroying historic integrity.

In order to allow historic properties to be adapted to modern needs, the Secretary of the Interior’s (SOI) Standards for Rehabilitation are used as criteria to review changes to historic properties. The SOI Standards have purposefully been crafted to allow flexibility for historic buildings to be adapted over time to meet changing needs in a way that allows ongoing functionality of historic buildings without unnecessarily destroying historic fabric. There are ten guiding Standards to be applied in the rehabilitation of historic properties. The SOI Standards for Rehabilitation assume that at least some repair or alteration of a historic building will be needed over time in order to provide for efficient contemporary use; however, these repairs and alterations must not damage or destroy original materials, features or finishes that are important in defining the historic character of the resource. The Standards allow for modernization to landmarks and are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

As local historic landmarks, any future work proposed exterior work on the property would be subject to additional historic review and would be subject to approval and issuance of a Certificate of Appropriateness¹ (pursuant to BHMC §10-3-3219) to ensure that the Secretary of the Interior’s Standards are followed and to ensure that future alterations are appropriate for the historic properties.

GENERAL PLAN CONSISTENCY

Designation of the properties as local historic landmarks is consistent with the objectives, principles, and standards of the General Plan, including General Plan Policy “HP 1.3 – Promote National, State, and Local Designation of Historic Resources,” which encourages designation of local landmarks.

ENVIRONMENTAL DETERMINATION

¹ A Certificate of Appropriateness is a certificate issued to approve alteration, restoration, construction, removal, relocation in whole or in part, or demolition of a designated landmark or property within a historic district (BHMC §10-3-3202).

Designations of the properties as local historic landmarks were assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that the landmark designations would not have a significant environmental impact and are exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designations will have a significant effect on the environment, as no specific development is authorized by the resolutions, and any future development would require separate environmental analysis when the details of such proposals are known. Further, the landmark designations of the properties are an action of the City to protect and preserve historic resources.

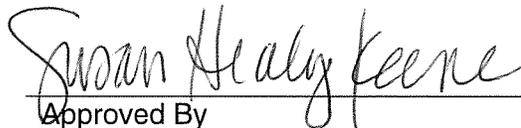
PUBLIC COMMENT

Both property owners indicated their support of the landmark designations during the Cultural Heritage Commission application and review process. As required by the City's Historic Preservation Ordinance, notice of the public hearing for consideration of landmark designation by City Council was provided to the property owner ten (10) days in advance. As of the writing of this agenda report, no public comments have been received regarding the Council agenda item.

FISCAL IMPACT

Designating a property as a Local Landmark deems it eligible for historic preservation incentives at the local level. This includes general eligibility to apply for a Mills Act contract², which may result in a fiscal impact by way of reduced property tax revenue to the City and the Beverly Hills Unified School District. The cumulative fiscal impact of the Mills Act program was considered by the City Council when it reviewed and approved a three-year extension of the Pilot Mills Act Program through the end of 2016. The established annual cap on lost property tax to the City is not to exceed \$100,000.00 in a single year, and not to exceed \$1,000,000.00 projected over the ten year term for Mills Act contracts with the City. The corresponding impact on Beverly Hills Unified School District (BHUSD) funding through lost property tax revenue is set at \$80,000.00 per annum and not to exceed \$800,000 when projected over ten years. Any awarding of contracts to the subject properties would need to fall within the approved limits of the current Mills Act program, and would be subject to review and approval by the City Council. No further fiscal impact is anticipated to result from the landmark designation of the properties.

Susan Healy Keene, AICP
Director of Community Development


Approved By

² Subject to minimum program requirements, such as a \$7.5 M cap on the tax assessed value of participating properties (with a possible exemption for exceptional significance).



City Council Agenda Report

November 15, 2016
Landmark Designations

Attachment 1

Resolution Designating the "Salkin Apartment Building No. 2"
at 328 South Rexford Drive as a Local Landmark

RESOLUTION NO. 16-R-

A RESOLUTION OF THE COUNCIL OF THE CITY OF BEVERLY HILLS DESIGNATING THE "SALKIN APARTMENT BUILDING NO. 2" AT 328 SOUTH REXFORD DRIVE, BEVERLY HILLS, AS A LOCAL LANDMARK AND PLACING THE PROPERTY ON THE CITY OF BEVERLY HILLS REGISTER OF HISTORIC PROPERTIES

Section 1. Article 32 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code authorizes the City Council to designate local landmarks and historic districts and to place those properties and geographical areas on the City of Beverly Hills Register of Historic Properties.

Section 2. On July 13, 2016, the Cultural Heritage Commission conducted a preliminary consideration regarding the apartment building located on the property at 328 South Rexford Dr. in Beverly Hills, pursuant to Section 10-3-3215A (Landmark or Historic District Designation Proceedings; Preliminary Hearing) of the Beverly Hills Municipal Code, and concluded that the "Salkin Apartment Building No. 2" warranted formal consideration by the Commission for inclusion on the City of Beverly Hills Register of Historic Properties. Thereafter, the Director of Community Development issued a Preliminary Evaluation pursuant to Section 10-3-3215A.3 (Preliminary Evaluation) of the Beverly Hills Municipal Code, finding that the property appeared to be an eligible property based on available evidence at the time.

Section 3. On July 13, 2016, the Cultural Heritage Commission found that based on the Preliminary Evaluation issued by the Director and other evidence, that sufficient evidence existed to conclude that the subject property merits formal consideration of landmark designation, and

therefore, concurrently considered whether to nominate the subject property for local landmark designation.

Section 4. On July 13, 2016, the Cultural Heritage Commission considered a *City Landmark Assessment and Evaluation Report* for the “Salkin Apartment Building No. 2” prepared by Jan Ostashay of Ostashay & Associates Consulting, which is attached hereto as Exhibit A and incorporated herein by reference, and other evidence provided during the proceedings and adopted Resolution No. CHC 55 recommending that the City Council designate the “Salkin Apartment Building No. 2” as a Local Landmark to be included on the Beverly Hills Register of Historic Properties. The list of recommended character-defining features to be preserved is itemized in Section 9 of CHC Resolution No. 55 and included in Section 8 of this resolution.

Section 5. On November 15, 2016, the City Council considered the property for landmark designation along with the recommendation of the Cultural Heritage Commission and adopted this resolution. The Council based its action on the findings of fact and reasons listed in the *City Landmark Assessment and Evaluation Report* by Jan Ostashay of Ostashay & Associates Consulting, and other evidence.

Section 6. BACKGROUND. The two-story, multi-family apartment building at 328 South Rexford Drive is reflective of the vernacular Mid-century Modern style, an architectural style with tenets derived from the International Style. The dwelling is capped by a flat roof and is sheathed in cement plaster. The building has a monumental façade (west elevation) with unit entrances recessed along the first and second stories of the north elevation and large covered balconies along the first and second floors of the south elevation. A paved

driveway and below-grade carport are accessible from both the street and rear alley along the eastern side of the parcel boundary.

Distinguishing features of the façade include wide stucco covered decorative horizontal panels that are separated by banks of short vertical wood strips recessed within the panels; six stucco covered vertical panels each defined by metal lined recesses; aluminum framed tripartite window units with fixed central frame, flanking jalousies, and metal sill, as remaining in the original design configuration; large elongated metal address numbers rendered in a period-appropriate typeface; and an aluminum brushed canned bullet lamp attached to the lower horizontal panel at the north end. Concrete steps and non-original ramp with railing situated on the parcel's northwest corner lead to the first floor unit entrances and an exterior staircase that leads to a second story walkway and additional apartment units.

The north (entry unit side) elevation is defined by a series of solids to voids along the first and second floors. Fenestration on both levels consists primarily of large metal framed tripartite windows and sills with central fix frames and flanking jalousies or paired rectangular shape metal framed jalousie windows with metal sills. Entry access into each of the units (four on each floor) is recessed within the exterior wall plane of the north elevation. Some of the doors still retain their original hand cranked doorbells centered on the door. Lighting to the walkways along both floors is provided by original aluminum canned ceiling fixtures. Rectangular stucco panels, similar in design to those facing the street on the facade, are separated by stylized iron railings to enclose the upstairs walkway. A second staircase at the rear of the upper walkway provides an additional means of egress that leads to the alley. A deep flat extension of the main roof (originally covered with rock) shelters the upstairs walkway.

The south (side) elevation contains six semi-enclosed balconies that extend out over the below grade driveway and carport area. There are three large balconies on each separated by

fenestration. The balconies are semi-enclosed by vertical wood panel wall railings set within stuccoed mid-height side walls. The upper story balconies are covered by cantilever extensions of the main flat roof while the lower level balconies are sheltered by the extended balconies above. Each balcony is accessed via large sliding doors (some have been replaced; originals are aluminum metal framed) set within the exterior wall plane of each unit.

The rear (east) elevation is more utilitarian in design and includes original metal framed tripartite windows of varying sizes on both floor levels, a stuccoed back wall, and the enclosed utility service panels.

Landscape features of the property include a raised planter bed enclosed by decorative (perforated) concrete block masonry units set upon a low concrete wall; offset concrete steps that lead to the units along the north elevation; and a solid textured concrete block wall along the eastern property line adjacent to the driveway and carport. Within the raised planter bed are some period-appropriate landscape features.

Section 7. FINDINGS AND DESCRIPTION OF PARTICULAR ATTRIBUTES JUSTIFYING LANDMARK DESIGNATION. The Cultural Heritage Commission finds, pursuant to the City of Beverly Hills Historic Preservation Ordinance, that the apartment building satisfies the necessary requirements for designation as a local landmark based on the following:

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.1. *It is at least forty-five (45) years of age, or is a property of extraordinary significance.* The subject property was built in 1956, thus in 2016 it is 60 years old. Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under “significance” criterion A.2. *It*

possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural type or architectural type, or architectural period. The “Salkin Apartment Building No. 2” is a good, but partially altered example of Vernacular Modern architecture as incorporated into post-World War II multi-family residential design within the City of Beverly Hills. Its original design intent, as planned by architect Jules G. Salkin, embodied distinctive stylistic elements, materials, and workmanship that helped to visually and physically convey and define its modernistic tendencies. Though currently modified the essential form, massing, scale, and general design concepts remain evident. Those key features that are currently missing or have been altered, such as window frames, steps/stairs and railings, balconies, doors, and landscaping, if restored or rehabilitated in an approved work plan and in compliance with the Secretary of the Interiors Standards, would help to further convey the property’s distinctive Vernacular Modern character from its period of significance (1956). Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.3. *It retains substantial integrity from its period of significance.* The period of significance for the subject property is 1956, which is when the apartment building was constructed. The property possesses sufficient historical integrity to convey its original design intent, distinctive Vernacular Modern style, and overall historic character associated with the idiom with the character defining features as described in Section 7 below. Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.* The property will serve as a valued mid-century modern multi-family landmark within the city. Its preservation

and rehabilitation will help to further the goals and objectives of historic preservation within the local community. Therefore, the property appears to satisfy this criterion.

The “Salkin Apartment Building No. 2” is eligible under “significance” criterion B.6. *The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.* The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Section 8. CHARACTER DEFINING FEATURES THAT SHOULD BE PRESERVED. Use and development of the “Salkin Apartment Building No. 2” shall be governed by the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards). These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The key features that should be preserved are as follows.

The character-defining features associated with the “Salkin Apartment Building No. 2” are those exterior features on the property that reflect and define its Mid-Century Modern architectural style and property type as a multi-family dwelling. Such features include, but are not limited to the following:

- Two-story height with horizontal massing and simple geometric forms;
- Rectangular shape building footprint with landscaped set back;
- Asymmetrical, monumental façade (west elevation) with wide stucco covered decorative horizontal panels separated by banks of short vertical wood strips recessed

within the panels and six stucco covered vertical panels each demarcated by metal lined recesses;

- Symmetrical side (north/south) elevations of first and second stories;
- Stucco exterior siding material with small aggregate (texture, finish, overall appearance);
- Flat roof with wide overhanging extensions, eaves, and cantilevers (including materials);
- Exterior metal canned light fixtures at north elevation walkways, plus bullet lamps;
- Extended stucco and wood balconies along south elevation (size, shape, materials, location) with flush-mounted metal sliding glass doors;
- Exterior walkways along north elevation that includes decorative metal railings and stucco panel walls;
- Front yard landscape area, including planter wall of decorative (perforated) concrete block masonry units set upon a low concrete wall, tree ferns (*Dicksonia antarctica*), and lava rocks;
- Monumental front concrete steps, exterior open staircases, and associated decorative metal railing system (including materials, style, size/shape, location, configuration, and overall appearance);
- Large elongated metal address numbers rendered in a period-appropriate typeface attached onto the façade of the building (type, material, style, location, attachment method, general appearance);
- Paved driveway and below-grade carport area accessed from street and alley along southern property boundary.

Section 9. GENERAL GUIDELINES AND STANDARDS FOR FUTURE PROPOSED CHANGES PURSUANT TO THE HISTORIC PRESERVATION ORDINANCE.

The Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995) by Weeks and Grimmer (herein referred to as the SOI Standards and Guidelines) are incorporated as

reference. These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The guidelines and standards are an aid to public and private property owners, and others, formulating plans for new plantings, constructions, for rehabilitation or alteration of existing landscapes, associated structures, and for site development. The SOI Standards and Guidelines are also designed to be standards which City Staff and the Cultural Heritage Commission shall apply when making decisions about Certificates of Appropriateness as required by the City of Beverly Hills Historic Preservation Ordinance. The location and boundaries of the delineated resource are the property boundaries.

Section 10. ENVIRONMENTAL ANALYSIS. Designation of the “Salkin Apartment Building No. 2” as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the “Salkin Apartment Building No. 2” would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designation of the “Salkin Apartment Building No. 2” may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the “Salkin Apartment Building No. 2” is an action of the City to protect and preserve an historic resource.

Section 11. GENERAL PLAN CONSISTENCY. Designation of the “Salkin Apartment Building No. 2” as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 - Promote National, State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

Section 12. The City Council hereby designates the “Salkin Apartment Building No. 2” as a local landmark included on the City of Beverly Hills Register of Historic Properties as Landmark No. 33, for the reasons set forth in this resolution.

Section 13. The record of proceedings for designation of the “Salkin Apartment Building No. 2” as a local landmark included on the City's Register of Historic Properties is maintained by the City as part of the official records of the Community Development Department at 455 North Rexford Drive, Beverly Hills, California, 90210.

maintained by the City as part of the official records of the Community Development Department at 455 North Rexford Drive, Beverly Hills, California, 90210.

Section 14. The City Clerk shall certify to the adoption of the Resolution and shall cause the Resolution and his certification to be entered in the Book of Resolutions of the Council of the City of Beverly Hills. The City Clerk shall also cause the Resolution to be recorded in the office of the county recorder of the county of Los Angeles as authorized by Section 3215 I of Chapter 3 of Title 10 of the City of Beverly Hills Municipal Code.

Adopted:

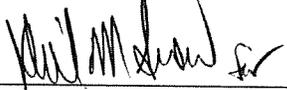
JOHN A. MIRISCH
Mayor of the City of Beverly Hills,
California

ATTEST:

_____ (SEAL)

BYRON POPE
City Clerk

APPROVED AS TO FORM



LAURENCE S. WIENER
City Attorney

APPROVED AS TO CONTENT

MAHDI ALUZRI
City Manager



SUSAN HEALY KEENE
Director of Community Development

Exhibit A – Landmark Assessment and Evaluation Report and Attachments by Ostashay & Associates Consulting, dated July 2016.

EXHIBIT A

CITY LANDMARK ASSESSMENT & EVALUATION REPORT



JULY 2016

APARTMENT BUILDING

328 South Rexford Drive, City of Beverly Hills, CA

Prepared for:
City of Beverly Hills
Community Development Department
Planning Division
455 Rexford Drive, Beverly Hills, CA 90210

Prepared by:
Jan Ostashay, Principal
Ostashay & Associates Consulting
PO BOX 542, Long Beach, CA 90801

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CITY LANDMARK ASSESSMENT AND EVALUATION REPORT

Apartment Building

328 South Rexford Drive
Beverly Hills, CA 90211

APN: 4331-015-026

INTRODUCTION

This landmark assessment and evaluation report, completed by Ostashay & Associates Consulting for the City of Beverly Hills, documents and evaluates the local significance and landmark eligibility of the 8 unit apartment building located at 328 South Rexford Drive, in the City of Beverly Hills.

Included in the report is a discussion of the survey methodology used, a summarized description of the subject property and its historical integrity, a brief contextual history of the property, a review of the local landmark criteria considered in the evaluation process, a formal evaluation of the property for local significance, photographs, and applicable supporting materials.

METHODOLOGY

The landmark assessment was conducted by Jan Ostashay, Principal, of Ostashay & Associates Consulting. In order to identify and evaluate the subject property as a potential local landmark, an intensive-level survey was conducted. The assessment included a review of the National Register of Historic Places (National Register) and its annual updates, the California Register of Historical Resources (California Register), and the California Historic Resources Inventory (HRI) list maintained by the State Office of Historic Preservation (OHP) in order to determine if any evaluations or survey assessments of the property had been previous performed.

For this current landmark assessment a site inspection was conducted and a review of building permits, tax assessor records, and historic aerial photographs was performed to document the property's existing condition and assist in evaluating the property for historical significance. The City of Beverly Hills landmark criteria were employed to evaluate the local significance of the structure and its eligibility for individual designation as a City of Beverly Hills Landmark. In addition, the following tasks were performed for the study:

- Searched records of the National Register, California Register, and OHP Historic Resources Inventory.
- Conducted a field inspection and photographed the subject property.
- Conducted site-specific research on the subject property utilizing Sanborn Fire Insurance Maps, city directories, newspaper articles, historical photographs, aerial photographs, and building permits.

- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment procedures, and related programs.
- Evaluated the potential historic resource based upon criteria established by the City of Beverly Hills and utilized the OHP survey methodology for conducting survey assessments.

FINDINGS

The apartment building located at 328 South Rexford Drive appears to satisfy the City's criteria for individual designation as a local Landmark as required in Section 10-3-3212 of the Historic Preservation Ordinance (Beverly Hills Municipal Code Title 10 Chapter 3 Article 32). As conditioned, this property appears to satisfy all of the mandates of subsection A. and one of the mandates under subsection B. of the City's Historic Preservation Ordinance.

PROPERTY DESCRIPTION AND CONSTRUCTION HISTORY

Description. The 328 South Rexford Drive property is sited on a rectangular shape parcel along the east side of the street between Gregory Way and West Olympic Boulevard. According to the Los Angeles County Assessor's records the subject property occupies lot 1377 of Tract #6380. The parcel measures roughly 50 feet wide and approximately 121 feet long (length). The building has a 15 foot set back from the street to provide for a small landscaped front area, approach steps and access to the front doors of the rental units (they front north), and a paved driveway that leads to the below grade carport area. There is also access to the apartment and carport from the rear off an alley to the east. The improvement is situated south of Wilshire Boulevard at the southern end of Beverly Hills in an area that contains multi-family buildings dating from as early as 1936 up through 2016 (specifically the area along South Rexford and South Elm drives between West Olympic and Gregory Way). The majority of the improvements in this area; however, date from the mid-1950s.

The two-story, multi-family apartment building at 328 South Rexford Drive is reflective of the Vernacular Mid-century Modern style, an architectural style with tenets derived from the International Style. The dwelling is capped by a flat roof and is sheathed with aggregate stucco. The building has a monumental façade (west elevation) with unit entrances recessed along the first and second stories of the north elevation and large covered balconies along the first and second floors of the south elevation. A paved driveway and below grade carport are accessible from both the street and rear alley along the southern side of the parcel boundary.

Distinguishing features of the façade include wide stucco covered decorative horizontal panels that are separated by banks of short vertical wood strips recessed within the panels; six stucco covered vertical panels each defined by metal lined recesses; a long horizontal oriented vinyl tripartite window (non-original frame, original was an aluminum framed tripartite with fixed central frame, flanking jalousies, and metal sill); large elongated metal address numbers rendered in a period-appropriate typeface; and an aluminum brushed canned bullet lamp attached to the lower horizontal panel at the north end. Concrete steps and non-original ramp

with railing situated on the parcel's northwest corner lead to the first floor unit entrances and an exterior staircase that leads to a second story walkway and additional apartment units.

The north (entry unit side) elevation is defined by a series of solids to voids along the first and second floors. Fenestration on both levels consists primarily of large metal framed tripartite windows and sills with central fix frames and flanking jalousies or paired rectangular shape metal framed jalousie windows with metal sills. Some windows have boxed window air conditioner units installed within them (non-original). Entry access into each of the units (four on each floor) is recessed within the exterior wall plane of the north elevation. Entry doors are solid core that have new inappropriate door hardware and screen doors. Some of the doors still have their original hand cranked doorbells centered on the door. Lighting to the walkways along both floors is provided by original aluminum canned ceiling fixtures. Rectangular stucco panels, similar in design to those facing the street on the facade, are separated by stylized iron railings to enclose the upstairs walkway. A second staircase at the rear of the upper walkway provides an additional means of egress that leads to the alley. A deep flat extension of the main roof (originally covered with rock) shelters the upstairs walkway.

The south (side) elevation contains six semi-enclosed balconies that extend out over the below grade driveway and carport area. There are three large balconies on each separated by fenestration. The balconies are semi-enclosed by vertical wood panel wall railings set within stuccoed mid-height side walls. The upper story balconies are covered by cantilever extensions of the main flat roof while the lower level balconies are sheltered by the extended balconies above. Each balcony is accessed via large sliding doors (some have been replaced; originals are aluminum metal framed) set within the exterior wall plane of each unit. Fenestration along this elevation consists of original metal framed jalousie windows (paired or single) and non-original replacement vinyl frames.

The rear (east) elevation is more utilitarian in design and includes original metal framed tripartite windows (central fix with flanking jalousies) of varying sizes on both floor levels, a stuccoed back wall, and the utility service panels tucked within a wood doghouse.

Landscape features of the property include a raised planter bed enclosed by decorative (perforated) concrete block masonry units set upon a low concrete wall; offset concrete steps that lead to the units along the north elevation; a non-original wheelchair ramp and modified railings at the northwest corner of the site; and a solid textured concrete block wall along the southern property line adjacent to the driveway and carport. Within the raised planter bed are some period-appropriate though neglected landscape features such as large lava rocks (original to the design), bird of paradise plants, and what appears to be tree ferns (*Dicksonia antarctica*), among other plantings.

Relevant permits on file with the City of Beverly Hills include the following:

| YEAR | DESCRIPTION OF WORK |
|------|--|
| 1956 | Demo existing single-family residence |
| 1956 | Construct 8 unit apartment with carport |
| 1956 | Revised structural work: add to new beam to strengthen existing, remove two posts |
| 1957 | Final inspection, certificate of occupancy (01-09-1957) |
| 1989 | Install electrical to cable television outlet |
| 1998 | Remove rock roofs to deck, reroof with felt and comp roofing |
| 2005 | Remove existing asphalt paved driveway, repave with concrete at driveway and carport |
| 2008 | Interior: remodel bathroom, unit 6 |
| 2016 | Interior: remodel bathrooms and kitchens, all units |

Some changes to the building (with or without permits) may have implications associated with historical integrity or lack thereof of the property. Such modifications made to the building include the alteration of the original front concrete steps and decorative metal railing system, installation of the ramp and railing at northwest corner of parcel, inappropriate replacement of original window frames, replacement of original sliding glass doors/frames at some balconies, and the change out of original door hardware on the entry doors of the units. Other more minor modifications have also occurred to the building since it was constructed 60 years ago. These changes have impacted the property's original architectural design, historical integrity, and notable character-defining features.

HISTORICAL CONTEXT

Beverly Hills. The early settlement and development of Beverly Hills began on what was called Rancho Rodeo de las Aguas. This land was originally claimed by Mexican settlers Maria Rita Valdez and her husband Vicente Valdez around 1822. Aptly named The Ranch of the Gathering of the Waters, the swamps or "ciénegas" that characterize the natural landscape were created by rain run off flowing out of Coldwater and Benedict Canyons. Vegetable farming, sheep herding, bee keeping and the raising of walnut trees were the primary agricultural activities within the rancho lands during the latter half of the nineteenth century. Several attempts at subdividing and establishing communities on the ranch lands were attempted during the 1860s and 1880s, but ended in failure.¹

In 1906, the Amalgamated Oil Company reorganized as the Rodeo Land and Water Company. Burton Green played a leading role in formulating the plans for a garden city, located between Whittier Drive on the west, Doheny Drive on the east, Wilshire Boulevard on the south, and the foothills above Sunset Boulevard to the north.² The syndicate hired notable California park planner, Wilbur F. Cook, Jr., to plan the new community. Cook had worked with landscape

¹ *Beverly Hills Historic Resources Survey 1985-1986*, pg. 5.

² *Ibid*, pp. 8-9.

architect Frederick Law Olmsted prior to moving to Oakland in 1905 to establish his own firm. Comprised of “Beverly” in the commercial triangle between Santa Monica and Wilshire boulevards and “Beverly Hills” north of Santa Monica Boulevard, the new community was one of the earliest planned communities in southern California.

Prompted largely by concern over the water and school systems, residents voted to incorporate in 1914 and created the new City of Beverly Hills. The original boundaries of the City were much the same as they are today, except for the area south of Wilshire Boulevard, annexed in 1915, and Trousdale Estates, annexed in 1955. Most of the City was open land at the time of incorporation with development scattered around Canon Drive, Beverly Drive, Crescent Drive, and the downtown triangle.³

The architecture of Beverly Hills in the years following the City’s founding was dominated by the Craftsman, Mission Revival, and Period Revival styles like Tudor Revival, Georgian, and Beaux-Arts Classicism. With Beverly Hills establishing itself as a haven for movie stars in the 1920s, the architectural character of the city began to realize a varying degree of extravagance in the design of its housing stock. Throughout the late 1920s and 1930s sophisticated period revival styles dominated the domestic architecture of the City, including Colonial Revival, Spanish Colonial Revival, French Normandy, Tudor Revival, and the like. By the mid to late 1930s Beverly Hills became one of the areas in southern California most closely connected with the development of the Hollywood Regency style. Born of the meeting of Moderne sleekness with the elegance of early nineteenth century architectural forms, it used simple, primary forms and blank wall surfaces to project exclusivity and sophistication.⁴

Architects like Robert D. Farquhar, Gordon Kaufmann, Wallace Neff, Ralph C. Flewelling, Paul R. Williams, Gerard R. Colcord, Roy Sheldon Price, and Elmer Grey among others left their mark on Beverly Hills’ residential, commercial, and institutional built environment and their single-family residential designs embodied the styles most closely associated with Beverly Hills as a place of luxury and sophistication. The personal residences of real estate magnates, oilmen, and Hollywood producers mingled with those of movie, radio, and television stars drawing tourists as well as would-be residents to the rapidly growing, largely affluent community of Beverly Hills.

By the end of World War II, Beverly Hills was fully developed but was still growing in density, resulting in the subdivision of some large estates and the demolition of older building stock for new multi-family housing and commercial development. The city’s commercial district gained a number of professional occupants and Beverly Hills became less of a bedroom community to Los Angeles and more of a destination in and of itself.

Single-family residential development continued to feature Period Revival styles, although the 1950s saw the beginning of the Modern movement in the city. In 1955, the Trousdale Estates neighborhood was created from the subdivision of the former Doheny family ranch land. The most common styles of architecture associated with Trousdale homes included Mid-century Modern, Contemporary Ranch, and Hollywood Regency. Many of the homes in this area were

³ *Ibid*, pg. 11.

⁴ *Ibid*. pg. 17.

designed by notable master architects such as Cliff May; Buff, Straub and Hensman; Lundberg, Armet & Davis; Welton Beckett; Paul Laszlo; James Dolena; Paul R. Williams; and Harold Levitt.

Modernism was also the prevailing style of multi-family residential properties as well as commercial office buildings. The stucco box apartment house vernacular of the 1950s and 1960s, characterized by its flat surfaces, aluminum framed windows, flat stone covered roofs, integrated parking, and decorated by abstract trim, was as prominent in new construction in Beverly Hills as it was elsewhere in Southern California. By the 1960s, apartment buildings had grown larger, occupying parcels assembled from several lots and constructed over underground parking. Notable multi-family and commercial examples of Mid-century Modernism began to dot the areas south of Santa Monica Boulevard, along Wilshire Boulevard, and in the vicinity of Olympic Boulevard and neighboring streets.

By the 1980s, new construction in Beverly Hills was scattered throughout the city on undeveloped properties in the hills and on redeveloped parcels in the residential and commercial sections of the “flats.” Beverly Hills’ pattern of increasingly dense urbanization has continued into the present though its long lineage of quality residential and commercial architecture serves as a physical manifestation of the City’s architectural heritage.

Apartment Building, 328 S. Rexford Drive. The 300 blocks of South Rexford and South Elm drives between West Olympic Boulevard to the south and Gregory Way to the north where the subject property is located was initially developed with single-family homes built in the 1920s and 1930s. Small-scale Period Revival style apartments were also interspersed within the neighborhood.

In the 1950s, there was initiative to redevelop the two blocks with multi-family apartments. Many of the single-family houses along the 300 blocks of South Rexford and South Elm drives were either relocated outside of the city boundary (some as far as to San Bernardino) or demolished to make room for modern, efficient small-scale “contemporary” apartment buildings. Financing for the development and construction of post-war suburban multi-family rental property was greatly expanded at this time with the assistance of various federal financing programs and incentives available to small investment companies. Such development exploded in the 1950s and early 1960s throughout the southland, including Beverly Hills. As an example, the Morning-Sun Investment Company of Beverly Hills owned and operated by architect-builder Jules G. Salkin took full advantage of these financing programs to build the subject property at 328 South Rexford Drive.

Many of the new apartment buildings being erected at the time embraced Modernism and were equipped with improved mechanical systems, up-to-date appliances, central air conditioning, outdoor balconies, and newly available prefabricated components such as steel-frame windows and sliding glass doors. Landscaping was often integrated into the site as was parking. Most of the apartments built along the two blocks discussed were erected between 1953 and 1957 as two-story structures.

The subject property was constructed in the summer and fall of 1956. The original single-family house that occupied the site (built in 1926) was relocated to Gardena in May of 1956. The new two-story apartment at 328 South Rexford Drive was the second Mid-century Modern style

apartment structure designed by Jules G. Salkin. His first apartment endeavor was just around the corner at 360 South Elm Drive in 1955.

Designed as a Vernacular Modern style multi-family structure the Rexford property was configured with eight one-bedroom, one bath units and a below grade carport area under the living quarters above. The original permit lists a construction cost of \$60,000, while a *Los Angeles Times* article dated June 24, 1956 shows a rendering of the improvement and notes the value as roughly \$110,000. The building was certified for occupancy by the City on January 9, 1957.

In the following months upon completion the apartment units were rented and ultimately the complex was full of tenants. Over the years occupants included retirees, widows, and white collar and professional workers. Currently, the building is vacant and not occupied with lodgers.

The property has been previously identified and recorded under the City's on-going historic resources survey efforts. It was assessed as part of the 2004 historic resources survey update of residential properties in the community. At that time it was identified as a good representative example of the Vernacular Modern style and was assigned a California Historical Resource Status Code of 5S3 (eligible for local landmark designation).⁵

Jules G. Salkin, AIA. The initial owner of the subject property (and also the developer and designer) was Jules G. Salkin, an architect with an office along Robertson Boulevard in Beverly Hills. Born in 1916, in Philadelphia, Pennsylvania to Russian immigrant parents, Julian Geoffrey Salkin grew up to have a varied career on both the east and west coasts. During the 1930s, he was an accomplished musician playing the violin and viola and also had his own small orchestra. In the summer of 1938, he was invited to play as part of the Taliesin Quartet, a quartet of string players that Frank Lloyd Wright commissioned to play at Taliesin in Wisconsin. Acclaimed as a brilliant violist, Salkin was first chair of the Indianapolis Symphony who was hand-picked by iconic conductor Leopold Stokowski to be the first violist for the All-American Youth Orchestra. Salkin played at Taliesin again in the summer of 1939; at the time Wright was developing the Usonian house and furthering ideas for affordable, cooperative housing developments. While at Taliesin, Salkin asked Wright if he could study architecture under his tutelage. Salkin was intrigued by Wright's sage theories and philosophies of design. Salkin later travelled to France, England, Ireland, and Buenos Aires to perform concerts with his musical ensemble in the late 1930s and early 1940s.

As World War II erupted, he enlisted in the Army as a private, became a paratrooper, and separated from military duty as a captain in July 1945. Salkin then moved to Los Angeles to further his musical career as a Hollywood contract studio musician at Paramount Studios. However, following his interest in architecture he became a general contractor and supplemented his thorough but informal training under Wright with formal studies on architecture and building. He obtained his architect's license in October 1954 and joined the Southern California Chapter of the American Institute of Architects in 1955. Some of his first design work was in collaboration with architect Daniel L. Dworsky in 1952, where Salkin worked

⁵ *OHP California Historical Resource Status Code 5S3: Appears to be eligible for local listing or designation through survey elevation.*

initially as an associate (Dworsky had just opened his own practice). The noted magazine *Arts & Architecture* from 1952 included an article on a project by the two designers entitled "Income Units by Dan Dworsky, architect, and Jules Salkin, associate."

Jules Salkin's early small-scale, multi-family apartment building work includes the six-unit Modern style apartment at 360 South Elm in 1955 in Beverly Hills; the subject property located at 328 South Rexford Drive in 1956; another apartment building at 1746 North Gramercy Place in Los Angeles also in 1956; and yet another multi-family building at 705 South Barrington Avenue in west Los Angeles in 1957. Most of his earlier projects were designed in the Mid-century Modern style with projections of Wright's philosophies incorporated. His early work seems to be identifiable by the incorporation of the large elongated metal address numbers rendered in a period-appropriate typeface that he attached onto the facades of his buildings.

Salkin later moved into more profitable ventures that included the development of large apartment buildings and condominium complexes in West Covina, Glendale, and Van Nuys, among other areas in the southland. He had various companies operating depending on the project type, scale, and cost, and objective. Morning-Sun Investment Company located at Salkin's office on Robertson Boulevard in Beverly Hills was one of his first real estate development businesses. He later had firms throughout the real estate spectrum, including a real estate construction company, which built tract houses; a development company, which built apartment houses; a company that develops, builds, and sells condominiums; and a development and management company that manages and operates real estate. Small investment companies such as Dynatech Capital Corporation, Beverly Hills Capital Corporation, Capital for Progress Fund, Inc., and Capital Dynamics were all under his control.

By the early 1960s, he was regarded as a pioneer in condominium development, law, and real estate financing using loans from the U.S. Small Business Administration (SBA) and was a regular guest speaker at various construction industry sponsored events. His professional notoriety was; however, tainted by scandal. In the summer of 1968, he was indicted for defrauding the SBA of \$445,000 and later for tax evasion. He fled to Europe and lived in London, England for the next twelve years working construction and playing the viola with touring orchestras. Upon return to the United States using an Israeli passport in the name of Zalkin, Salkin was arrested by FBI agents in Los Angeles and served eighteen months in prison.

Personally, Jules Salkin was married twice. In June 1958, he married actress Jacqueline 'Lyn' Rose Thomas in Las Vegas. They were married approximately six months before she sought formal separation from Salkin. In the divorce the judge awarded her Salkin's gray Cadillac and \$200 monthly alimony. He remarried in November 1961 to Anita Garret in Los Angeles. Jules Salkin passed away on April 15, 1998, not quite 82 years old.

Mid-century Modern Style. The Mid-century Modern as a stylistic designation came into usage in the late 20th century to describe the evolution of pre-World War II Modernism and the International Style into a more widespread and accessible application in post-war cities and suburbs. As practiced in Southern California, Mid-century Modernism took its cues from the region's first generation Modernist architects, such as Richard Neutra, Rudolph Schindler, Gregory Ain, and Harwell Hamilton Harris. In the postwar period second-generation practitioners including Raphael Soriano, Pierre Koenig, and A. Quincy Jones, among others

established Southern California as a center for innovative Modern design. John Entenza's Case Study House program, promoted by *Arts and Architecture* magazine from 1945 to the late 1960s, brought international recognition for the region's Mid-century Modernism.

Mid-century Modernism is characterized by an honest expression of structure and materials and the absence of historicist ornament and detailing. Aesthetic effect is achieved through the asymmetrical but rhythmic composition of modular post and beam construction. This post and beam construction, expressed in either wood or steel framing, allows for open floor plans and large expanses of glazing to heighten indoor-outdoor integration. In-fill panels of wood or glass are common with glazing often extending to the roofline or gable end in ribbons of clerestory lights. Additional indoor-outdoor integration is provided through the use of sliding glass doors, opening onto decks and landscaped gardens.

Buildings are usually only a few stories high with an emphasis on simple, geometric forms. Capped with flat or low-pitched gabled roofs, the residences generally display wide eaves and cantilevered canopies, supported on spider-leg or post supports. Sheathing materials vary with wood, stucco, brick and stone, or steel-framing and glass. Fenestration is generally flush mounted with metal frames.

A variant of the Mid-century Modern style is the Vernacular Modern, which is also based upon International Style tenets. This style of architecture is most commonly associated with the Stucco Box Apartment building form and other forms of multi-family apartment buildings of the Post World War II-era period. The design is generally less formal in its expression of Modernist values with results that vary widely in terms of materials, form, and spatial arrangements. Though typically built for affordability and efficiency some higher-end improvements were designed with aesthetic concerns considered.

Character-defining features of the Modernist style include, but are not limited to the following:

- Simple geometric forms, rectilinear building footprints;
- Flat or low-pitched roofs some with wide overhanging eaves and cantilevered canopies;
- Expressed post and beam construction, in wood, steel, textured concrete block units;
- Unadorned wall surfaces with little or no decorative details;
- Exterior panels of wood, stucco, brick, textured concrete block units, or stone;
- Flush-mounted metal window and door frames, full-height and clerestory windows (abundant glazing);
- Aluminum sliding or casement type window frames;
- Exterior decks, patios, balconies, cantilevered staircases and walkways, monument approach steps and landings;
- Decorative building signage, address lettering, and lighting;
- Setback from the street with integrated landscaping;
- Carport, integrated or detached.

HISTORIC SIGNIFICANCE CONSIDERATION FRAMEWORK

Evaluation Criteria. In analyzing the historical significance of the subject property, criteria for designation under the City's local landmark program was considered. Additionally, consideration of historical integrity and the State Office of Historic Preservation (OHP) survey methodology was used to survey and assess the relative significance of the property.

City of Beverly Hills Landmark Criteria. The City's Historic Preservation Ordinance (Municipal Code Title 10 Chapter 3 Article 32; BHMC 10-3-32) authorizes the Cultural Heritage Commission (CHC) to recommend the nomination of properties as local landmarks to the City Council. The Council may designate local landmarks and historic districts by the procedures outlined in the ordinance. The Preservation Ordinance also establishes criteria and the process for evaluating and designating properties as potential local landmarks.

An eligible property may be nominated and designated as a landmark if it satisfies the requirements set forth below:

- A. A landmark must satisfy all of the following requirements:
 1. It is at least 45 years (45) years of age, or is a property of extraordinary significance;
 2. It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural style or architectural type or architectural period;
 3. It retains substantial integrity from its period of significance; and
 4. It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.
- B. In addition to the requirements set forth in Paragraph A above, a landmark must satisfy at least one of the following requirements:
 1. It is listed on the National Register of Historic Places;
 2. It is an exceptional work by a master architect;
 3. It is an exceptional work that was owned and occupied by a person of great importance, and was directly connected to a momentous event in the person's endeavors or the history of the nation. For purposes of this paragraph, personal events such as birth, death, marriage, social interaction, and the like shall not be deemed to be momentous;
 4. It is an exceptional property that was owned and occupied by a person of great local prominence;
 5. It is an iconic property; or
 6. The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.

Historical Integrity. “Integrity is the ability of a property to convey its significance.” In addition to meeting the criteria of significance, a property must have integrity. Integrity is the authenticity of a property’s physical identity clearly indicated by the retention of characteristics that existed during the property’s period of significance. Properties eligible for local landmark designation must meet at least two of the local landmark designation criteria and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their historical significance.

Both the National Register of Historic Places and the California Register of Historical Resources recognize the seven aspects of qualities that, in various combinations, define integrity. To retain historic integrity a property should possess several, and usually most, of these seven aspects. Thus, the retention of the specific aspects of integrity is paramount for a property to convey its significance. The seven qualities that define integrity are location, design, setting, materials, workmanship, feeling and association. The seven qualities or aspects of historical integrity are defined as follows:

- Location is the place where the historic property was constructed or the place where the historic event occurred.
- Design is the combination of elements that create the form, plan, space, structure, and style of a property.
- Setting is the physical environment of a historic property.
- Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.
- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- Feeling is a property’s expression of the aesthetic or historic sense of a particular period of time.
- Association is the direct link between an important historic event or person and a historic property.

EVALUATION OF HISTORICAL SIGNIFICANCE

Consideration of City Landmark (Significance) Criteria. In summary, a finding of significance for the apartment building located at 328 South Rexford Drive can be made once important character-defining features are restored in-kind to the property. Those improvement prerequisites include the following:

1. Prior to any re-design efforts of the subject property a city-approved historic preservation consultant who meets the Secretary of the Interior’s Professional Qualification Standards (36 CFR 61) for architectural history and/or historic architecture shall be hired by the applicant through the City. This individual (or firm) should have prior experience in completing historic preservation projects that conform to the

Secretary of the Interior's Standards for Rehabilitation (SOI Standards). The preservation consultant shall assist the applicant in the preparation of a preservation plan that outlines the necessary work scopes to rehabilitate the exterior of the property to its period of significance (1956) character. The preservation consultant shall also review all associated project plans prior to formal plan check submittal to the City and provide written comments on the proposed work scopes that are related to historic preservation and the rehabilitation of the property to the applicant and city staff. Such review shall ensure design compatibility with the SOI Standards and the original design intent of the property and its associated architectural style/character-defining features. Re-design efforts made in consultation with the preservation consultant should also be reviewed by the City for acceptability prior to formal plan check review and implementation. In addition, any exterior work not requiring a permit shall also be reviewed by the historic preservation consultant and approved by the City prior to implementation.

2. The identified character-defining features on the exterior of the building will be substantially retained, rehabilitated, and restored according to the SOI Standards in order to ensure that all remaining, compromised, or lost historic fabric is appropriately treated and returned to its original (rehabilitated) appearance, wherever possible.
3. The overall historic character and architectural style of a property will be retained and preserved. The removal of distinctive material or alteration of features, spaces, and spatial relationships that characterize a property as historic will be avoided. Those character-defining features listed within this report shall be maintained (where extant), and repaired, and restored (where missing or modified) based on physical and documentary evidence.
4. If applicable, work for ADA compliance shall follow the State Historical Building Code (SHBC) and the recommendations specified in the SOI Standards. As applicable, the SHBC shall be utilized throughout the duration of the project.
5. All modifications made to the subject property will be undertaken in conformance with the SOI Standards. Any damage caused to the building's historic fabric during design and/or construction activities associated with the project will be reported to the City and repaired by the applicant immediately in a manner consistent with the SOI Standards.
6. Periodic on-site construction monitoring by City staff and/or the City's historic preservation consultant shall be required. The monitor shall perform periodic on-site construction monitoring in those areas where historic features are being repaired, restored, rehabilitated or recreated for the building. This monitoring effort shall ensure that all work is executed in a manner that conforms to the approved final design/construction plans and the SOI Standards. Progress reports on the monitoring efforts shall be provided to the Cultural Heritage Commission in written form or verbally for review and approval, as deemed appropriate by City staff.

7. The applicant shall submit to the City Urban Designer for review and approval a completed SOIS compliant preservation/rehabilitation plan for the exterior of the property prior to final landmark designation approval by the City Council. A resolution for formal landmark designation shall be prepared by City staff at the time of this action as part of the landmark process.

Application of City Landmark (Significance) Criteria. If the applicant undertakes the above prerequisites, the property would satisfy the applicable City of Beverly Hills Landmark criteria below:

A. A landmark must satisfy all of the following requirements (BHMC 10-3-3212(A)):

1. *It is at least 45 years (45) years of age, or is a property of extraordinary significance.*

The subject property was built in 1956, and is, at this time, 60 years old. Therefore, the property satisfies this criterion.

2. *It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural style or architectural type or architectural period.*

Within the city limits of Beverly Hills the apartment building is a good, but altered example of Vernacular Modern architecture as incorporated into post-World War II multi-family residential design. Its original design intent, as planned by architect Jules G. Salkin, embodied distinctive stylistic elements, materials, and workmanship that helped to visually and physically convey and define its modernistic tendencies. Though currently modified the essential form, massing, scale, and general design concepts are still evident. Those key features that are currently missing or have been altered, such as window frames, steps/stairs and railings, balconies, doors, and landscaping if restored or rehabilitated would help to further convey the property's distinctive Vernacular Modern character from its period of significance (1956). Therefore, as conditioned the property appears to satisfy this criterion.

3. *It retains substantial integrity from its period of significance.*

The period of significance for the subject property is 1956, which is when the apartment building was constructed. Assuming the property has been appropriately rehabilitated and with its important character-defining features restored and/or repaired in-kind the property would possess sufficient historical integrity to convey its original design intent, distinctive Vernacular Modern style, and overall historic character associated with the idiom. Therefore, as conditioned the property appears to satisfy this criterion.

4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.*

Despite the loss and alteration of some key features once rehabilitated the property will serve as a valued mid-century modern multi-family landmark within the city. Its preservation and rehabilitation will help to further the goals and objectives of historic preservation within the local community. Therefore, as conditioned the property appears to satisfy this criterion.

B. In addition to the requirements set forth in Paragraph A above, a landmark must satisfy at least one of the following requirements (BHMC 10-3-3212(B)):

1. *It is listed on the National Register of Historic Places.*

The subject property is not listed on the National Register of Historic Places. Therefore, the property does not satisfy this criterion.

2. *It is an exceptional work by a master architect.*

The 328 South Rexford Drive property was designed and built by Jules G. Salkin, an architect, builder, and investor. There is no information to indicate he should be considered a master architect at this time. In addition, Salkin is not included on the City's Master Architect List. Therefore, the property does not appear to satisfy this criterion.

3. *It is an exceptional work that was owned and occupied by a person of great importance, and was directly connected to a momentous event in the person's endeavors or the history of the nation. For purposes of this paragraph, personal events such as birth, death, marriage, social interaction, and the like shall not be deemed to be momentous.*

The archival research data reviewed on the property did not indicate that it was owned and occupied by a person of great importance. Therefore, the property does not satisfy this criterion.

4. *It is an exceptional property that was owned and occupied by a person of great local prominence.*

In reviewing archival research data on the history of the property there was no indication that it was owned and occupied by a person of great local prominence. Therefore, the property does not satisfy this criterion.

5. *It is an iconic property.*

There is no indication that the property should be considered iconic within the city. Therefore, the property does not satisfy this criterion.

6. *The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.*

The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Character-defining Features. Every historic property is unique, with its own identity and its own distinguishing character. A property's form and detailing are important in defining its visual historic character and significance. It is a property's tangible features or elements that embody its significance for association with specific historical events, important personages, or distinctive architecture and it is those tangible elements; therefore, that should be retained and preserved.

Character refers to all those visual aspects and physical features that comprise the appearance of every historic property. According to *National Park Service Brief 17, Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, character-defining features include the overall shape of a property (building, structure, etc.), its material, craftsmanship, decorative details, interior spaces and features (as applicable), as well as the various aspects of its site and immediate environment (form, configuration and orientation).

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* defines historic character by the form and detailing of materials, such as masonry, wood, stucco, plaster, terra cotta, metal, etc.; specific features, such as roofs, porches, windows and window elements, moldings, staircases, chimneys, driveways, garages, landscape and hardscape elements, etc.; as well as spatial relationships between buildings, structures, and features; room configurations; and archaic structural and mechanical systems. Identifying those features or elements that give a historic property visual character and which should be taken into account and preserved to the maximum extent possible is important in order for the property to maintain its historical significance.

The character-defining features associated with the 328 South Rexford Drive apartment building are those exterior features on the property that reflect and define its Mid-Century Modern architectural style and property type as a multi-family dwelling. Such features include, but are not limited to the following:

- Two-story height with horizontal massing and simple geometric forms;
- Rectangular shape building footprint with landscaped set back;
- Asymmetrical, monumental façade (west elevation) with wide stucco covered decorative horizontal panels separated by banks of short vertical wood strips recessed within the panels and six stucco covered vertical panels each demarcated by metal lined recesses;
- Symmetrical side (north/south) elevations of first and second stories;
- Stucco exterior siding material with small aggregate (texture, finish, overall

appearance);

- Flat roof with wide overhanging extensions, eaves, and cantilevers (including materials);
- Flush-mounted metal framed jalousie windows set as pairs or tripartite with central fix frame or singular frame (size, shape, placement, type);
- Exterior metal canned light fixtures at north elevation walkways, plus bullet lamps;
- Extended stucco and wood balconies along south elevation (size, shape, materials, location) with flush-mounted metal sliding glass doors;
- Exterior walkways along north elevation that includes decorative metal railings and stucco panel walls;
- Front yard landscape area, including planter wall of decorative (perforated) concrete block masonry units set upon a low concrete wall, tree ferns (*Dicksonia antarctica*), and lava rocks;
- Monumental front concrete steps, exterior open staircases, and associated decorative metal railing system (including materials, style, size/shape, location, configuration, and overall appearance);
- Large elongated metal address numbers rendered in a period-appropriate typeface attached onto the façade of the building (type, material, style, location, attachment method, general appearance);
- Paved driveway and below-grade carport area accessed from street and alley along southern property boundary.

CONCLUSION

As conditioned, the apartment building located at 328 South Rexford Drive appears to satisfy the City's criteria for designation as a local Landmark as required in Section 10-3-3212 of the Historic Preservation Ordinance (BHMC Title 10 Chapter 3 Article 32). This site appears to satisfy all of the mandates of subsection A. and one of the mandates under subsection B.

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APPENDIX

Location Map

Parcel Map

Sanborn Fire Insurance Map

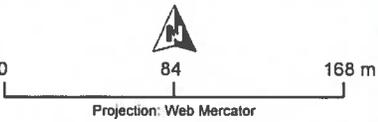
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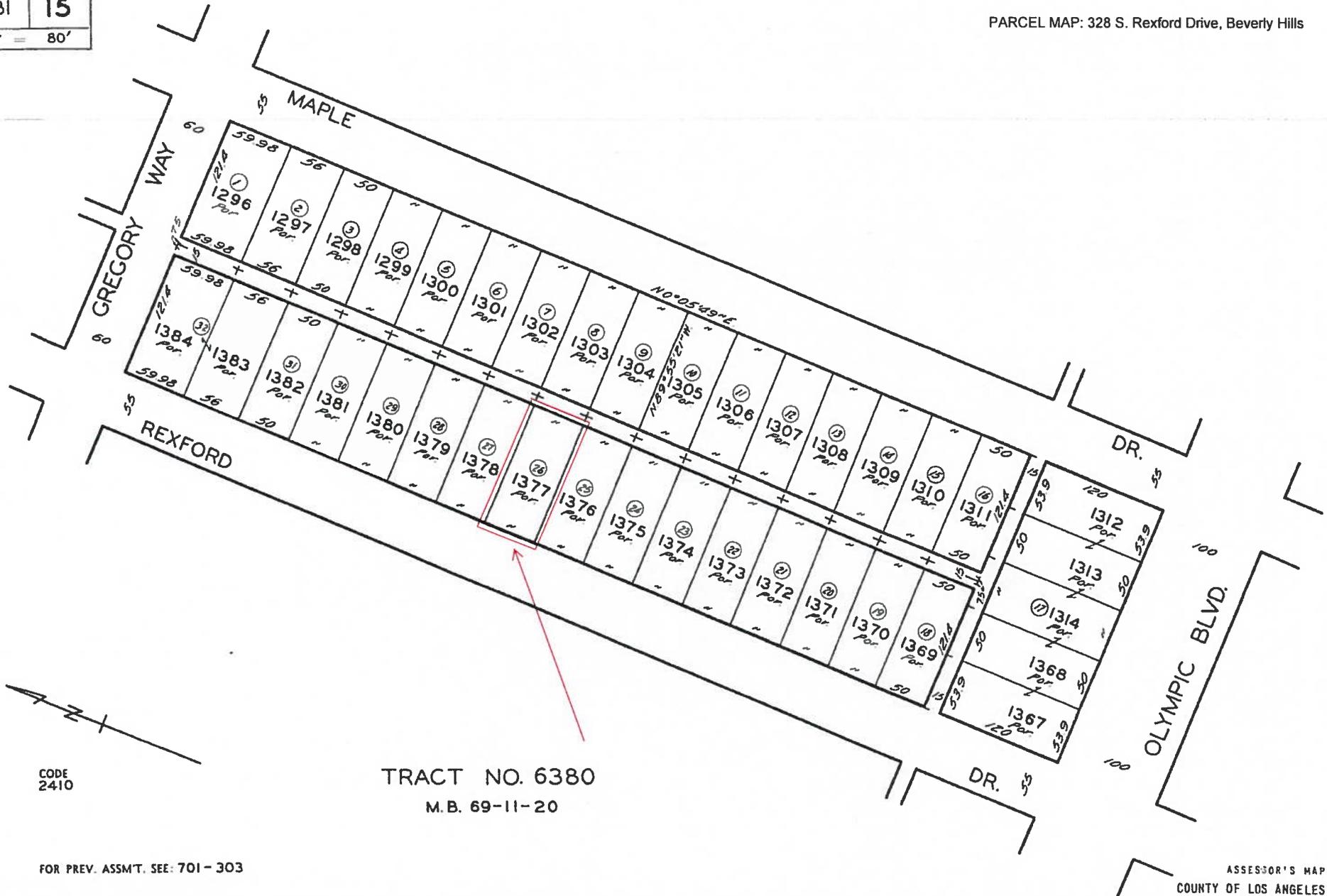


Author: OAC
Date: 24 June 2016

328 S. Rexford Dr Location Map

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SCALE 1" = 80'

PARCEL MAP: 328 S. Rexford Drive, Beverly Hills



CODE 2410

TRACT NO. 6380
M.B. 69-11-20

FOR PREV. ASSMT. SEE: 701 - 303

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF

SANBORN FIRE INSURANCE MAP, Beverly Hills

CAL. 040

Los Angeles Fire Ins. Co.

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BEVERLY HILLS

GREGORY

WAY



S. ELM DRIVE

S REXFORD DRIVE

S. MAPLE DRIVE

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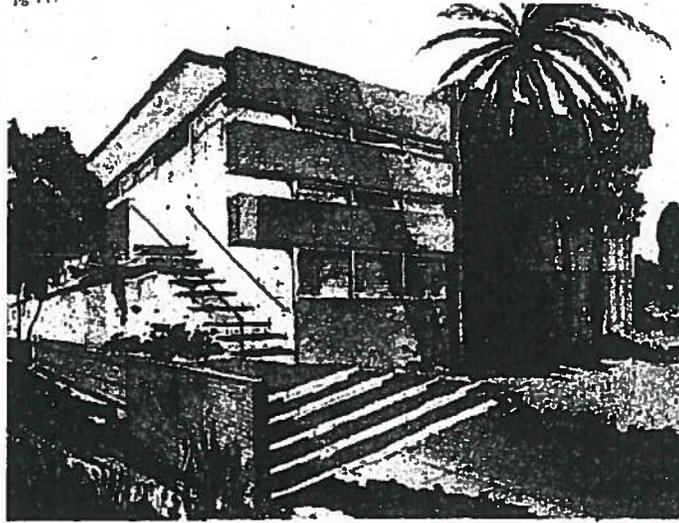
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EPHEMERAL MATERIAL

Photo Standalone L1 - No Title
 Los Angeles Times (1923-Current File), Jun 24, 1956;
 ProQuest Historical Newspapers: Los Angeles Times
 pg. F17



IN BEVERLY HILLS—Above is artist's sketch of eight-unit apartment building rising at 328 S Rexford Drive, in Beverly Hills, for Morning-Sun Investment Co. Project, valued at approximately \$110,000, was designed by Jules Salkin.

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FIGURE - 1: Property highlighted in the *Los Angeles Times*, June 24, 1956

DEPARTMENT OF PARKS AND RECREATION
 PRIMARY RECORD

Primary ID: 4321
 Triennial NHP Status Code: 503

Other Listings: Review Code _____ Reviewer _____ Date _____

Page 1 of 1 Resource Name or #: (Assigned by recorder) 328 South Rexford Dr

P1. Other Identifier: _____
 P2. Location: Not for Publication Unrestricted a. County Los Angeles
 and (P2b and P2c or P2d. Attach a Location Map as necessary.)
 b. USGS 7.5' Quad _____ Date _____ T _____ R _____ of _____ of _____ Sec _____ B.M. _____
 c. Address: 328 South Rexford Dr. City Beverly Hills Zip _____
 c. UTM: (Give more than one for large and/or linear resources) Zone _____ Easting _____ Northing _____
 d. Other Location Data (e.g. Parcel #: directions to resource, elevation, etc. as appropriate)

Parcel No. 4321 015-026

P3 Description: (Describe resources and its major elements. Include design, materials, condition, alterations, size and boundaries.)
 This is an excellent example of a two-story apartment building rendered in the vernacular Modern style with a high level of physical integrity. The dwelling is capped by a flat roof and sheathed with stucco and vertical wood slats. Distinguishing features of the primary (west) elevation include decorative horizontal and vertical stucco-covered panels, a wide band of fixed and glazing windows, and large metal address numbers rendered in a period typeface. A low perforated concrete block wall forms an enclosed landscaped area bordering the sidewalk. Concrete steps situated on the parcel's northwest corner lead to first floor entrances and a staircase leading to a second story walkway. Rectangular panels, similar in design to those facing the street, are separated by iron railings to enclose the upstairs walkway. A deep flat extension of the main roof shelters the walkway and second floor entrances.

P4 Resources Present: Building Structure Object Site District Element of District Other (Isotopes, etc.)

P5 Description of Photo: (New date accession #)
 June, 2004
 P6. Date Constructed/Age and Sources: Pre-historic Historic Both
 1956
 P7. Owner Address: Private
 P8. Recorded by: (Name, affiliation, and address)
 Jan Oxtahey, Peter Marucci
 PCR Services
 One Ventura, Suite 180
 Irvine, CA 92618
 P9. Date recorded: 6/1/2004
 P10. Survey Type: (Describe)
 Reconnaissance Level Survey

P11. Report Citation: (Cite survey report and/or other sources or enter "none")
 Oxtahey, Jan and Christy Kitchney. Beverly Hills Historic Resources Survey 1985-1989

Attachments: MOWS Construction Sheet District Record Rock Art Record
 Location Map Building, Structure, and Object Record LIP or Feature Record Artifact Record
 Sketch Map Archaeological Record Mining Station Record Photograph Record
 Other (List)

FIGURE - 2: Historic resources survey update DPR inventory form, 2004

PHOTOGRAPHS: 328 South Rexford Drive



PHOTO - 1: Façade w/raised planter, looking southeast



PHOTO - 2: North (side) elevation, looking southeast

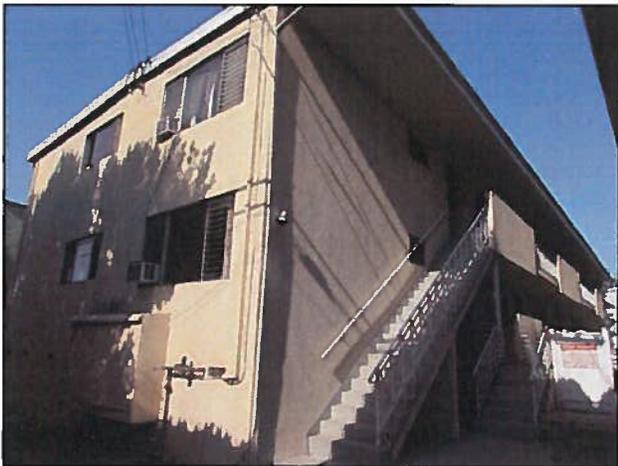


PHOTO - 3: North and east elevations, looking southwest



PHOTO - 4: South and west elevations, looking northwest



PHOTO - 5: South (carport side) elevation, looking east

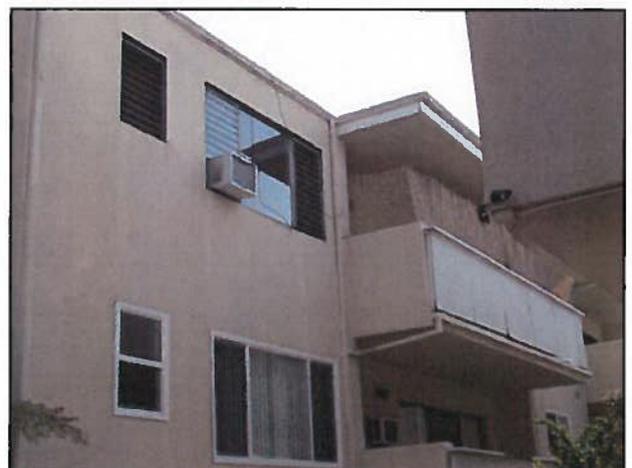


PHOTO - 6: South elevation detail view

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PO BOX 542

LONG BEACH, CA 90801

562.500.9451



City Council Agenda Report

November 15, 2016
Landmark Designations

Attachment 2

Resolution Designating the "Tallman-Stern Residence"
at 9570 Virginia Place as a Local Landmark

RESOLUTION NO. 16-R-

A RESOLUTION OF THE COUNCIL OF THE CITY OF BEVERLY HILLS DESIGNATING THE “TALLMAN – STERN RESIDENCE” AT 9570 VIRGINIA PLACE, BEVERLY HILLS, AS A LOCAL LANDMARK AND PLACING THE PROPERTY ON THE CITY OF BEVERLY HILLS REGISTER OF HISTORIC PROPERTIES

Section 1. Article 32 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code authorizes the City Council to designate local landmarks and historic districts and to place those properties and geographical areas on the City of Beverly Hills Register of Historic Properties.

Section 2. On October 5, 2016, the Cultural Heritage Commission preliminarily considered the single-family residence located on the property at 9570 Virginia Place in Beverly Hills, pursuant to Section 10-3-3215A.5 (Landmark or Historic District Designation Proceedings; Preliminary Hearing) of the Beverly Hills Municipal Code, and concluded that the “Tallman-Stern Residence” warranted formal consideration by the Commission for inclusion on the City of Beverly Hills Register of Historic Properties. Thereafter, the Director of Community Development issued a Preliminary Evaluation pursuant to Section 10-3-3215A.3 (Preliminary Evaluation) of the Beverly Hills Municipal Code, finding that the property appeared to be an eligible property based on available evidence at the time.

Section 3. On October 5, 2016, the Cultural Heritage Commission found that based on the Preliminary Evaluation issued by the Director, the historical evaluation submitted on behalf of the property owner, and other evidence, that sufficient evidence existed to conclude that

the subject property merits formal consideration of landmark designation, and therefore, concurrently considered whether to nominate the subject property for local landmark designation.

Section 4. On October 5, 2016, the Cultural Heritage Commission considered a *City Landmark Assessment and Evaluation Report* for the “Tallman-Stern Residence” prepared by Jan Ostashay of Ostashay & Associates Consulting, which is attached hereto as Exhibit A and incorporated herein by reference, and other evidence provided during the proceedings and adopted Resolution No. CHC 58 recommending that the City Council designate the “Tallman-Stern Residence” as a Local Landmark to be included on the Beverly Hills Register of Historic Properties. The list of recommended character-defining features to be preserved is itemized in Section 9 of CHC Resolution No. 55 and included in Section 8 of this resolution.

Section 5. On November 15, 2016, the City Council considered the property for landmark designation along with the recommendation of the Cultural Heritage Commission and adopted this resolution. The Council based its action on the findings of fact and reasons listed in the *City Landmark Assessment and Evaluation Report* by Ostashay & Associates Consulting and other evidence.

Section 6. BACKGROUND. The two-story residence at 9570 Virginia Place is sited on a rectangular-shaped, gently sloped parcel at the corner of Virginia Place and South Camden Drive in the southwestern area of the city. The dwelling is set back from both South Camden Drive and Virginia Place with a low-rise garden wall with a wrought iron fence that wraps the eastern portion of the property. An attached wing that forms the garage with habitable space above and a paved driveway are sited to the immediate west of the main massing of the

residence along Virginia Place.

The residence was designed in the Georgian Revival style, a subtype of the Colonial Revival idiom, by Master Architect Gerard Colcord in 1935. The exterior surface is finished in a smooth stucco plaster with a decorative quoining treatment at the corners. The structure is capped by a low-pitch hip roof with minimal overhanging eaves and wide cornice trim. The lower story is given prominence by the placement of a molded stringcourse that separates the two levels with a double stringcourse highlighting the Virginia Place elevation and the entry door and classically inspired arched pediment on this façade. The dwelling has two primary elevations, as it has two distinct formal entrances off its east (Camden Drive) and north (Virginia Place) elevations.

The entry at the Camden Drive elevation (east) is defined by a monumental entry portal, long brick walkway, and stucco wall with tile cap that encloses a patio, side yard, and the front door porch space. Features along this elevation include an engaged brick chimney, two oculus wood-frame windows flanking the chimney at the upper floor, quoining details at the corners, stringcourse, enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double doors, and one-story covered entry porch space and door (concealed behind the front wall and entry portal). Carefully manicured landscape that includes a mature tree, grassy lawn, low-growing shrubs, and a brick walkway enhances the formal quality of the architecture.

The façade of the north elevation of the house is symmetrically arranged and contains five bays punctuated by four-over-three wood-frame sash windows with metal “S” scrolled “shutter dogs” (fasteners) and a central entry portico on the lower story. Molded lintels (some arch shaped with keystones), casings, sills and louvered shutters embellish the windows. Non-original metal screen guard rails have also been added to some of the window openings along

this elevation. Molded stringcourses; a multi-panel, double entry door (wood) framed by thinly molded engaged pilasters; scrolled brackets; and an arched shaped pediment accents the front door portico. A stucco sheathed garage wing with a setback upper floor is attached off the west elevation of the house. The north elevation of the two bay garage wing includes two openings off the driveway with period-appropriate multi-panel garage doors and an upper level capped with a low-pitch hip roof and punctuated by two small multi-pane casement windows framed by flat surrounds. Landscaping along this side of the structure includes a stucco covered retaining wall that follows the change in topography of the sidewalk/parcel, brick stairs that lead up to the entry portico, and low-growing shrubs and plants.

Section 7. FINDINGS AND DESCRIPTION OF PARTICULAR ATTRIBUTES JUSTIFYING LANDMARK DESIGNATION. The City Council finds, pursuant to the City of Beverly Hills Historic Preservation Ordinance (Beverly Hills Municipal Code Title 10, Chapter 3, Article 32), that the “Tallman-Stern Residence” satisfies the necessary requirements for designation as a local landmark based on the following:

The “Tallman-Stern Residence” is eligible under "significance" criterion A.1. *It is at least forty-five (45) years of age, or is a property of extraordinary significance.* The subject property was built in 1935, thus in 2016 it is 81 years old. Therefore, the property satisfies this criterion.

The “Tallman-Stern Residence” is eligible under “significance” criterion A.2. *It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural type or architectural type, or architectural period.* The property exemplifies the

Georgian Revival architectural idiom. It incorporates many of the features of the style in a manner that expresses the high aesthetic value that was closely associated with Beverly Hills in the 1920s and 1930s. Stylistic features incorporated into the property include the property's general siting and the structure's symmetrical composition and massing, roof shape and treatment, cladding materials, and entry porticos. The "Tallman-Stern Residence" embodies the distinctive characteristics of the Georgian Revival style, period, and materials of construction. Therefore, the property satisfies this criterion.

The "Tallman-Stern Residence" is eligible under "significance" criterion A.3. *It retains substantial integrity from its period of significance.* The period of significance for the subject property is 1935, which is when the residence and attached garage were constructed. The exterior of the property retains the key physical characteristics of design, materials, workmanship, setting, feeling, and association that define its architectural style and conveys its historical significance. A limited number of alterations that occurred to the property since 1935 are compatible to the overall historic character and do not adversely impact the property's significance. Therefore, the property satisfies this criterion.

The "Tallman-Stern Residence" is eligible under "significance" criterion A.4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.* The property is considered to have historic value due to its architectural character and contribution to the City's architectural heritage. Therefore, the property satisfies this criterion.

The "Tallman-Stern Residence" is eligible under "significance" criterion B.6. *The*

landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property. The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Section 8. CHARACTER DEFINING FEATURES THAT SHOULD BE PRESERVED. Use and development of the “Tallman-Stern Residence” shall be governed by the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards). These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The key features that should be preserved are as follows.

The character-defining features associated with the 9570 Virginia Place residence are those exterior features on the property that reflect and define its Georgian Revival architectural style. Such features include, but are not limited to the following:

- Height, shape (rectangular) and mass of the dwelling in relationship to its property type, setting, topography and immediate residential environment
- Symmetrical façade and arrange of features (doors and windows) and bays along east and north elevations (five bay arrangement along north elevation)
- Varied low-pitch hipped roof with minimal overhanging boxed eaves
- Enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double wood doors
- Panel front entry door, centered with arch shape pediment supported by decorative pilasters (north elevations)
- Smooth stucco exterior siding material, noting finish, texture, overall appearance

- Cornice trim and molding details; segmental dormer windows
- Molded beltcourse(s) along east, west, and north elevations
- Multi-pane (four over three) sash type wood-frame windows with flanking louvered shutters and “S” scrolled shutter dogs (fasteners), molded wood casings, sills, and molded lintels with key stones (noting existing shape, size, and placement) along east, north, and west elevations.
- Oculus (round) 2/2 wood-frame hinged windows at the upper floor flanking the chimney
- Brick chimneys sheathed in stucco plaster (size, shape, material, location, width and height) with trim molding
- Attached one-story wing with integrated two-bay garage off west elevation
- Extended privacy wall (stucco with tiled molded coping and embedded metal framed mail slot) off east elevation portico entrance

Section 9. GENERAL GUIDELINES AND STANDARDS FOR FUTURE PROPOSED CHANGES PURSUANT TO THE HISTORIC PRESERVATION ORDINANCE. The *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards and Guidelines) are incorporated as reference. These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The guidelines and standards are an aid to public and private property owners, and others, formulating plans for new plantings, constructions, for rehabilitation or alteration of existing landscapes, associated structures, and for site development. The SOI Standards and Guidelines are also designed to be standards which City Staff and the Cultural Heritage Commission shall apply when making decisions about Certificates of Appropriateness

as required by the City of Beverly Hills Historic Preservation Ordinance. The location and boundaries of the delineated resource are the property boundaries.

Section 10. ENVIRONMENTAL ANALYSIS. Designation of the “Tallman-Stern Residence” as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the “Tallman-Stern Residence” would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designation of the “Tallman-Stern Residence” may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the “Tallman-Stern Residence” is an action of the City to protect and preserve an historic resource.

Section 11. GENERAL PLAN CONSISTENCY. Designation of the “Tallman-Stern Residence” as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 - Promote National, State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

Section 12. The City Council hereby designates the “Tallman-Stern Residence” as a local landmark included on the City of Beverly Hills Register of Historic Properties as Landmark No. 34, for the reasons set forth in this resolution.

Section 13. The record of proceedings for designation of the “Tallman-Stern Residence” as a local landmark included on the City's Register of Historic Properties is maintained by the City as part of the official records of the Community Development Department at 455 North Rexford Drive, Beverly Hills, California, 90210.

Section 14. The City Clerk shall certify to the adoption of the Resolution and shall cause the Resolution and his certification to be entered in the Book of Resolutions of the Council of the City of Beverly Hills. The City Clerk shall also cause the Resolution to be recorded in the office of the county recorder of the county of Los Angeles as authorized by Section 3215 I of Chapter 3 of Title 10 of the City of Beverly Hills Municipal Code.

Adopted:

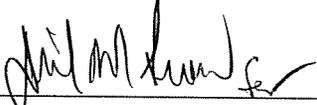
JOHN A. MIRISCH
Mayor of the City of Beverly Hills,
California

ATTEST:

_____ (SEAL)

BYRON POPE
City Clerk

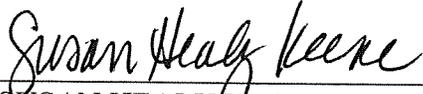
APPROVED AS TO FORM



LAURENCE S. WIENER
City Attorney

APPROVED AS TO CONTENT

MAHDI ALUZRI
City Manager



SUSAN HEALY KEENE
Director of Community Development

Exhibit A – Landmark Assessment and Evaluation Report and Attachments by Ostashay & Associates Consulting, dated October 2016.

EXHIBIT A

CITY LANDMARK ASSESSMENT & EVALUATION REPORT



OCT 2016

TALLMAN-STERN RESIDENCE
9570 Virginia Place, City of Beverly Hills, CA

Prepared for:
City of Beverly Hills
Community Development Department
Planning Division
455 Rexford Drive, Beverly Hills, CA 90210

Prepared by:
Jan Ostashay, Principal
Ostashay & Associates Consulting
PO BOX 542, Long Beach, CA 90801

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CITY LANDMARK ASSESSMENT AND EVALUATION REPORT

Tallman-Stern Residence

9570 Virginia Place
Beverly Hills, CA 90210

APN: 4330-017-024

INTRODUCTION

This landmark assessment and evaluation report, completed by Ostashay & Associates Consulting (OAC) for the City of Beverly Hills, documents and evaluates the local significance and landmark eligibility of the single-family residence located at 9570 Virginia Place, in the City of Beverly Hills.

Included in the report is a discussion of the survey methodology used, a summarized description of the subject property and its historical integrity, a brief contextual history of the property, a review of the local landmark criteria considered in the evaluation process, a formal evaluation of the property for local significance, photographs, and any applicable supporting materials.

METHODOLOGY

The landmark assessment was conducted by Jan Ostashay, Principal, of Ostashay & Associates Consulting. In order to identify and evaluate the subject property as a potential local landmark, an intensive-level survey was conducted. The assessment included a review of the National Register of Historic Places (National Register) and its annual updates, the California Register of Historical Resources (California Register), and the California Historic Resources Inventory (HRI) list maintained by the State Office of Historic Preservation (OHP) in order to determine if any evaluations or survey assessments of the property had been previously performed.

For this current landmark assessment a site visit was conducted and a review of building permits, tax assessor records, and historic aerial photographs was performed to document the property's existing condition and assist in evaluating the property for historical significance. The City of Beverly Hills landmark criteria were employed to evaluate the local significance of the structure and its eligibility for individual designation as a City of Beverly Hills Landmark. In addition, the following tasks were performed for the study:

- Searched records of the National Register, California Register, and OHP Historic Resources Inventory.
- Conducted a field inspection and photographed the subject property.
- Conducted site-specific research on the subject property utilizing Sanborn Fire Insurance Maps (not available for this property), city directories, newspaper articles,

historical photographs, aerial photographs, and building permits, among other available resources.

- Reviewed and analyzed ordinances, statutes, regulations, bulletins, and technical materials relating to federal, state, and local historic preservation, designation assessment procedures, and related programs.
- Evaluated the potential historic resource based upon criteria established by the City of Beverly Hills and utilized the OHP survey methodology for conducting survey assessments.

FINDINGS

The single-family residence located at 9570 Virginia Place appears to satisfy the City's criteria for individual designation as a local Landmark as required in Section 10-3-3212 of the Historic Preservation Ordinance (Beverly Hills Municipal Code Title 10, Chapter 3, Article 32). This property appears to satisfy all of the mandates of subsection A. and one of the mandates under subsection B. of the City's Landmark Designation Criteria.

BACKGROUND INFORMATION

The subject property is located in the southern part of town between Olympic and Pico boulevards at the southwest corner of South Camden Drive and Virginia Place. The neighborhood in which it is located contains parcels improved with single-family homes that were built primarily in the late 1920s and 1930s. The design of many of these homes in the area is reflective of the Spanish Colonial Revival, while a few classically inspired variants of the Colonial Revival style are also evident.

The property has not been previously identified, documented, or evaluated under any of the City's previous historic resources survey efforts. In addition, it is not included in the State's HRI and is not listed in the National Register or California Register.

PROPERTY DESCRIPTION AND CONSTRUCTION HISTORY

Description. The residence under review at 9570 Virginia Place is sited on a rectangular shape parcel measuring roughly 60 feet along its eastern side (primary elevation), 130 feet along its southern boundary, 70 along its west (rear) parcel line, and 136 feet along the north side (primary elevation). According to the Los Angeles County Assessor's records the subject property occupies lot 222 of Tract #3535 in Beverly Hills. The dwelling is set back from the both South Camden Drive and Virginia Place with a low-rise brick and wrought iron fence wrapping the east and north property lines. The topography of this area slightly shifts downward as you approach Virginia Place causing the need for a retaining wall (landscaped) and steps to access the entry door along the north elevation of the house. An attached wing that forms the garage with a room above and associated paved driveway are sited to the immediate west of the residence along Virginia Place.

The wood-frame single-family residence has a rectangular plan that complements the size and shape of the parcel. A subtype of the Colonial Revival idiom, the Georgian Revival style dignifies

this two-story dwelling, which is capped by a low-pitch complex hip roof with minimal overhanging eaves and wide-band cornice trim. The house has a smooth stucco finish with brick quoin treatment at the corners. The lower story is given prominence by the placement of a molded stringcourse that separates the two levels. The dwelling has two primary elevations, as it has two distinct primary entrances off its east (Camden Drive) and north (Virginia Place) elevations.

The entry at the Camden Drive elevation (east) is defined by a monumental entry portal, long brick walkway, and stucco wall with tile cap that encloses a patio, side yard, and the front door porch space. Features along this elevation include an engaged brick chimney, oculus 2/2 wood-frame hinged windows at the upper floor flanking the chimney, quoining details at corners, stringcourse, enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double doors, and one-story covered entry porch space and door (concealed behind front wall and entry portal). Carefully pruned landscape that includes a mature tree, grassy lawn, low-growing shrubs, and a brick walkway enhances the formal quality of the architecture.

The façade of the north elevation of the house is symmetrically arranged and contains five bays punctuated by four-over-three wood-frame sash windows with metal “S” scrolled shutter dogs (fasteners) and a central entry portico on the lower story. Molded lintels (some arch shape with key stones), casings, sills and louvered shutters embellish the windows. Non-original metal screen guard rails have also been added to some of the window openings along this elevation. Molded stringcourses; a multi-panel, double entry door (wood) framed by thinly molded engaged pilasters; scrolled brackets; and an arched shape pediment hood accents the front door portico. A stucco sheathed garage wing with set back upper floor is attached off the west elevation of the house. The north elevation of the two bay garage wing includes two openings off the driveway with period-appropriate multi-panel garage doors and an upper level capped with a low-pitch hip roof and punctuated by two small multi-pane casement windows framed by flat surrounds. Landscaping along this side of the structure includes a stucco covered retaining wall that follows the change in topography of the sidewalk/parcel, brick stairs that lead up to the entry portico, and low-growing shrubs and plants.

Much of the west (side) and south (rear) elevations are not visible from the public right-of-way. Other features, nonetheless, on the dwelling include additional brick fireplace chimneys with molded trim; secondary entries off the ground floor of the house and garage wing; and multi-pane fenestration similar in type, but of varying size, to those on the east and north elevations of the residence.

Construction History. A building permit was issued on June 25, 1935 for the construction of a two-story, 9-room residence at 453 South Camden Drive for a cost of \$10,000. Designed by architect Gerard Colcord, the construction of the house, which included an attached garage, was overseen by contractor William Warmington.

In reviewing the building permit history on file with the City of Beverly Hills it appears there have been limited, sympathetic changes made to the property over the years. Besides the initial construction of the house in 1935, a sleeping porch over a porch (location unspecified)

was added in 1944 at a cost of roughly \$600. This work was designed by architect Colcord for then owner Hartle Tallman, who was also the initial owner of the property.

The property saw some interior renovations in 1971, when the kitchen and family room were remodeled under the ownership of Donald Sterling. The next round of alterations for which there are permits on file, came in 1986 when the house was owned and occupied by Lawrence and Meryl Stern (current owners/occupants). At that time, a block wall fence with brick pilasters was added along the public perimeter of the lot, the driveway was widened and re-paved, and a concrete block retaining wall along Virginia Place was built. The Stern's had the house re-roofed and painted in 1994. As a summary, the relevant permits on file with the city include the following:

| YEAR | DESCRIPTION OF WORK |
|------|--|
| 1935 | Private Residence (\$10,000), original address: 453 S. Camden Dr. |
| 1944 | Sleeping porch over porch (\$600) |
| 1971 | Remodel kitchen and family room (\$3,200) |
| 1986 | Installation of HVAC |
| 1986 | Block wall fence, brick pilasters (\$2,000) |
| 1986 | Concrete masonry unit (CMU) retaining wall on side, widen concrete pad at driveway |
| 1994 | Re-roof, paint, misc. (\$10,000) |

Although there have been some modifications to the residence, the exterior work completed has been sympathetic to the historic character of the house or restricted to its interior. Overall, the changes made have not adversely impacted the property's architectural design, historical integrity, or important character-defining features.

HISTORICAL CONTEXT

Beverly Hills. The early settlement and development of Beverly Hills began on what was called Rancho Rodeo de las Aguas. This land was originally claimed by Mexican settlers Maria Rita Valdez and her husband Vicente Valdez around 1822. Aptly named The Ranch of the Gathering of the Waters, the swamps or "cienegas" that characterize the natural landscape were created by rain run off flowing out of Coldwater and Benedict Canyons. Vegetable farming, sheep herding, bee keeping and the raising of walnut trees were the primary agricultural activities within the rancho lands during the latter half of the nineteenth century. Several attempts at subdividing and establishing communities on the ranch lands were attempted during the 1860s and 1880s, but ended in failure.¹

¹ *Beverly Hills Historic Resources Survey 1985-1986, pg. 5.*

In 1906, the Amalgamated Oil Company reorganized as the Rodeo Land and Water Company. Burton Green played a leading role in formulating the plans for a garden city, located between Whittier Drive on the west, Doheny Drive on the east, Wilshire Boulevard on the south, and the foothills above Sunset Boulevard to the north.² The syndicate hired notable California park planner, Wilbur F. Cook, Jr., to plan the new community. Cook had worked with landscape architect Frederick Law Olmsted prior to moving to Oakland in 1905 to establish his own firm. Comprised of “Beverly” in the commercial triangle between Santa Monica and Wilshire boulevards and “Beverly Hills” north of Santa Monica Boulevard, the new community was one of the earliest planned communities in southern California.

Prompted largely by concern over the water and school systems, residents voted to incorporate in 1914 and created the new City of Beverly Hills. The original boundaries of the City were much the same as they are today, except for the area south of Wilshire Boulevard, annexed in 1915, and Trousdale Estates, annexed in 1955. Most of the City was open land at the time of incorporation with development scattered around Canon Drive, Beverly Drive, Crescent Drive, and the downtown triangle.³

The architecture of Beverly Hills in the years following the City’s founding was dominated by the Craftsman, Mission Revival, and Period Revival styles like Tudor Revival, Georgian, and Beaux-Arts Classicism. With Beverly Hills establishing itself as a haven for movie stars in the 1920s, the architectural character of the city began to realize a varying degree of extravagance in the design of its housing stock. Throughout the late 1920s and 1930s sophisticated period revival styles dominated the domestic architecture of the City, including Colonial Revival, Spanish Colonial Revival, French Normandy, Tudor Revival, and the like. By the mid to late 1930s Beverly Hills became one of the areas in southern California most closely connected with the development of the Hollywood Regency style. Born of the meeting of Moderne sleekness with the elegance of early nineteenth century architectural forms, it used simple, primary forms and blank wall surfaces to project exclusivity and sophistication.⁴ Beverly Hills’ domestic architecture in the post-World War II era saw the incorporation of Revival references in its new housing stock, and also the introduction of contemporary, luxury designs reflective of the Mid-century Modern idiom.

Architects like Robert D. Farquhar, Gordon Kaufmann, Wallace Neff, Ralph C. Flewelling, Paul R. Williams, Gerard R. Colcord, Roy Sheldon Price, and Elmer Grey among others left their mark on Beverly Hills’ residential, commercial, and institutional built environment and their single-family residential designs embodied the styles most closely associated with Beverly Hills as a place of luxury and sophistication. The personal residences of real estate magnates, oilmen, and Hollywood producers mingled with those of movie, radio, and television stars drawing tourists as well as would-be residents to the rainsertpidly growing, largely affluent community of Beverly Hills.

9570 Virginia Place. It appears that this classic two-story single-family dwelling was originally constructed with two front entry approaches, one along Camden Drive and another off Virginia

² *Ibid*, pp. 8-9.

³ *Ibid*, pg. 11.

⁴ *Ibid*. pg. 17.

Place. The original permit and initial listings in the local city directory list the property with an address of 453 South Camden Drive. An aerial photograph dated from 1947 show walkways from the sidewalks of both Camden Drive and Virginia Place to the house. The 1950 Sanborn Fire Insurance map confirms this configuration as it shows a small covered front porch area tucked at the southeast corner of the dwelling. The main front door was accessed off the east elevation from Camden Drive until late 1940, when the second entry portico off Virginia Place became the main front door. The address of the property was then formally changed to 9500 Virginia Place. It was subsequently changed again only a few years later to 9570 Virginia Place, its current address identifier.

The Tallman-Stern Residence was constructed during the building boom of residential development in Beverly Hills. Much of the area south of Wilshire Boulevard comprised the first annexation made to the original City of Beverly Hills. Enacted by special election in 1915, the Rancho Rodeo de las Aguas Annexation brought the south and east city limits more or less to their current lines.⁵ By 1920, the area was still undeveloped though Walter G. McCarty and his associates began development of what became known as the Speedway Tract just after 1924 (when the Speedway was demolished). The following years were “boom” ones for the growth of the city. New streets were laid out, residences and businesses constructed, new schools begun, and old ones enlarged to accommodate the mushrooming population.⁶ The vast majority of the development during the boom years in the areas south of Wilshire Boulevard was; however, residential.

The subject property was built in 1935 for Hartle Tallman and his wife Kathryn. Prior to moving into their new house they resided at 361 South Crescent Drive in Beverly Hills. Hartle Tallman was an optometrist and jeweler who had an office (for both businesses) at 462 North Beverly Drive. A native of Lanark, Illinois, Hartle was born in 1902 and graduated from the University of California, Berkeley with a degree in optometry in 1925. His wife Kathryn was born in Monticello, Indiana in 1904. The 1940 US Census lists Hartle Tallman, his wife, and three children residing at the residence under the address 453 South Camden Drive. City directories from 1940 to 1941 list the Tallmans’ address as 9500 Virginia Place, and later directories list them at 9570 Virginia Place. Though Kathryn passed away in 1956, Hartle remained in the house until his passing in 1966. Per the will of Hartle Tallman, Gretchen, Hartle and Kathryn’s second daughter, was able to reside there for a period of five years after Hartle’s death.

Following the ending of the five year residency period for Gretchen Tallman the property transferred ownership several times. Attorney and real estate investor Donald Sterling and his wife Corrine purchased the house in 1971, but only a few years later they divorced and the property sold again. William and Nicole Vogel bought the residence in 1974. They; however, divorced in 1974 with William Vogel remaining in the house until 1982. It was then briefly owned by Lawrence E. and Susan J. Fox until they sold the property to Lawrence and Meryl Stern in 1985. The Sterns have resided there for over 30 years and are the current owners/occupants of the residence.

⁵ *Beverly Hills Historic Resources Survey 1985-1986*, pg. 55.

⁶ *Ibid*, pg. 56.

The following table summarizes the owner/occupant chronology of the subject property:

| OCCUPANCY HISTORY: | | |
|---------------------------|----------------------|---|
| Year | Address | Occupant |
| 1935 | No listing | |
| 1936 | 453 S. Camden Dr.: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1937 | 453 S. Camden Dr.: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1938 | 453 S. Camden Dr.: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1939 | 453 S. Camden Dr.: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1940 | 453 S. Camden Dr.: | Hartle (Kathryn) Tallman, optometrist/jeweler (1940 census) |
| 1940 | 9500 Virginia Place: | Hartle (Kathryn) Tallman, optometrist/jeweler (1940 city directory) |
| 1941 | 9500 Virginia Place: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1942-56 | 9570 Virginia Place: | Hartle (Kathryn) Tallman, optometrist/jeweler (city directory) |
| 1956-66 | 9570 Virginia Place: | Hartle Tallman, optometrist/jeweler (city directory) |
| 1966-71 | 9570 Virginia Place: | Gretchen Tallman |
| 1971-74 | 9570 Virginia Place: | Donald (Corrine) Sterling |
| 1974-79 | 9570 Virginia Place: | William (Nicole) Vogel |
| 1979-82 | 9570 Virginia Place: | William Vogel |
| 1982-85 | 9570 Virginia Place: | Lawrence E. (Susan J.) Fox |
| 1985-present | 9570 Virginia Place: | Lawrence (Meryl) Stern |

Gerard Colcord, AIA. Current research reveals that the architect of the subject property was Gerard Rae Colcord (1901-1984). He was born in St. Louis, Missouri and eventually moved to Los Angeles with his mother, father and family to attend college in the early 1920s. Colcord attended the University of Southern California and studied overseas at the Ecole des Beaux-Arts at Fontainebleau in 1924. Upon returning from France, Colcord moved back to family home and established an architectural practice. He also worked with architects Asa Hudson and John C. Austin as an apprentice to gain experience. Colcord received his certificate to formally practice architecture from the State Board of Architectural Examiners in 1930. However, one of the first residences that Colcord designed was the Price House in Beverly Hills in 1928, which reflected a stylistic design of an English manor.

In the early 1930s, Colcord moved out of the family home and married the first of three wives, actress Jeanne Marie Dumas.⁷ They lived a social life attending various social parties and events in the area. Presumably the Colcords' society connections contributed to Gerard's success.⁸

During the 1930s, Colcord designed dwellings in various styles such as Colonial Revival, English

⁷ *Parsons, Bret. Colcord Home. p. 24.*

⁸ *Ibid, p. 24.*

Cottage, French farmhouse, Monterey Colonial, and Tudor, a number of which were published in architectural journals and trade magazines. On several occasions he worked with the noted furnishing store Barker Brothers to develop “dream house” floor plans and renderings to exhibit in their store.⁹ Colcord was commissioned in 1935 by Mr. and Mrs. Philip Chandler, the son of *Los Angeles Times* publisher Harry Chandler, to design their home in the Los Feliz neighborhood of Los Angeles. It was built on a double lot as a French farmhouse style dwelling with roughly 4,500 square feet of space. In that same year, he was hired to build an equestrian estate in Palm Springs, the center of which was a Monterey Colonial style residence. At the end of the decade Colcord moved his architectural practice into a small office on Brighton Way in Beverly Hills; a location where he would practice until the end of his career.

Following the bombing of Pearl Harbor in December 1941, Colcord sought other means of architectural work including the design of industrial buildings for Douglas Aircraft during the war years. After the end of World War II, Colcord’s architectural practice and his signature designs of traditional “Country Colonial” homes were further refined. With his dozens of commissions his Early American stylistic form became inspiration for television show set designs of the 1950s and 1960s in Hollywood, including the *I Love Lucy* show. Over the years Colcord amassed a significant celebrity clientele. His portfolio of work included residences designed and built in Westwood, Coldwater Canyon, Holmby Hills, Brentwood, Pacific Palisades, Bel-Air, Hancock Park, Pasadena, San Marino, Pomona, and Beverly Hills. His commissions also extended beyond Southern California as he was hired to design Colonial style residences in Georgia, Florida, Idaho, Nevada, Texas, and Northern California.

He designed almost 400 residences most of which incorporated his signature architectural flair and features of the Colonial Revival style.¹⁰ The rich textures of the Colcord style are uniquely identifiable: a main one- to two-story core often with a multiple splayed wing configuration or other asymmetrical floor plan; clapboard siding with washed brick, fieldstone, plaster/stucco, or board and batten veneer; half-timbered beams; asymmetrical roof lines; multi-pane sash windows of varying size most with shutters; brick and/or flagstone chimneys; covered main entry portico or porch area; and wrought iron weathervane.¹¹

The style, size, and location of a Colcord designed property varied depending on the client, site characteristics, and date of development. Of those Colcord designed residences known in Beverly Hills, a few of have since been demolished while others have been remodeled. Nonetheless, there still stands a well-represented number of Colcord designed dwellings in the City that respectfully reflect his original design intent, traditional “signature” characteristics, and high level of craftsmanship.

Many of his designs were published and showcased in various trade journals and magazines, including *Architectural Digest*, *House & Garden*, *California Arts & Architecture*, and *American Architects*. The subject property at 9570 Virginia Place; however, was not one of his projects that were highlighted in any of those publications. The construction of the house; however, was mentioned briefly in the local *Beverly Hills Citizen* newspaper of June 20 and June 27, 1935.

⁹ *Ibid*, p.25.

¹⁰ *Ibid*, p 37.

¹¹ *Ibid*, p. 39.

Upon conducting a cursory review of City permit files and other archival references just over 20 Colcord designed residences or remodels by Colcord were identified in the Beverly Hills area. There are probably more Colcord designed residences in Beverly Hills that have not yet been discovered. Their status and condition are also unknown at this time. The following table lists those known Colcord designed dwellings within the city limits that were identified during this current cursory survey of such properties.

| Address | | Assessor Date | Original Owner |
|---------|-------------------|---------------|---|
| 720 | Elm Drive, N | 1927 | Walter M. Scott (Tudor Revival), Colcord & Ames |
| 603 | Arden Drive, N | 1927 | M.C. Bond (Spanish Colonial), Colcord & Ames |
| 504 | Foothill Drive | 1924 | Lewis E. Moore (Tudor, altered) |
| 717 | Alpine Drive, N | 1934 | Sarah B. Hughes (Tudor Revival) |
| 625 | Alta Drive, N | 1929 | H.A. Price (English Tudor Revival) |
| 721 | Elm Drive, N | 1935 | Stanley O. Chambers (Colonial Revival) |
| 712 | Hillcrest Road | 1937 | B.W. Tye (Colonial Revival) |
| 816 | Bedford Drive, N | 1938 | B.W. Tye (Colonial Revival manor) |
| 615 | Beverly Drive, N | 1939 | W.B. Barnett/Wald (Colonial Revival) |
| 800 | Linden Drive, N | n.d. | Demolished 2005 (Colonial Revival) |
| 814 | Cinthia Street | 1952 | Ted Rosen (Colonial Ranch) |
| 1150 | Shadow Hill Way | 1954 | E. A. Hawkins (French Colonial) |
| 526 | Rodeo Drive, N | 1921/35 | BH Bank & Trust Co. (Colcord updated 1935) |
| 512 | Sierra Drive, N | 1938 | B.W. Tye (Colonial Revival) , Colcord attributed |
| 515 | Sierra Drive, N | 1941 | B.W. Tye (Colonial Revival) |
| 601 | Sierra Drive, N | 1941 | B.W. Tye (French Colonial) |
| 602 | Sierra Drive, N | 1941 | B.W. Tye (Colonial Revival) |
| 617 | Oakhurst Drive, N | 1938 | Margaret J. Hawkins (French Colonial) |
| 705 | Oakhurst Drive, N | 1946 | Leo Siskin (English Colonial Revival) |
| 1170 | Loma Linda Drive | 1951 | Frank Sale (Colonial Ranch) |
| 1178 | Loma Linda Drive | 1951 | Isadore C. Gordean (Colonial Revival) |
| 1129 | Benedict Canyon | 1923/55 | (Colcord updated 1955) |
| 700 | Trenton Drive | 1949 | Carl Naumann (Hollywood Regency) |
| 518 | Crescent Drive, N | n.d. | Demolished 200 (Colcord updated 1950) |
| 9570 | Virginia Place | 1935 | Hartle Tallman (original address 453 S. Camden Dr.) |

Colonial Revival, Georgian Revival. The Colonial Revival style encompasses a number of architectural traditions, including English, Dutch, French, Georgian, and Spanish colonial influences that were combined during the late-nineteenth and early-twentieth centuries to create buildings that celebrated Colonial America. The restoration of Colonial Williamsburg in the 1930s, refueled interest in the style, and it remained popular into the post-World War II era. Thus, Cape Code cottages, gambrel roof houses, large formal Georgian homes, Federal townhouses, columned mansions, can fall under the Colonial Revival heading, so long as the entrances, cornices, and windows are fitted with classical details.

One of the most common Colonial Revival subtypes is the Georgian Revival. Although Georgian Revival designed buildings employed many of the details of their earlier Colonial predecessors, they did not closely follow the rules of Georgian architecture. Details from two or more of these architectural subtypes are often freely combined in many examples so that pure copies of colonial houses are far less common than are eclectic mixtures. Classical details were either over-exaggerated or updated for the 20th century, and the strict Georgian symmetry and order was often broken.

Georgian architecture usually consisted of a one or two-story façade with three to five bays of window openings on both the first and second stories of the front elevation with a central door. The main entry is typically an elaborate portico adorned with classical surrounds, pediments, entablatures, sidelights, and transoms. Facades are usually symmetrical but may be asymmetrical with rectangular, L-shaped, or irregular plans. They typically feature side gable, cross gable, or hip roofs, sometimes with dormers and trimmed cornice line. Exterior wall cladding may be horizontal wood siding and occasionally brick or plaster/stucco with quoin corners. Other features of the style include, prominent brick chimneys often located at the ends of the house; double hung, multi-pane wood-frame windows usually with flanking louvered wood shutters; paneled wood doors, sometimes with sidelights, transom lights, fanlights, or louvered wood shutters; and the restrained use of Classical details. The addition of a small one-story wing off the side elevation is also a common feature of the style.

Like many other 20th century residence, Colonial Revival houses had garages, either one bay or two bay wide. The garages were often designed to stylistically match the house with double-leaf door that pulled open. The roof pitch of the garage was usually lower than the main house as it was usually located off the rear corner of the dwelling at the end of double strips of concrete. Depending on the topography, some Colonial Revival garages, including the Georgian variant, were attached to the side of the residence (many with upper story room) or built into a hillside.

Character-defining features of the Georgian Revival style include, but are not limited to the following:

- Symmetrical façade and arrange of features (doors and windows)
- Rectangular, “L”-shape, or irregular plan, commonly horizontal massing
- Varied gable, hipped, or gambrel roofs with shake (shingle) covering
- Paneled front door and/or entry portico, usually centered and capped by an elaborate

decorative entablature or pediment supported by decorative pilasters

- Cornice usually emphasized by decorative trim or molded trim band
- Windows with double-hung sashes having small panes (multi-pane) separated by wooden muntins flanked by louvered wood shutters
- Windows aligned horizontally and vertically in symmetrical rows, commonly with a five bay configuration on front façade
- Restrained front porch or portico
- Corner quoins, some with belt course molding
- Exterior cladding of brick, horizontal wood lap, or smooth stucco
- Symmetrically placed dormers
- Flat or arched window lintel with keystone
- Symmetrically placed brick chimneys, usually at the end of walls
- Small wing rooms onto side of main house
- Attached or detached garage designed to stylistically match/complement the house

HISTORIC SIGNIFICANCE CONSIDERATION FRAMEWORK

Evaluation Criteria. In analyzing the historical significance of the subject property, criteria for designation under the City's local landmark program was considered. Additionally, consideration of historical integrity and the State Office of Historic Preservation (OHP) survey methodology was used to survey and assess the relative significance of the property.

City of Beverly Hills Landmark Criteria. The City's Historic Preservation Ordinance (Municipal Code Title 10 Chapter 3 Article 32; BHMC 10-3-32) authorizes the Cultural Heritage Commission (CHC) to recommend the nomination of properties as local landmarks to the City Council. The Council may designate local landmarks and historic districts by the procedures outlined in the ordinance. The Preservation Ordinance also establishes criteria and the process for evaluating and designating properties as potential local landmarks.

An eligible property may be nominated and designated as a landmark if it satisfies the following requirements:

- A. A landmark must satisfy all of the following requirements:
 1. It is at least 45 years (45) years of age, or is a property of extraordinary significance;
 2. It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural style or architectural type or architectural period;
 3. It retains substantial integrity from its period of significance; and

4. It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.
- B. In addition to the requirements set forth in Paragraph A above, a landmark must satisfy at least one of the following requirements:
1. It is listed on the National Register of Historic Places;
 2. It is an exceptional work by a master architect;
 3. It is an exceptional work that was owned and occupied by a person of great importance, and was directly connected to a momentous event in the person's endeavors or the history of the nation. For purposes of this paragraph, personal events such as birth, death, marriage, social interaction, and the like shall not be deemed to be momentous;
 4. It is an exceptional property that was owned and occupied by a person of great local prominence;
 5. It is an iconic property; or
 6. The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.

Historical Integrity. "Integrity is the ability of a property to convey its significance." In addition to meeting the criteria of significance, a property must have integrity. Integrity is the authenticity of a property's physical identity clearly indicated by the retention of characteristics that existed during the property's period of significance. Properties eligible for local landmark designation must meet at least two of the local landmark designation criteria and retain enough of their historic character or appearance to be recognizable as historical resources and to convey the reasons for their historical significance.

Both the National Register of Historic Places and the California Register of Historical Resources recognize the seven aspects of qualities that, in various combinations, define integrity. To retain historic integrity a property should possess several, and usually most, of these seven aspects. Thus, the retention of the specific aspects of integrity is paramount for a property to convey its significance. The seven qualities that define integrity are location, design, setting, materials, workmanship, feeling and association. The seven qualities or aspects of historical integrity are defined as follows:

- Location is the place where the historic property was constructed or the place where the historic event occurred.
- Design is the combination of elements that create the form, plan, space, structure, and style of a property.
- Setting is the physical environment of a historic property.
- Materials are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a

historic property.

- Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- Feeling is a property's expression of the aesthetic or historic sense of a particular period of time.
- Association is the direct link between an important historic event or person and a historic property.

EVALUATION OF HISTORICAL SIGNIFICANCE

Application of City Landmark (Significance) Criteria. Based on the current research and the assessment herein the property located at 9570 Virginia Place appears to satisfy the necessary City of Beverly Hills landmark criteria. The property was evaluated according to statutory criteria, as follows:

A. A landmark must satisfy all of the following requirements (BHMC 10-3-3212(A)):

1. *It is at least 45 years (45) years of age, or is a property of extraordinary significance.*

The subject property was built in 1935, and, therefore, satisfies this criterion.

2. *It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural style or architectural type or architectural period.*

The property is a good residential example of Georgian Revival architecture, a subtype of the Colonial Revival style, as it incorporates many of the typical features that define that idiom. Aspects of the design reflect the traditional styles that are closely associated with Beverly Hills during the 1920s and 1930s. Stylistic features of the Georgian Revival style incorporated in the property include the building's symmetrical composition and massing, five bay configuration, roof shape and treatment, cladding materials, extensive use of molding details, fenestration type and window treatments, entry porticos, and general siting. The Tallman-Stern Residence embodies the distinctive characteristics of a particular architectural style, period of time, and materials of construction. Therefore, the property appears to satisfy this criterion.

3. *It retains substantial integrity from its period of significance.*

The period of significance for the subject property is 1935, which is when the single-family residence with attached garage was constructed. A limited number of alterations have occurred to the property. Most of those; however, were sympathetic and compatible to the overall historic character of the property or were restricted to the interior of the house. In terms of historical integrity, the exterior of the property still retains those key physical characteristics of design,

materials, workmanship, setting, feeling, and association that define its architectural style and conveys its historical significance. Therefore, the property appears to satisfy this criterion.

4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.*

Because of its architectural character and contribution to the City's architectural heritage the property is considered to have historic value. Therefore, the property appears to satisfy this criterion.

B. In addition to the requirements set forth in Paragraph A above, a landmark must satisfy at least one of the following requirements (BHMC 10-3-3212(B)):

1. *It is listed on the National Register of Historic Places.*

The subject property is not listed on the National Register of Historic Places. Therefore, the property does not satisfy this criterion.

2. *It is an exceptional work by a master architect.*

The 9570 Virginia Place property was designed by Gerard Colcord, a Beverly Hills based architect who catered to the elite of Hollywood's society. Colcord is included in the City's List of Master Architects. The subject property is an example of Colcord's varied portfolio of architectural work, which spans many decades. However, it does not appear to be an exceptional work of the architect within the local community as there has been no recognition of the property in professional trade journals or in other similar publications. Despite the dwelling being reflective of a particular style, period of time, and method of construction, it is not necessarily a distinctive or exceptional example of Colcord's recognized distinguishing "Country Colonial" style. There are other extant examples of Colcord's work within the City that better represents and expresses his known and respected architectural values associated with the Colonial Revival style.

Therefore, the property does not appear to satisfy this criterion.

3. *It is an exceptional work that was owned and occupied by a person of great importance, and was directly connected to a momentous event in the person's endeavors or the history of the nation. For purposes of this paragraph, personal events such as birth, death, marriage, social interaction, and the like shall not be deemed to be momentous.*

The archival research data reviewed on the property did not indicate that it was owned and occupied by a person of great importance. Therefore, the property does not satisfy this criterion.

4. *It is an exceptional property that was owned and occupied by a person of great local prominence.*

In reviewing archival research data on the history of the property there was no indication that it was owned and occupied by a person of great local prominence. Therefore, the property does not satisfy this criterion.

5. *It is an iconic property.*

There is no indication that the property should be considered iconic within the city. The property has not been documented in any professional architectural publications or trades magazines and is not highly visible from the public right-of-way as it is sited behind a tall privacy wall that runs along the front property line. Therefore, the property does not satisfy this criterion.

6. *The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.*

The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Character-defining Features. Every historic property is unique, with its own identity and its own distinguishing character. A property's form and detailing are important in defining its visual historic character and significance. It is a property's tangible features or elements that embody its significance for association with specific historical events, important personages, or distinctive architecture and it is those tangible elements; therefore, that should be retained and preserved.

Character refers to all those visual aspects and physical features that comprise the appearance of every historic property. According to *National Park Service Brief 17, Architectural Character: Identifying the Visual Aspects of Historic Buildings as an Aid to Preserving Their Character*, character-defining features include the overall shape of a property (building, structure, etc.), its material, craftsmanship, decorative details, interior spaces and features (as applicable), as well as the various aspects of its site and immediate environment (form, configuration and orientation).

The *Secretary of the Interior's Standards for the Treatment of Historic Properties* defines historic character by the form and detailing of materials, such as masonry, wood, stucco, plaster, terra cotta, metal, etc.; specific features, such as roofs, porches, windows and window elements, moldings, staircases, chimneys, driveways, garages, landscape and hardscape elements, etc.; as well as spatial relationships between buildings, structures, and features; room configurations; and archaic structural and mechanical systems. Identifying those features or elements that give a historic property visual character and which should be taken into account and preserved to the maximum extent possible is important in order for the property to maintain its historical significance.

The character-defining features associated with the 9570 Virginia Place residence are those exterior features on the property that reflect and define its Georgian Revival architectural style. Such features include, but are not limited to the following:

- Height, shape (rectangular) and mass of the dwelling in relationship to its property type, setting, topography and immediate residential environment
- Symmetrical façade and arrange of features (doors and windows) and bays along east and north elevations (five bay arrangement along north elevation)
- Varied low-pitch hipped roof with minimal overhanging boxed eaves
- Enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double wood doors
- Panel front entry door, centered with arch shape pediment supported by decorative pilasters (north elevations)
- Smooth stucco exterior siding material, noting finish, texture, overall appearance
- Cornice trim and molding details; segmental dormer windows
- Molded beltcourse(s) along east, west, and north elevations
- Multi-pane (four over three) sash type wood-frame windows with flanking louvered shutters and “S” scrolled shutter dogs (fasteners), molded wood casings, sills, and molded lintels with key stones (noting existing shape, size, and placement) along east, north, and west elevations.
- Oculus (round) 2/2 wood-frame hinged windows at the upper floor flanking the chimney
- Brick chimneys sheathed in stucco plaster (size, shape, material, location, width and height) with trim molding
- Attached one-story wing with integrated two-bay garage off west elevation
- Extended privacy wall (stucco with tiled molded coping and embedded metal framed mail slot) off east elevation portico entrance

CONCLUSION

The single-family dwelling located at 9570 Virginia Place appears to satisfy the City’s criteria for designation as a local Landmark as required in Section 10-3-3212 of the Historic Preservation Ordinance (BHMC Title 10 Chapter 3 Article 32). This site appears to satisfy all of the mandates of subsection A. and one of the mandates under subsection B.

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APPENDIX

Regional Map

Location Map

Site Map

Assessor Parcel Map

Sanborn Fire Insurance Map (1950)

Building Permit (original)

Ephemeral Material

Photographs

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Regional Location Map



Legend

Notes

9570 Virginia Place
Beverly Hills, CA 90212

1: 9,028



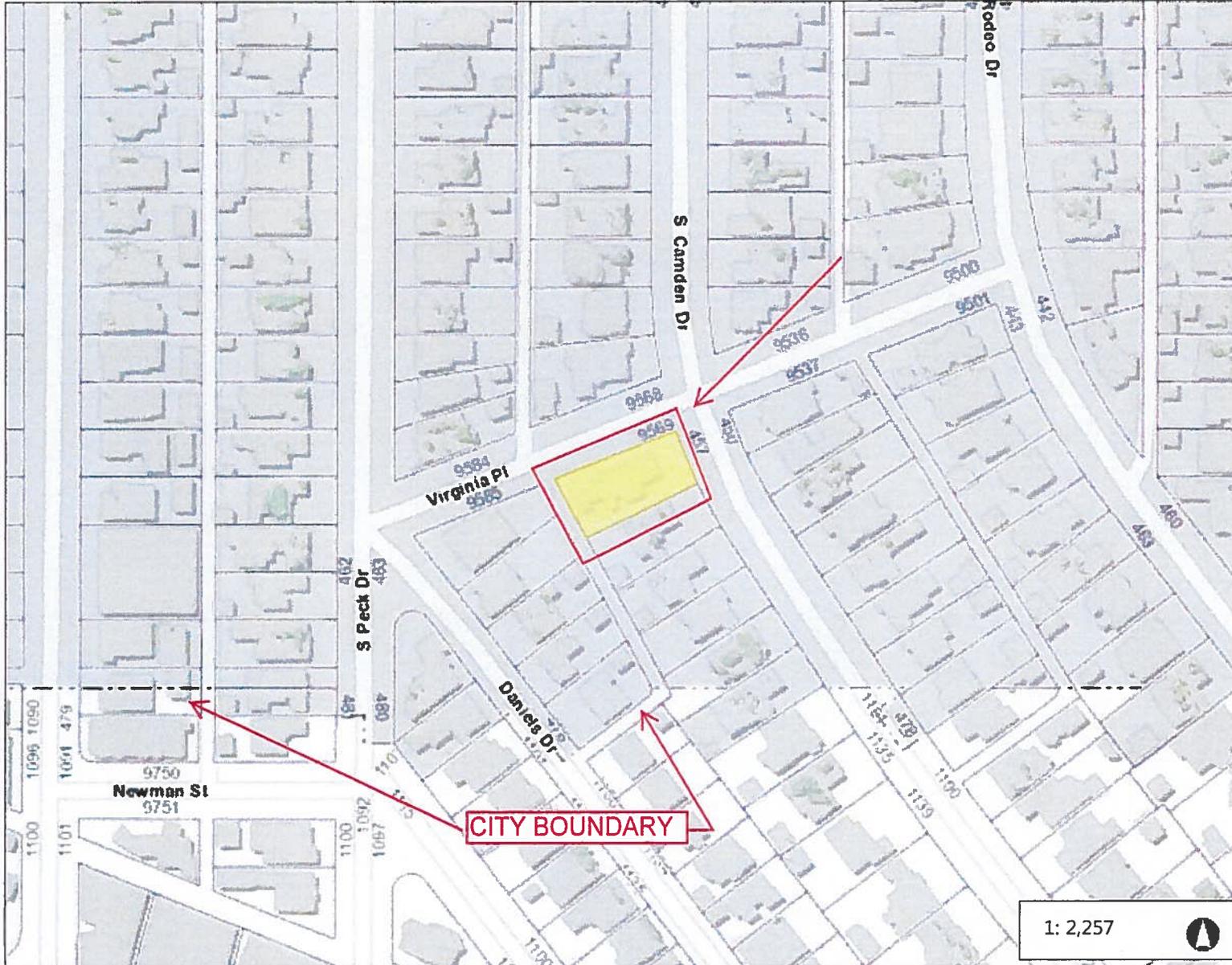
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© Latitude Geographics Group Ltd.

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Location Map



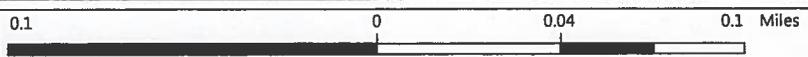
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- Parcels

Notes

9570 Virginia Place
Beverly Hills, CA 90212

1: 2,257 



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SITE MAP LOCATION, Aerial View



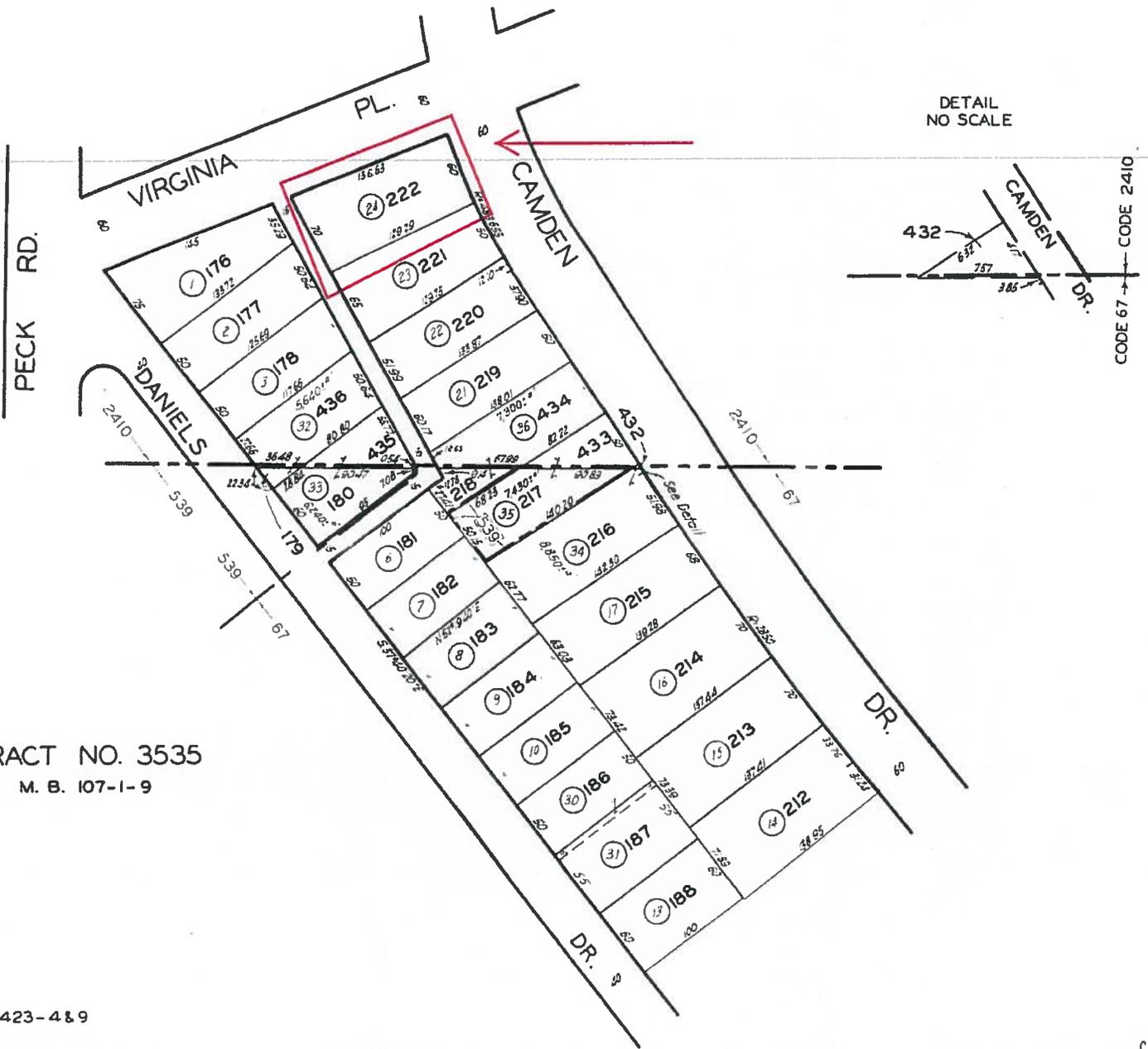
9570 Virginia Place, Beverly Hills, CA

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DETAIL
NO SCALE



TRACT NO. 3535
M. B. 107-1-9

CODE
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FOR PREV. ASSM'T. SEE: 423-4 & 9

ASSESSOR'S MAP
COUNTY OF LOS ANGELES, CALIF.

SANBORN FIRE INSURANCE MAP, Beverly Hills

SCALE 100 FT. TO AN INCH

CAL. .040
Los Angeles, Cal. Vol. 21
2199C

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JUNE 1940

BEVERLY HILLS

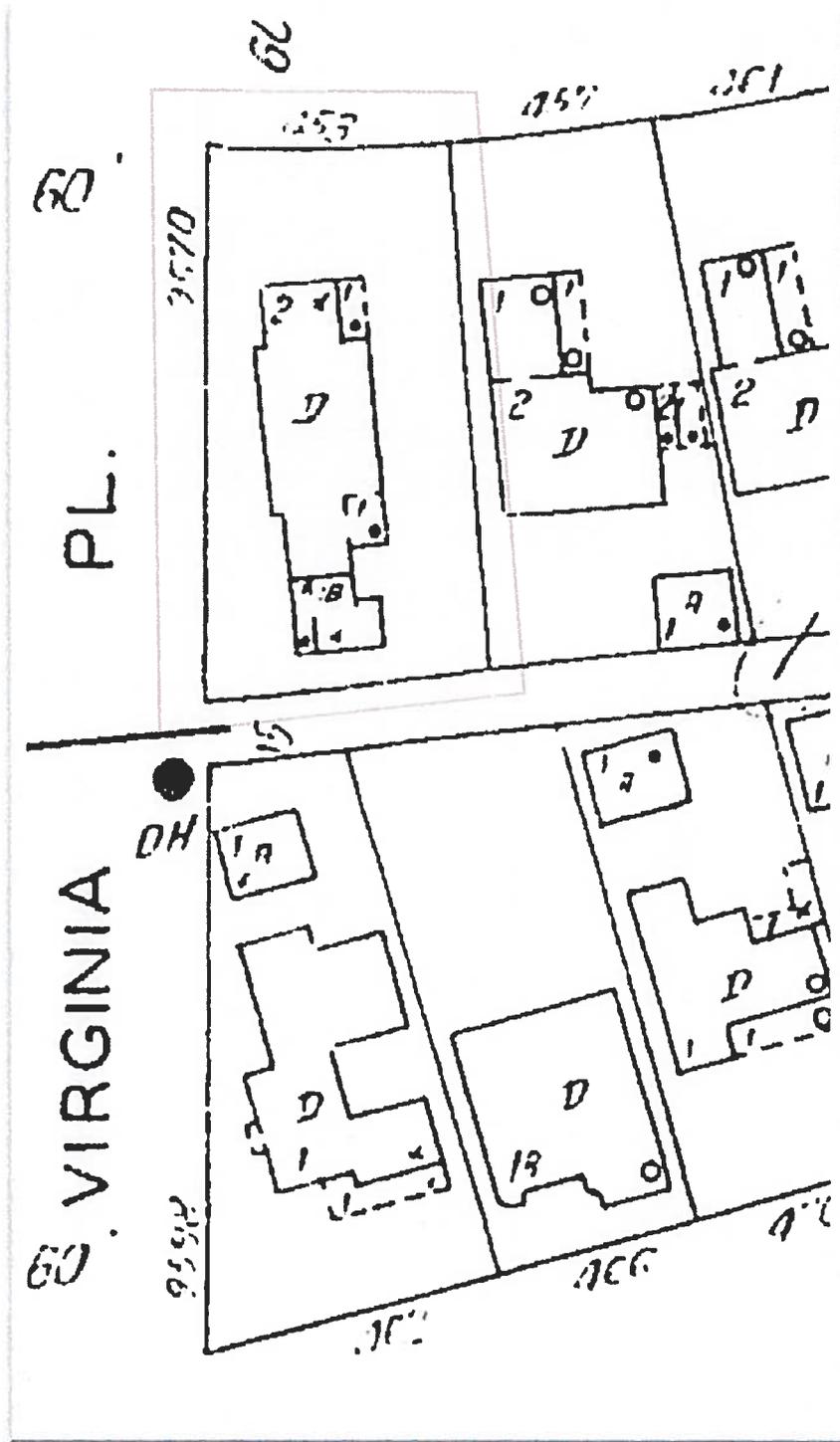
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SANBORN FIRE INSURANCE MAP, Beverly Hills (detail)



All Applications must be filled out by Applicant

PLANS AND SPECIFICATIONS and other data must also be filed

DEPARTMENT OF BUILDINGS

Application for the Erection of Buildings

JUN 19 1935

CLASS.....

TO THE CITY COUNCIL OF THE CITY OF BEVERLY HILLS:

Application is hereby made to the Council of the City of Beverly Hills, through the office of the Chief Inspector of Buildings for a permit in accordance with the description and for the purpose hereinafter set forth. This application is made subject to the following conditions, which shall be deemed conditions entering into the exercise of the permit:

FIRST: That the permit does not grant any right or privilege to erect any building or other structure herein described, or any portion thereof, upon any street, alley, or other public place or portion thereof.

SECOND: That the permit does not grant any right or privilege to use any building or other structure therein described, or any portion thereof, for any purpose that is, or may hereafter be prohibited by ordinance of the City of Beverly Hills.

THIRD: That the granting of the permit does not affect or prejudice any claim of title to, or right of possession in, the property described in such permit.

Lot No. 222 Block _____ Tract 3535
(Description of Job)

No. 453 So. CAMDEN Street
75
(Location of Property)

(USE INK OR INDELIBLE PENCIL)

- Purpose of Building RESIDENCE No. of Rooms 9 No. of Families 1
- Owner's Name DR. HARTLE TALLMAN Phone _____
- Owner's Address 9433 SANTA MONICA
- Architect's Name GERARD CALCORD Phone _____
- Contractor's Name JAMES WARMINGTON Phone CR 6998
- Contractor's Address 9433 STA MONICA BLVD
- VALUATION OF PROPOSED BLDG. {including Plumbing, Gas Fitting, Sewers, Ceaspoils, Elevators, Painting, Finishing, all Labor, etc.} \$10,000
- Is there any existing building on lot? No How used? _____
- Clear Height of Ceiling: Bath, Toilet 7'6" Living Rooms 7'6" Halls 7'6" Cellars 5'
(State Law)
- Number of Stories 2 Height to Highest Point 21'
- Size of Lot 60 x 30 Area of Lot 1800 Per Cent of Area Covered by All Buildings _____
(Fill out Item 3 on No. 11 in case of Courts, Apartments, Hotels only.)
- Set Back from Property Line {including balconies, bays, porches, chimneys, steps, etc.} Front 30 Rear 12 Side 12
- Foundation Material con. Footing Width 16" Depth Below Natural Ground 12"
- Height of Foundation Above Finished Grade 1'8" Wall Width 2 x 10 Mud Sills 2 x 6
- Joist Clearance from Ground 1'8" Girders 4 x 4 Posts Under Girders 4 x 4
- Chimney Material Br. No. of Inlets to Flue _____ Sizes, Flues 3 x 18 Thickness of Chimney Wall 4"
- Materials of Exterior Walls Plaster Material of Interior Construction 2nd & 3rd Floor
- Will all Provisions of State Dwelling House Act be complied with? Yes
- EXTERIOR Studs 2 x 6 INTERIOR BEARING Studs 2 x 4 Interior Non-Bearing Studs 2 x 3 Ceiling Joists 2 x 4 Roof Rafters 2 x 4 FIRST FLOOR JOISTS 2 x 8 Second Floor Joists 2 x 10 Roof Material Shingles
- Location of Plumbing Cleanouts _____ Depth of Sewer "Y" _____ Sewer Length _____ Fall per ft. 1/4

I have carefully examined and read the above application and know the same to be true and correct, and that all provisions of the Ordinances and Laws governing Building Construction will be complied with, whether herein specified or not.

(Sign Here) Wm. Warmington
(Owner or Authorized Agent)

(FOR DEPARTMENT USE ONLY)

| | | | |
|---------------------------|---|------------------------------------|----------------------------------|
| PERMIT NO. <u>1329</u> | Plans & Specifications checked and found to conform to Ordinances, State Laws, Etc. | Application checked and found O.K. | Stamp here when permit is issued |
| | Plan Examiner | <u>V. M. Stinson</u> Clerk | JUN 20 1935 |

O. Barwood
Superintendent of Building.

EPHEMERAL MATERIAL

NEW BUILDINGS ANNOUNCED HERE

Two Apartments, Duplex and Two Houses Slated To Rise Within Short Time

Two costly apartment buildings, two residences and a duplex were among new construction projects listed this week with the Beverly Hills building department.

Permit was issued to the Beverly-Wilshire Construction Company, 9623 Brighton Way, for a \$22,500 eight-family apartment building at 129-131 S. Peck Drive. The other apartment, providing for six families, will rise at 145-147 S. Bedford Drive at a cost of \$15,000. George A. Frolely is the owner. Plans were drawn by Arthur W. Hawes and Frank Frolely holds the contract.

Dr. Hartle Tallman will erect a \$10,000 two-story residence containing nine rooms at 453 S. Camden Drive. Gerald Colcord is the architect and contracting will be done by William C. Warmington 4433

Beverly Hills Citizen

June, 20, 1935

Beverly Hills Citizen

June 27, 1935

Permit for the \$10,000 Dr. Hartle Tallman residence at 453 S. Camden Drive, for which Gerard Colcord drew plans and William C. Warmington holds the contract, was issued this week. The house will be of stucco exterior with shingle roof, containing nine rooms.

MOVING INTO NEW HOME

Dr. and Mrs. Hartle Tallman and family of South Crescent Drive, plan to move into their new home a few days after Christmas. The place is an attractive, two-story house of French-Georgian design. It is located at Camden Drive and Virginia Place.

Beverly Hills Citizen

December 27, 1935

PHOTOGRAPHS: 9570 VIRGINIA PLACE



PHOTO - 1: Contextual view (east elevation) from Camden Drive

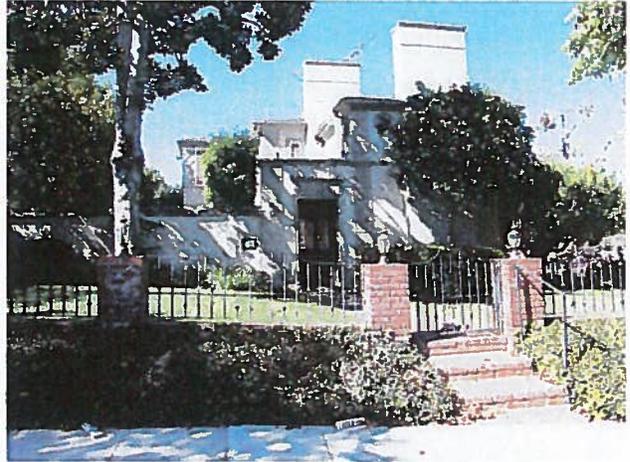


PHOTO - 2: East elevation, detail, looking west



PHOTO - 3: Oblique context view, looking southwest



PHOTO - 4: North façade of property, looking south



PHOTO - 5: Contextual view- north elevation, looking southwest



PHOTO - 6: North elevation with garage wing, looking south

PHOTOGRAPHS: 9570 VIRGINIA PLACE

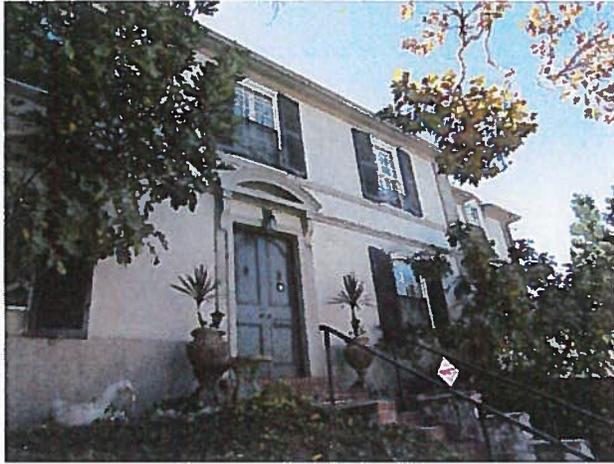


PHOTO - 7: North facade elevation, detail



PHOTO - 8: Entry approach at north elevation, looking south

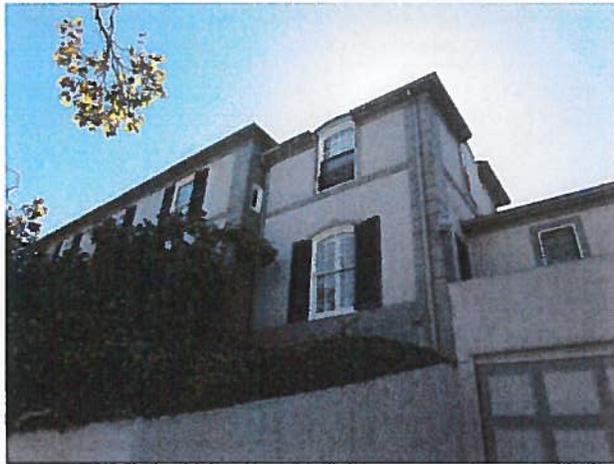


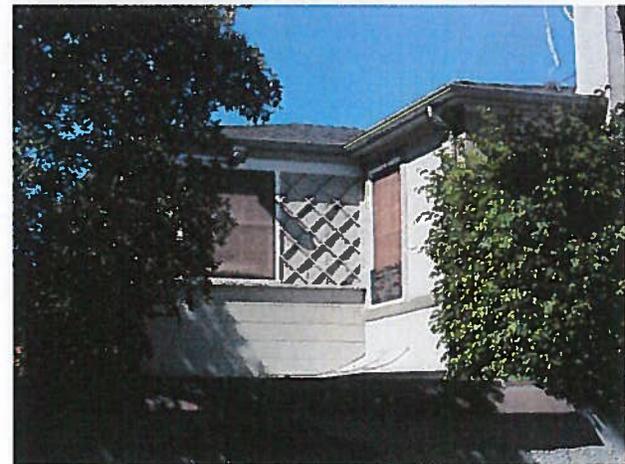
PHOTO - 9: Oblique view north facade/west (side) elevations



PHOTO - 10: Garage area with wing above, looking south



PHOTO - 11: Entry portico detail off east elevation



**PHOTO - 12: Detail features along side and rear yard
(east, west elevations)**

OSTASHAY & ASSOCIATES CONSULTING

PO BOX 542

LONG BEACH, CA 90801

562.500.9451



City Council Agenda Report

November 15, 2016
Landmark Designations

Attachment 3

Cultural Heritage Commission Reports and CHC Resolutions No. 57 & 58
Recommending Landmark Designation of the two properties (excluding attachments)



City of Beverly Hills
Planning Division
455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 285-1141 FAX. (310) 858-5966

Cultural Heritage Commission Report

Meeting Date: July 13, 2016

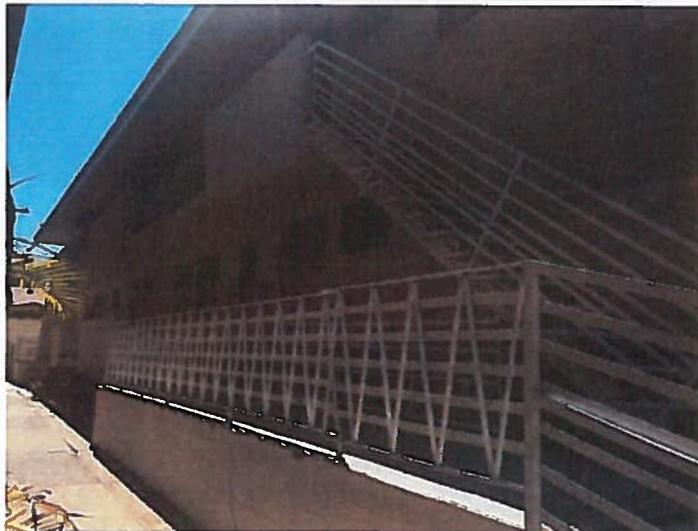
Subject: Preliminary Hearing and Landmark Nomination of the "328 South Rexford Drive Apartment Building" for Inclusion as a Local Landmark onto the Local Register of Historic Properties

Project Applicant: City of Beverly Hills

Recommendation: Conduct a Preliminary Hearing and Adopt a Resolution Recommending City Council Designate the "328 South Rexford Drive Apartment Building" as a Local Landmark

REPORT SUMMARY

The "328 South Rexford Drive Apartment Building" has been assessed for eligibility as a Local Landmark under Beverly Hills Municipal Code (BHMC) Title 10, Chapter 3, Article 32 - Historic Preservation Ordinance (Ord. 15-O-2682, eff. 7-21-2015). A Landmark Assessment Report (Attachment A) provides the background and findings to justify that the property is eligible under BHMC Section 10-3-3212 (Landmark Designation Criteria). The resolution in Attachment C recommends that the City Council designate the "328 South Rexford Drive Apartment Building" as a Landmark and place it on the Local Register of Historic Properties.



Attachment(s):
A. City Landmark and Assessment Evaluation Report
B. Director's Preliminary Evaluation
C. Resolution

Report Author and Contact Information:
Reina Kapadia, AICP
Associate Planner
(310) 285-1129
rkapadia@beverlyhills.org



Cultural Heritage Commission Report

328 South Rexford Drive
Preliminary Hearing & Landmark Nomination
July 13, 2016

BACKGROUND AND DISCUSSION

The two-story, eight-unit Mid-Century apartment building is located in a multi-family residential neighborhood, on the east side of South Rexford Drive, south of Gregory Way and north of Olympic Boulevard. At its July 13th Meeting, the Cultural Heritage Commission will consider initiation of landmark proceedings for the subject property. Should the Cultural Heritage Commission vote to initiate the property, then the Commission will conduct a preliminary hearing and consider whether to nominate the property to the City Council for landmark designation. Pursuant to the Beverly Hills Municipal Code §10-3-3215 A.3, and in conjunction with the initiation of designation proceedings by the Cultural Heritage Commission, the Director has prepared a written Preliminary Evaluation to consider whether sufficient evidence exists to support a finding that all applicable requirements for designation as a landmark appear to have been met based on all of the supporting facts provided. The Director's Preliminary Evaluation for the multi-family property at 328 South Rexford Drive finds that the property may be eligible as a local landmark and a copy of the Preliminary Evaluation is included as Attachment B.

A Landmark Assessment Report (Attachment A) assessing the property for historic significance has been provided by the City's historic consultant, Jan Ostashay of Ostashay & Associates Consulting. The analysis in the report concludes that the property currently retains a sufficient level of integrity, and the findings of significance for local designation can be made for the "328 South Rexford Drive Apartment Building" once a work plan for the restoration of important character-defining features is completed and approved by City Staff. The prerequisites for restoration are outlined on pages 11-13 of the *City Landmark Assessment & Evaluation Report* in Attachment 1.

Pursuant to the requirements in BHMC §10-3-3215A, and in conjunction with the completion of the Director's Preliminary Evaluation, the Cultural Heritage Commission shall determine whether sufficient evidence exists to conclude that the subject property satisfies applicable designation criteria and whether the property merits formal consideration for nomination. If, based on this preliminary evaluation and other evidence provided to the Commission, the Commission determines sufficient evidence exists and the property merits consideration, it shall formally consider the landmark nomination and recommend that the City Council designate the subject property. A resolution recommending nomination of the "328 South Rexford Drive Apartment Building" at 328 South Rexford Drive as a Local Landmark is presented for the Commission's consideration in Attachment C, including Conditions of Approval that the applicant complete the restoration measures identified in the *City Landmark Assessment & Evaluation Report*. These work items may possibly be completed in conjunction with a Mills Act contract, should one be approved by the City Council.

ENVIRONMENTAL ASSESSMENT

Designation of the "328 South Rexford Drive Apartment Building" as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the "328 South Rexford Drive Apartment Building" would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of



Cultural Heritage Commission Report

328 South Rexford Drive
Preliminary Hearing & Landmark Nomination
July 13, 2016

Regulations. It can be seen with certainty that there is no possibility that the designation of the "328 South Rexford Drive Apartment Building" may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant to this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the "328 South Rexford Drive Apartment Building" is an action of the City to protect and preserve an historic resource.

GENERAL PLAN CONSISTENCY

Designation of the "328 South Rexford Drive Apartment Building" as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 – Promote National, State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

PUBLIC OUTREACH AND NOTIFICATION

Pursuant to the requirements in Beverly Hills Municipal Code Section 10-3-3215, notice of the date, time, place, and purpose of the preliminary hearing and nomination hearing were provided in writing, by first class, prepaid mail (and via email) on June 28, 2016. As of the publication of this report, no public comment was received regarding the subject project.

NEXT STEPS

Should the Cultural Heritage Commission nominate the subject property as a local landmark, staff will forward the nomination to the City Council for final approval in order to formally designate the property and list the subject residence on the Beverly Hills Register of Historic Properties.

Report Reviewed By:

A handwritten signature in black ink, appearing to read "Mark Odell", written over a horizontal line.

Mark Odell
Urban Designer

RESOLUTION NO. CHC 57

A RESOLUTION OF THE CULTURAL HERITAGE COMMISSION OF THE CITY OF BEVERLY HILLS NOMINATING THE "SALKIN APARTMENT BUILDING NO. 2" AT 328 SOUTH REXFORD DRIVE, BEVERLY HILLS, FOR INCLUSION ON THE CITY OF BEVERLY HILLS REGISTER OF HISTORIC PROPERTIES

Section 1. Article 32 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code authorizes the City Council to designate local landmarks and historic districts and to place those properties and geographical areas on the City of Beverly Hills Register of Historic Properties.

Section 2. On July 13, 2016, the Director of Community Development finalized a Preliminary Evaluation pursuant to Section 10-3-3215A.3. (Preliminary Evaluation) of the Beverly Hills Municipal Code, finding that the property may be a property eligible for designation as a landmark based on available evidence at the time.

Section 3. On July 13, 2016, the Cultural Heritage Commission conducted a preliminary hearing regarding the apartment building located on the property at 328 South Rexford Dr. in Beverly Hills, pursuant to Section 10-3-3215A.5. (Landmark or Historic District Designation Proceedings; Preliminary Hearing) of the Beverly Hills Municipal Code, and concluded that the "Salkin Apartment Building No. 2" warranted formal consideration by the Commission for inclusion on the City of Beverly Hills Register of Historic Properties. Based on the Preliminary Evaluation issued by the Director and other evidence, the Commission hereby finds that sufficient evidence exists to conclude that the subject property merits formal consideration of

landmark designation, and therefore, concurrently considered whether to nominate the subject property for local landmark designation.

Section 4. On July 13, 2016, the Cultural Heritage Commission considered a *Landmark Assessment and Evaluation Report* for the “Salkin Apartment Building No. 2” prepared by Jan Ostashay of Ostashay & Associates Consulting, which is attached hereto as Exhibit A and incorporated herein by reference, and other evidence provided during the proceedings regarding the potential nomination for landmark designation.

Section 5. BACKGROUND. The two-story, multi-family apartment building at 328 South Rexford Drive is reflective of the vernacular Mid-century Modern style, an architectural style with tenets derived from the International Style. The dwelling is capped by a flat roof and is sheathed in cement plaster. The building has a monumental façade (west elevation) with unit entrances recessed along the first and second stories of the north elevation and large covered balconies along the first and second floors of the south elevation. A paved driveway and below grade carport are accessible from both the street and rear alley along the eastern side of the parcel boundary.

Distinguishing features of the façade include wide stucco covered decorative horizontal panels that are separated by banks of short vertical wood strips recessed within the panels; six stucco covered vertical panels each defined by metal lined recesses; aluminum framed tripartite window units with fixed central frame, flanking jalousies, and metal sill, as remaining in the original design configuration; large elongated metal address numbers rendered in a period-appropriate typeface; and an aluminum brushed canned bullet lamp attached to the lower

horizontal panel at the north end. Concrete steps and non-original ramp with railing situated on the parcel's northwest corner lead to the first floor unit entrances and an exterior staircase that leads to a second story walkway and additional apartment units.

The north (entry unit side) elevation is defined by a series of solids to voids along the first and second floors. Fenestration on both levels consists primarily of large metal framed tripartite windows and sills with central fix frames and flanking jalousies or paired rectangular shape metal framed jalousie windows with metal sills. Entry access into each of the units (four on each floor) is recessed within the exterior wall plane of the north elevation. Some of the doors still retain their original hand cranked doorbells centered on the door. Lighting to the walkways along both floors is provided by original aluminum canned ceiling fixtures. Rectangular stucco panels, similar in design to those facing the street on the facade, are separated by stylized iron railings to enclose the upstairs walkway. A second staircase at the rear of the upper walkway provides an additional means of egress that leads to the alley. A deep flat extension of the main roof (originally covered with rock) shelters the upstairs walkway.

The south (side) elevation contains six semi-enclosed balconies that extend out over the below grade driveway and carport area. There are three large balconies on each separated by fenestration. The balconies are semi-enclosed by vertical wood panel wall railings set within stuccoed mid-height side walls. The upper story balconies are covered by cantilever extensions of the main flat roof while the lower level balconies are sheltered by the extended balconies above. Each balcony is accessed via large sliding doors (some have been replaced; originals are aluminum metal framed) set within the exterior wall plane of each unit. Fenestration along this elevation consists of original metal framed jalousie windows (paired or single).

The rear (east) elevation is more utilitarian in design and includes original metal framed tripartite windows (central fix with flanking jalousies) of varying sizes on both floor levels, a stuccoed back wall, and the enclosed utility service panels.

Landscape features of the property include a raised planter bed enclosed by decorative (perforated) concrete block masonry units set upon a low concrete wall; offset concrete steps that lead to the units along the north elevation; and a solid textured concrete block wall along the eastern property line adjacent to the driveway and carport. Within the raised planter bed are some period-appropriate landscape features such as large lava rocks (original to the design), bird of paradise plants, and what appears to be tree ferns (*Dicksonia antarctica*), among other plantings.

Section 6. FINDINGS AND DESCRIPTION OF PARTICULAR ATTRIBUTES JUSTIFYING LANDMARK DESIGNATION. The Cultural Heritage Commission finds, pursuant to the City of Beverly Hills Historic Preservation Ordinance, that the apartment building satisfies the necessary requirements for designation as a local landmark based on the following:

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.1. *It is at least forty-five (45) years of age, or is a property of extraordinary significance.* The subject property was built in 1956, thus in 2016 it is 60 years old. Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under “significance” criterion A.2. *It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural type or architectural type, or architectural period.* The “Salkin Apartment Building No. 2” is a good, but partially altered example of Vernacular Modern architecture as incorporated into post-World War II multi-family residential design within the City of Beverly Hills. Its original design intent, as planned by architect Jules G. Salkin, embodied distinctive stylistic elements, materials, and workmanship that helped to visually and physically convey and define its modernistic tendencies. Though currently modified the essential form, massing, scale, and general design concepts remain evident. Those key features that are currently missing or have been altered, such as window frames, steps/stairs and railings, balconies, doors, and landscaping, if restored or rehabilitated in an approved work plan and in compliance with the Secretary of the Interiors Standards, would help to further convey the property’s distinctive Vernacular Modern character from its period of significance (1956). Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.3. *It retains substantial integrity from its period of significance.* The period of significance for the subject property is 1956, which is when the apartment building was constructed. The property possesses sufficient historical integrity to convey its original design intent, distinctive Vernacular Modern style, and overall historic character associated with the idiom with the character defining features as described in Section 7 below. Therefore, the property satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under "significance" criterion A.4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.* Despite the loss and alteration of some features, once rehabilitated, the property will serve as a valued mid-century modern multi-family landmark within the city. Its preservation and rehabilitation will help to further the goals and objectives of historic preservation within the local community. Therefore, the property appears to satisfies this criterion.

The “Salkin Apartment Building No. 2” is eligible under “significance” criterion B.6. *The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.* The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Section 7. CHARACTER DEFINING FEATURES THAT SHOULD BE PRESERVED. Use and development of the “Salkin Apartment Building No. 2” shall be governed by the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards). These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The key features that should be preserved are as follows.

The character-defining features associated with the “Salkin Apartment Building No. 2” are those exterior features on the property that reflect and define its Mid- Century Modern architectural style and property type as a multi-family dwelling. Such features include, but are not limited to the following:

- Two-story height with horizontal massing and simple geometric forms;
- Rectangular shape building footprint with landscaped set back;
- Asymmetrical, monumental façade (west elevation) with wide stucco covered decorative horizontal panels separated by banks of short vertical wood strips recessed within the panels and six stucco covered vertical panels each demarcated by metal lined recesses;
- Symmetrical side (north/south) elevations of first and second stories;
- Stucco exterior siding material with small aggregate (texture, finish, overall appearance);
- Flat roof with wide overhanging extensions, eaves, and cantilevers (including materials);
- Flush-mounted metal framed jalousie windows set as pairs or tripartite with central fix frame or singular frame (size, shape, placement, type);
- Exterior metal canned light fixtures at north elevation walkways, plus bullet lamps;
- Extended stucco and wood balconies along south elevation (size, shape, materials, location) with flush-mounted metal sliding glass doors;
- Exterior walkways along north elevation that includes decorative metal railings and stucco panel walls;
- Front yard landscape area, including planter wall of decorative (perforated) concrete block masonry units set upon a low concrete wall, tree ferns (*Dicksonia antarctica*), and lava rocks;
- Monumental front concrete steps, exterior open staircases, and associated decorative metal railing system (including materials, style, size/shape, location, configuration, and overall appearance);

- Large elongated metal address numbers rendered in a period-appropriate typeface attached onto the façade of the building (type, material, style, location, attachment method, general appearance);
- Paved driveway and below-grade carport area accessed from street and alley along southern property boundary.

Section 8. REASONS FOR DESIGNATING THE SALKIN APARTMENT BUILDING NO. 2 AT 328 SOUTH REXFORD DRIVE, AS A LANDMARK. The Cultural Heritage Commission finds that the Salkin Apartment Building No. 2 qualifies for City Landmark designation pursuant to the Beverly Hills Historic Preservation Ordinance. The property at 328 South Rexford Drive is, therefore, recommended for landmark designation based on the recommendations in the *City Landmark Assessment and Evaluation Report* contained in Exhibit A and the Cultural Heritage Commission deliberations.

Section 9. GENERAL GUIDELINES AND STANDARDS FOR FUTURE PROPOSED CHANGES PURSUANT TO THE HISTORIC PRESERVATION ORDINANCE. The *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards and Guidelines) are incorporated as reference. These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The guidelines and standards are an aid to public and private property owners, and others, formulating plans for new plantings, constructions, for rehabilitation or alteration of existing landscapes, associated structures, and for site development. The SOI

Standards and Guidelines are also designed to be standards which City Staff and the Cultural Heritage Commission shall apply when making decisions about Certificates of Appropriateness as required by the City of Beverly Hills Historic Preservation Ordinance. The location and boundaries of the delineated resource are the property boundaries.

Section 10. ENVIRONMENTAL ANALYSIS. Designation of the “Salkin Apartment Building No. 2” as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the “Salkin Apartment Building No. 2” would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designation of the “Salkin Apartment Building No. 2” may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the “Salkin Apartment Building No. 2” is an action of the City to protect and preserve an historic resource.

Section 11. GENERAL PLAN CONSISTENCY. Designation of the “Salkin Apartment Building No. 2” as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 - Promote National,

State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

Section 12. The Cultural Heritage Commission hereby nominates, and recommends that the City Council designate, the "Salkin Apartment Building No. 2" as a local landmark included on the City of Beverly Hills Register of Historic Properties.

Section 13. The record of proceedings for designation of the "Salkin Apartment Building No. 2" as a local landmark included on the City's Register of Historic Properties is maintained by the City as part of the official records of the Community Development Department at 455 North Rexford Drive, Beverly Hills, California, 90210.

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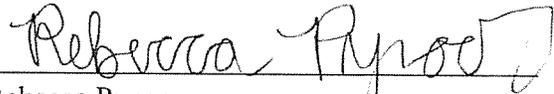
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Section 14. The Secretary shall certify to the adoption of the Resolution and shall cause the Resolution and his certification to be entered in the Book of Resolutions of the Cultural Heritage Commission of the City of Beverly Hills.

Adopted: July 13, 2016.



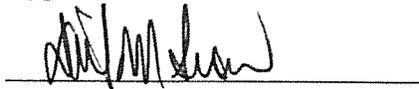
Rebecca Pynoos
Chair of the Cultural Heritage Commission
of the City of Beverly Hills

Attest:



Mark Odell
Secretary of the Cultural Heritage Commission

Approved as to Form:



David M. Snow
Assistant City Attorney

Approved As To Content.



Mark Odell
Urban Designer
Community Development Department

Exhibit A – Landmark Assessment and Evaluation Report and Attachments by Ostashay & Associates Consulting, dated July 2016.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, MARK ODELL, Secretary of the Cultural Heritage Commission and Urban Designer of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. CHC 57 duly passed, approved and adopted by the Cultural Heritage Commission of said City at a meeting of said Commission on July 13, 2016, and thereafter duly signed by the Secretary of the Cultural Heritage Commission, as indicated; and that the Cultural Heritage Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

- AYES: Commissioners Greer, Beck, Vice Chair Furie, Chair Pynoos.
- NOES: None.
- ABSTAIN: None.
- ABSENT: None.
- RECUSED: Commissioner Waldow


MARK ODELL
Secretary of the Cultural Heritage
Commission / Urban Designer
City of Beverly Hills, California



Cultural Heritage Commission Report

Meeting Date: October 5, 2016

Subject: Preliminary Hearing and Landmark Nomination of the "Tallman-Stern Residence" at 9570 Virginia Place for inclusion as a Local Landmark onto the Beverly Hills Register of Historic Properties

Project Applicant: Commission-Initiated

Recommendation: Conduct a Preliminary Hearing and adopt a resolution recommending City Council designate the "Tallman-Stern Residence" as a Local Landmark

REPORT SUMMARY

The "Tallman-Stern Residence" at 9570 Virginia Place has been assessed for eligibility as a Local Landmark under Beverly Hills Municipal Code (BHMC) Title 10, Chapter 3, Article 32 - Historic Preservation Ordinance (Ord. 15-O-2682, eff. 7-21-2015). A Landmark Assessment Report (Attachment A) provides the background and findings to justify that the property is eligible under BHMC Section 10-3-3212 (Landmark Designation Criteria). The resolution in Attachment D recommends that the City Council designate the "Tallman-Stern Residence" as a Landmark and place it on the Local Register of Historic Properties.



*9570 Virginia Place
As viewed from Virginia Place*



*9570 Virginia Place
As viewed from Camden Drive*

- Attachment(s):**
- A. City Landmark and Assessment Evaluation Report
 - B. Director's Preliminary Evaluation
 - C. Resolution

Report Author and Contact Information:
Reina Kapadia, AICP
Associate Planner
(310) 285-1129
rkapadia@beverlyhills.org



Cultural Heritage Commission Report

9570 Virginia Place – Landmark Nomination

October 5, 2016

BACKGROUND

The two-story residence at 9570 Virginia Place is sited on a rectangular-shaped, gently sloped parcel at the corner of Virginia Place and South Camden Drive in the southwestern area of the city. The dwelling is set back from the both South Camden Drive and Virginia Place with a low-rise garden wall with a wrought iron fence that wraps the eastern portion of the property. An attached wing that forms the garage with habitable space above and a paved driveway are sited to the immediate west of the main massing of the residence along Virginia Place.

The residence was designed in the Georgian Revival style, a subtype of the Colonial Revival idiom, by Master Architect Gerard Colcord in 1935. The exterior surface is finished in a smooth stucco plaster with a decorative quoining treatment at the corners. The structure is capped by a low-pitch hip roof with minimal overhanging eaves and wide cornice trim. The lower story is given prominence by the placement of a molded stringcourse that separates the two levels with a double stringcourse highlighting the Virginia Place elevation and the entry door and classically inspired arched pediment on this façade. The dwelling has two primary elevations, as it has two distinct formal entrances off its east (Camden Drive) and north (Virginia Place) elevations.

The entry at the Camden Drive elevation (east) is defined by a monumental entry portal, long brick walkway, and stucco wall with tile cap that encloses a patio, side yard, and the front door porch space. Features along this elevation include an engaged brick chimney, two oculus wood-frame windows flanking the chimney at the upper floor, quoining details at the corners, stringcourse, enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double doors, and one-story covered entry porch space and door (concealed behind the front wall and entry portal). Carefully manicured landscape that includes a mature tree, grassy lawn, low-growing shrubs, and a brick walkway enhances the formal quality of the architecture.

The façade of the north elevation of the house is symmetrically arranged and contains five bays punctuated by four-over-three wood-frame sash windows with metal "S" scrolled "shutter dogs" (fasteners) and a central entry portico on the lower story. Molded lintels (some arch shaped with keystones), casings, sills and louvered shutters embellish the windows. Non-original metal screen guard rails have also been added to some of the window openings along this elevation. Molded stringcourses; a multi-panel, double entry door (wood) framed by thinly molded engaged pilasters; scrolled brackets; and an arched shaped pediment accents the front door portico. A stucco sheathed garage wing with a set back upper floor is attached off the west elevation of the house. The north elevation of the two bay garage wing includes two openings off the driveway with period-appropriate multi-panel garage doors and an upper level capped with a low-pitch hip roof and punctuated by two small multi-pane casement windows framed by flat surrounds. Landscaping along this side of the structure includes a stucco covered retaining wall that follows the change in topography of the sidewalk/parcel, brick stairs that lead up to the entry portico, and low-growing shrubs and plants.

The full list of character-defining features of the property is included as Section 7 of the Resolution (Attachment C).

At its October 5th Meeting, the Cultural Heritage Commission will vote to initiate landmark designation proceedings on the subject property. A Landmark Assessment Report (Attachment



Cultural Heritage Commission Report

9570 Virginia Place – Landmark Nomination

October 5, 2016

A) assessing the property for historic significance has been provided by the City's historic consultant, Jan Ostashay of Ostashay & Associates Consulting. This report concludes that the "Tallman-Stern Residence" satisfies the requirements for landmark eligibility under the City's Historic Preservation Ordinance.

Pursuant to the Beverly Hills Municipal Code §10-3-3215 A.3, and in conjunction with the initiation of designation proceedings by the Cultural Heritage Commission, the Director has prepared a written Preliminary Evaluation that has determined sufficient evidence exists to support a finding that all applicable requirements for designation as a landmark appear to have been met based on all of the supporting facts provided. The Director's Preliminary Evaluation for the "Tallman-Stern Residence" at 9570 Virginia Place finds that the property appears eligible as a local landmark and a copy of the Preliminary Evaluation is included as Attachment B.

Pursuant to the requirements in BHMC §10-3-3215A, and in conjunction with the completion of the Director's Preliminary Evaluation, the Cultural Heritage Commission shall determine whether sufficient evidence exists to conclude that the subject property satisfies all applicable designation criteria and whether the property merits formal consideration for nomination. If, based on this preliminary evaluation and other evidence provided to the Commission, the Commission determines sufficient evidence exists and the property merits consideration, it shall formally consider the landmark nomination and recommend that the City Council designate the subject property. A resolution recommending nomination of the "Tallman-Stern Residence" at 9570 Virginia Place as a Local Landmark is presented for the Commission's consideration in Attachment C.

ENVIRONMENTAL ASSESSMENT

Designation of the "Tallman-Stern Residence" as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the "Tallman-Stern Residence" would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designation of the "Tallman-Stern Residence" may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant to this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the "Tallman-Stern Residence" is an action of the City to protect and preserve an historic resource.

GENERAL PLAN CONSISTENCY

Designation of the "Tallman-Stern Residence" as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 – Promote National, State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

PUBLIC OUTREACH AND NOTIFICATION

Pursuant to the requirements in Beverly Hills Municipal Code Section 10-3-3215, notice of the date, time, place, and purpose of the preliminary hearing and nomination hearing were provided in writing, by first class, prepaid mail to the property owner on September 23, 2016. The



Cultural Heritage Commission Report

9570 Virginia Place – Landmark Nomination

October 5, 2016

homeowners have indicated their general support of the landmark designation. As of the publication of this report, no public comment was received regarding the subject project.

NEXT STEPS

Should the Cultural Heritage Commission nominate the subject property as a local landmark, staff will forward the nomination to the City Council for final approval in order to formally designate the property and list the subject residence on the Local Register of Historic Properties.

Report Reviewed By:

A handwritten signature in black ink, appearing to read "Mark Odell", written over a horizontal line.

Mark Odell
Urban Designer

RESOLUTION NO. CHC 58

A RESOLUTION OF THE CULTURAL HERITAGE COMMISSION OF THE CITY OF BEVERLY HILLS NOMINATING THE “TALLMAN – STERN RESIDENCE” AT 9570 VIRGINIA PLACE, BEVERLY HILLS, FOR INCLUSION ON THE CITY OF BEVERLY HILLS REGISTER OF HISTORIC PROPERTIES

Section 1. Article 32 of Chapter 3 of Title 10 of the Beverly Hills Municipal Code authorizes the City Council to designate local landmarks and historic districts and to place those properties and geographical areas on the City of Beverly Hills Register of Historic Properties.

Section 2. On October 5, 2016, the Director of Community Development finalized a Preliminary Evaluation pursuant to Section 10-3-3215A.3. (Preliminary Evaluation) of the Beverly Hills Municipal Code, finding that the property may be a property eligible for designation as a landmark based on available evidence at the time.

Section 3. On October 5, 2016, the Cultural Heritage Commission conducted a preliminary hearing regarding the apartment building located on the property at 9570 Virginia Place in Beverly Hills, pursuant to Section 10-3-3215A.5. (Landmark or Historic District Designation Proceedings; Preliminary Hearing) of the Beverly Hills Municipal Code, and concluded that the “Tallman-Stern Residence” warranted formal consideration by the Commission for inclusion on the City of Beverly Hills Register of Historic Properties. Based on the Preliminary Evaluation issued by the Director and other evidence, the Commission hereby finds that sufficient evidence exists to conclude that the subject property merits formal

consideration of landmark designation, and therefore, concurrently considered whether to nominate the subject property for local landmark designation.

Section 4. On October 5, 2016, the Cultural Heritage Commission considered a *Landmark Assessment and Evaluation Report* for the “Tallman-Stern Residence” prepared by Jan Ostashay of Ostashay & Associates Consulting, which is attached hereto as Exhibit A and incorporated herein by reference, and other evidence provided during the proceedings regarding the potential nomination for landmark designation.

Section 5. BACKGROUND. The two-story residence at 9570 Virginia Place is sited on a rectangular-shaped, gently sloped parcel at the corner of Virginia Place and South Camden Drive in the southwestern area of the city. The dwelling is set back from the both South Camden Drive and Virginia Place with a low-rise garden wall with a wrought iron fence that wraps the eastern portion of the property. An attached wing that forms the garage with habitable space above and a paved driveway are sited to the immediate west of the main massing of the residence along Virginia Place.

The residence was designed in the Georgian Revival style, a subtype of the Colonial Revival idiom, by Master Architect Gerard Colcord in 1935. The exterior surface is finished in a smooth stucco plaster with a decorative quoining treatment at the corners. The structure is capped by a low-pitch hip roof with minimal overhanging eaves and wide cornice trim. The lower story is given prominence by the placement of a molded stringcourse that separates the two levels with a double stringcourse highlighting the Virginia Place elevation and the entry door and classically inspired arched pediment on this façade. The dwelling has two primary

elevations, as it has two distinct formal entrances off its east (Camden Drive) and north (Virginia Place) elevations.

The entry at the Camden Drive elevation (east) is defined by a monumental entry portal, long brick walkway, and stucco wall with tile cap that encloses a patio, side yard, and the front door porch space. Features along this elevation include an engaged brick chimney, two oculus wood-frame windows flanking the chimney at the upper floor, quoining details at the corners, stringcourse, enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double doors, and one-story covered entry porch space and door (concealed behind the front wall and entry portal). Carefully manicured landscape that includes a mature tree, grassy lawn, low-growing shrubs, and a brick walkway enhances the formal quality of the architecture.

The façade of the north elevation of the house is symmetrically arranged and contains five bays punctuated by four-over-three wood-frame sash windows with metal “S” scrolled “shutter dogs” (fasteners) and a central entry portico on the lower story. Molded lintels (some arch shaped with keystones), casings, sills and louvered shutters embellish the windows. Non-original metal screen guard rails have also been added to some of the window openings along this elevation. Molded stringcourses; a multi-panel, double entry door (wood) framed by thinly molded engaged pilasters; scrolled brackets; and an arched shaped pediment accents the front door portico. A stucco sheathed garage wing with a setback upper floor is attached off the west elevation of the house. The north elevation of the two bay garage wing includes two openings off the driveway with period-appropriate multi-panel garage doors and an upper level capped with a low-pitch hip roof and punctuated by two small multi-pane casement windows framed by flat surrounds. Landscaping along this side of the structure includes a stucco covered retaining wall that follows the change in topography of the sidewalk/parcel, brick stairs that lead up to

the entry portico, and low-growing shrubs and plants.

Section 6. FINDINGS AND DESCRIPTION OF PARTICULAR ATTRIBUTES JUSTIFYING LANDMARK DESIGNATION. The Cultural Heritage Commission finds, pursuant to the City of Beverly Hills Historic Preservation Ordinance, that the apartment building satisfies the necessary requirements for designation as a local landmark based on the following:

The “Tallman-Stern Residence” is eligible under "significance" criterion A.1. *It is at least forty-five (45) years of age, or is a property of extraordinary significance.* The subject property was built in 1935, thus in 2016 it is 81 years old. Therefore, the property satisfies this criterion.

The “Tallman-Stern Residence” is eligible under “significance" criterion A.2. *It possesses high artistic or aesthetic value, and embodies the distinctive characteristics of an architectural type or architectural type, or architectural period.* The property exemplifies the Georgian Revival architectural idiom. It incorporates many of the features of the style in a manner that expresses the high aesthetic value that was closely associated with Beverly Hills in the 1920s and 1930s. Stylistic features incorporated into the property include the property’s general siting and the structure’s symmetrical composition and massing, roof shape and treatment, cladding materials, and entry porticos. The Tallman-Stern Residence embodies the distinctive characteristics of the Georgian Revival style, period, and materials of construction. Therefore, the property satisfies this criterion.

The “Tallman-Stern Residence” is eligible under "significance" criterion A.3. *It retains substantial integrity from its period of significance.* The period of significance for the subject property is 1935, which is when the residence and attached garage were constructed. The exterior of the property retains the key physical characteristics of design, materials, workmanship, setting, feeling, and association that define its architectural style and conveys its historical significance. A limited number of alterations that occurred to the property since 1935 are compatible to the overall historic character and do not adversely impact the property’s significance. Therefore, the property satisfies this criterion.

The “Tallman-Stern Residence” is eligible under "significance" criterion A.4. *It has continued historic value to the community such that its designation as a landmark is reasonable and necessary to promote and further the purposes of this article.* The property is considered to have historic value due to its architectural character and contribution to the City’s architectural heritage. Therefore, the property satisfies this criterion.

The “Tallman-Stern Residence” is eligible under “significance" criterion B.6. *The landmark designation procedure is initiated, or expressly agreed to, by the owner(s) of the property.* The landmark designation procedure was expressly agreed to by the owner(s) of the property. Therefore, the property satisfies this criterion.

Section 7. CHARACTER DEFINING FEATURES THAT SHOULD BE PRESERVED. Use and development of the “Tallman-Stern Residence” shall be governed by the *Secretary of the Interior's Standards for the Treatment of Historic Properties with*

Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings (1995) by Weeks and Grimmer (herein referred to as the SOI Standards). These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The key features that should be preserved are as follows.

The character-defining features associated with the 9570 Virginia Place residence are those exterior features on the property that reflect and define its Georgian Revival architectural style. Such features include, but are not limited to the following:

- Height, shape (rectangular) and mass of the dwelling in relationship to its property type, setting, topography and immediate residential environment
- Symmetrical façade and arrange of features (doors and windows) and bays along east and north elevations (five bay arrangement along north elevation)
- Varied low-pitch hipped roof with minimal overhanging boxed eaves
- Enframed entablature entry portal with wide molded lintel trim and flanking quoined pilasters and ornate double wood doors
- Panel front entry door, centered with arch shape pediment supported by decorative pilasters (north elevations)
- Smooth stucco exterior siding material, noting finish, texture, overall appearance
- Cornice trim and molding details; segmental dormer windows
- Molded beltcourse(s) along east, west, and north elevations
- Multi-pane (four over three) sash type wood-frame windows with flanking louvered shutters and “S” scrolled shutter dogs (fasteners), molded wood casings, sills, and molded lintels with key stones (noting existing shape, size, and placement) along east, north, and west elevations.
- Oculus (round) 2/2 wood-frame hinged windows at the upper floor flanking the chimney
- Brick chimneys sheathed in stucco plaster (size, shape, material, location, width and

height) with trim molding

- Attached one-story wing with integrated two-bay garage off west elevation
- Extended privacy wall (stucco with tiled molded coping and embedded metal framed mail slot) off east elevation portico entrance

Section 8. REASONS FOR DESIGNATING THE TALLMAN-STERN RESIDENCE AT 9570 VIRGINIA PLACE AS A LANDMARK. The Cultural Heritage Commission finds that the Tallman-Stern Residence qualifies for City Landmark designation pursuant to the Beverly Hills Historic Preservation Ordinance. The property at 9570 Virginia Place is, therefore, recommended for landmark designation based on the recommendations in the *City Landmark Assessment and Evaluation Report* contained in Exhibit A and the Cultural Heritage Commission deliberations.

Section 9. GENERAL GUIDELINES AND STANDARDS FOR FUTURE PROPOSED CHANGES PURSUANT TO THE HISTORIC PRESERVATION ORDINANCE. The *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* (1995) by Weeks and Grimmer (herein referred to as the SOI Standards and Guidelines) are incorporated as reference. These standards and guidelines have been formulated to ensure that any significant adverse changes to the property do not compromise those qualities that justify its listing as a landmark. The guidelines and standards are an aid to public and private property owners, and others, formulating plans for new plantings, constructions, for rehabilitation or alteration of existing landscapes, associated structures, and for site development. The SOI Standards and Guidelines are also designed to be standards which City Staff and the Cultural

Heritage Commission shall apply when making decisions about Certificates of Appropriateness as required by the City of Beverly Hills Historic Preservation Ordinance. The location and boundaries of the delineated resource are the property boundaries.

Section 10. ENVIRONMENTAL ANALYSIS. Designation of the “Tallman-Stern Residence” as a local historic landmark was assessed in accordance with the authority and criteria contained in the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the environmental regulations of the City. It has been determined that designation of the “Tallman-Stern Residence” would not have a significant environmental impact and is exempt from CEQA pursuant to Sections 15061(b)(3), 15308, and 15331 of Title 14 of the California Code of Regulations. It can be seen with certainty that there is no possibility that the designation of the “Tallman-Stern Residence” may have a significant effect on the environment, as no specific development is authorized by this resolution, and any future development proposed pursuant this resolution will require separate environmental analysis when the details of those proposals are known. Further, designating the “Tallman-Stern Residence” is an action of the City to protect and preserve an historic resource.

Section 11. GENERAL PLAN CONSISTENCY. Designation of the “Tallman-Stern Residence” as a local historic landmark is consistent with the objectives, principles, and standards of the General Plan. General Plan Policy "HP 1.3 - Promote National, State, and Local Designation of Historic Resources" encourages the establishment of programs encouraging the nomination of landmarks.

Section 12. The Cultural Heritage Commission hereby nominates, and recommends that the City Council designate, the “Tallman-Stern Residence” as a local landmark included on the City of Beverly Hills Register of Historic Properties.

Section 13. The record of proceedings for designation of the “Tallman-Stern Residence” as a local landmark included on the City's Register of Historic Properties is maintained by the City as part of the official records of the Community Development Department at 455 North Rexford Drive, Beverly Hills, California, 90210.

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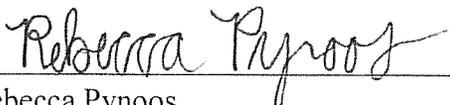
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Section 14. The Secretary shall certify to the adoption of the Resolution and shall cause the Resolution and his certification to be entered in the Book of Resolutions of the Cultural Heritage Commission of the City of Beverly Hills.

Adopted: October 5, 2016.



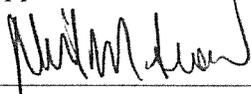
Rebecca Pynoos
Chairperson of the Cultural Heritage
Commission of the City of Beverly Hills

Attest:



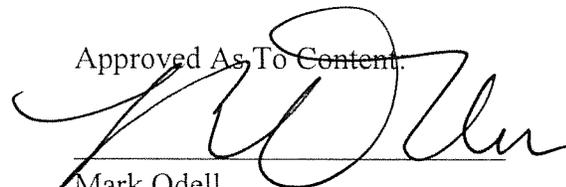
Mark Odell
Secretary of the Cultural Heritage Commission

Approved as to Form:



David M. Snow
Assistant City Attorney

Approved As To Content:



Mark Odell
Urban Designer, Community Development
Department

Exhibit A – Landmark Assessment and Evaluation Report and Attachments by Ostashay & Associates Consulting, dated October 2016.

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, MARK ODELL, Secretary of the Cultural Heritage Commission and Urban Designer of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. CHC 58 duly passed, approved and adopted by the Cultural Heritage Commission of said City at a meeting of said Commission on October 6, 2016, and thereafter duly signed by the Secretary of the Cultural Heritage Commission, as indicated; and that the Cultural Heritage Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES: Commissioners Greer, Beck, Waldow, Vice Chair Furie, Chair Pynoos.
NOES: None.
ABSTAIN: None.
ABSENT: None.



MARK ODELL
Secretary of the Cultural Heritage
Commission / Urban Designer
City of Beverly Hills, California



AGENDA REPORT

Meeting Date: November 15, 2016

Item Number: E-5

To: Honorable Mayor & City Council

From: Ryan Gohlich, Assistant Director of Community Development - City Planner
Timothea Tway, Associate Planner

Subject: 2015 GENERAL PLAN AND HOUSING ELEMENT ANNUAL REPORT

Attachments: 1. 2015 General Plan and Housing Element Implementation Annual Report

RECOMMENDATION

Staff recommends that the City Council receive the attached General Plan and Housing Element Implementation Report for 2015, and direct staff to forward the Annual Report to the State Office of Planning and Research and the Department of Housing and Community Development.

INTRODUCTION

The State requires all jurisdictions to annually file a report of progress made in implementing programs in the General Plan including programs contained in the Housing Element. The City's 2015 Annual Report on General Plan and Housing Element Implementation is attached to this report. One of the state requirements for submitting the annual report is conducting a public hearing at which the City Council may receive public comment on the report. Staff presented the report to the Planning Commission as an information item on November 10, 2016.

DISCUSSION

The attached annual report outlines the current status of the 50 programs included in the City's General Plan and includes information about significant program accomplishments achieved in 2015.

Several highlights, which demonstrate progress in implementing the General Plan, are outlined in the following table. The attached report contains more detailed information on each program in the General Plan.

Highlights from 2015 General Plan Implementation Report

| Action | Description |
|--|---|
| Latest Comprehensive Update | January 12, 2010 - Comprehensively updated all elements in the General Plan, deleted the Scenic Highway Element, and created the Public Service and Historic Preservation Elements. |
| General Plan Amendments Since the 2010 Update | December 17, 2013 - Adoption of the 2014-2021 Housing Element November 15, 2011 - Adoption of the 2006-2013 Housing Element November 15, 2011 - Amendment of the Safety Element to include the City's Hazard Mitigation Management Plan (2015-2021 Hazard Mitigation Management Plan currently underway) |
| 2015 Significant Accomplishments <i>The table beginning page 4 of Attachment 1 highlights accomplishments and progress made on programs in the General Plan. Significant accomplishments are noted to the right.</i> | Affordable Housing: In 2015 the City developed an Affordable Housing Guidelines document to outline the processes related to the development and implementation of affordable housing units in the City. The document was adopted in early 2016. Stage D Conservation Measures: In 2015 the City of Beverly Hills instituted Stage D of the City's Emergency Water Conservation Stages, which mandates conservation measures in order to address the drought. This included prohibition of exterior washing of buildings, additional public information campaigns, restriction of landscape irrigation, and water use reduction requirements. Low Impact Development Standards: In 2015 the City Council adopted Low Impact Development Standards and a Green Streets Policy. Low Impact Development Standards are a set of design approaches and best management practices that promote natural system for infiltration, evapotranspiration and use of storm water to mitigate the impacts of increases in runoff and storm water pollution. Beverly Hills Bike Share: In 2015 the City of Beverly Hills purchased bicycles for the new Beverly Hills Bike Share program, which was successfully launched in 2016. Historic Preservation: In 2015 the City of Beverly Hills nominated an additional three landmarks in the City, bringing the total number of landmarks to 29. Dog Park: The City Council approved the Beverly Hills Dog Park in 2015 and broke ground in early 2016. This is the only dog park in the City of Beverly Hills and is an infill project located in the old industrial area of the City. |

Commissions Framework and Structure: in 2015 the City Council adopted an ordinance to establish clear and consistent regulations for the City's Commissions and further define the charges of certain Commissions.

Next Beverly Hills: Then Mayor Gold launched a committee for "next generation leaders" in order to engage residents and business people ages 25-45. The Committee began meeting regularly in 2015 and defined committee priorities.

2015 Homeless Count: The City of Beverly Hills participated in the 2015 Homeless Count.

Southeast in Motion: In 2015 the City launched the "Southeast in Motion" Community Planning effort to create a community plan for the Southeast Area of Beverly Hills. This effort builds upon the work completed by the Southeast Task Force and has included three community visioning workshops thus far. The work continued into 2016.

Water Capacity Charge: In 2015 the City of Beverly Hills City Council adopted a water capacity charge in order to allocate new connections a proportionate share of the cost of existing facilities and planned capital improvements needed to achieve the City's current water supply goals.

Disaster Reconstruction Ordinance: In 2015 the City Council adopted a Disaster Reconstruction Ordinance to establish regulations for rebuilding after a disaster.

National Night Out and CERT Training: The City continues to hold National Night Out events and Community Emergency Response Team (CERT) training for community members.

The City is currently making progress on many of the programs in the General Plan. Status updates on each program are outlined in the attached report starting on page 4. Currently, the City's General Plan is consistent with State requirements. With the filing of the attached report the City will have met its reporting obligation (General Plan Program 1.1).

Affordable Housing Units and Regional Housing Needs Assessment (RHNA)

Each year the City is required to report to the State the number of housing units permitted. Additionally, the City must report progress made toward the fulfillment of its Regional Housing Needs Assessment (RHNA) allocation. The RHNA allocation is the minimum number of housing units for which each jurisdiction must provide "adequate sites" through zoning, as assigned by the State and the regional planning agency (Southern California Association of Governments). The City of Beverly Hills was allocated the following RHNA for the 2014-2021 Housing Element Cycle:

| Regional Housing Needs Assessment 2014-2021, Beverly Hills | | | |
|--|-----------------|-------|---------|
| Income Level | Percent of AMI* | Units | Percent |
| Extremely Low** | 0-30% | 0 | 0% |
| Very Low | 31-50% | 1 | 33% |
| Low | 51-80% | 1 | 33% |
| Moderate | 81-120% | 1 | 33% |
| Above Moderate | 120%+ | 0 | 0% |
| Total | | 3 | 100% |

Source: <http://SCAG.ca.gov.gov/Housing/rhna.htm>

* AMI – Area Median Income.

** An estimated half of the City's very low income housing needs (0 units) are for extremely low income households.

In 2015, the City made progress toward meeting its RHNA numbers through the permitting of a 23 unit multi-family project that contains two deed restricted affordable units. The 23 unit multi-family building is a density bonus project that includes two very low income units. Since the adoption of the current Housing Element in 2014, the City has permitted a total of seven units that qualify as low or very-low income housing units thereby exceeding the total allocation prescribed by the State. Please see the tables on page 29 of the attached Annual Report for more information on permitted units.

GENERAL PLAN CONSISTENCY

Implementation of the programs and reporting to the State are consistent with the goals and policies in the General Plan including Program 1.1, which calls for the submittal of an annual General Plan report to the State.

PUBLIC NOTICING AND COMMENTS

The public hearing for this item was noticed in local newspapers on November 4, 2016, and November 11, 2016.

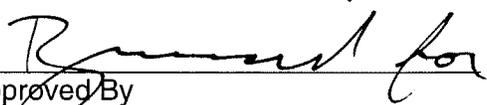
NEXT STEPS

With direction from the City Council, the Annual General Plan and Housing Element Report will be sent to the State Office of Planning and Research and the Department of Housing and Community Development as an update on the City's progress toward implementing the General Plan.

FISCAL IMPACTS

There are no fiscal impacts associated with this report.

Susan Healy Keene, AICP
Director of Community Development


Approved By

Attachment 1

2015 General Plan and Housing
Element Implementation Annual Report

City of Beverly Hills

2015 General Plan and Housing
Element Implementation
Annual Report





Introduction

This report is a summary of progress in meeting the policies and programs in the City of Beverly Hills General Plan. This report is made available annually and captures completed and in-progress work efforts from 2015.

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 - Equity Planning 39
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City Council Review

On _____, 2016, the City Council held a public hearing and received testimony on the goals, policies, and programs in the General Plan. At the end of the public hearing the City Council directed city staff to submit this report to the State Office of Planning and Research and the State Department of Housing and Community Development.

Compliance with State Guidelines

The City of Beverly Hills General Plan is in compliance with State Guidelines.



General Plan Accomplishments

The following table presents important dates and accomplishments in implementing the General Plan.

| Action | Description |
|---|---|
| Latest Comprehensive Update | January 12, 2010 - Comprehensively updated all elements in the General Plan, deleted the Scenic Highway Element, and created the Public Service and Historic Preservation Elements. |
| General Plan Amendments Since the 2010 Update | <p>December 17, 2013 - Adoption of the 2014-2021 Housing Element</p> <p>November 15, 2011 - Adoption of the 2006-2013 Housing Element</p> <p>November 15, 2011 - Amendment of the Safety Element to include the City’s Hazard Mitigation Management Plan (2015-2021 Hazard Mitigation Management Plan currently underway)</p> |
| <p>2015 Significant Accomplishments</p> <p><i>The table beginning page 4 of Attachment 1 highlights accomplishments and progress made on programs in the General Plan. Significant accomplishments are noted to the right.</i></p> | <p>Affordable Housing: In 2015 the City developed an Affordable Housing Guidelines document to outline the processes related to the development and implementation of affordable housing units in the City. The document was adopted in early 2016.</p> <p>Stage D Conservation Measures: In 2015 the City of Beverly Hills instituted Stage D of the City’s Emergency Water Conservation Stages, which mandates conservation measures in order to address the drought. This included prohibition of exterior washing of buildings, additional public information campaigns, restriction of landscape irrigation, and water use reduction requirements.</p> <p>Low Impact Development Standards: In 2015 the City Council adopted Low Impact Development Standards and a Green Streets Policy. Low Impact Development Standards are a set of design approaches and best management practices that promote natural system for infiltration, evapotranspiration and use of storm water to mitigate the impacts of increases in runoff and storm water pollution.</p> <p>Beverly Hills Bike Share: In 2015 the City of Beverly Hills purchased bicycles for the new Beverly Hills Bike Share program, which was successfully launched in 2016.</p> <p>Historic Preservation: In 2015 the City of Beverly Hills nominated an additional three landmarks in the City, bringing the total number of landmarks to 29.</p> <p>Dog Park: The City Council approved the Beverly Hills Dog Park in 2015 and broke ground in early 2016. This is the only dog park in the City of Beverly Hills and is an infill project located in the old industrial area of the City.</p> <p>Commissions Framework and Structure: in 2015 the City Council adopted an ordinance to establish clear and consistent regulations for the City’s Commissions and further define the charges of certain Commissions.</p> <p>Next Beverly Hills: Then Mayor Gold launched a committee for “next generation leaders” in order to engage residents and business people ages 25-45. The Committee began meeting regularly in 2015 and defined committee priorities.</p> <p>2015 Homeless Count: The City of Beverly Hills participated in the 2015 Homeless Count.</p> <p>Southeast in Motion: In 2015 the City launched the “Southeast in Motion” Community Planning effort to create a community plan for the Southeast Area of</p> |



Beverly Hills. This effort builds upon the work completed by the Southeast Task Force and has included three community visioning workshops thus far. The work will continue into 2016.

Water Capacity Charge: In 2015 the City of Beverly Hills City Council adopted a water capacity charge in order to allocate new connections a proportionate share of the cost of existing facilities and planned capital improvements needed to achieve the City's current water supply goals.

Disaster Reconstruction Ordinance: In 2015 the City Council adopted a Disaster Reconstruction Ordinance to establish regulations for rebuilding after a disaster.

National Night Out and CERT Training: The City continues to hold National Night Out events and Community Emergency Response Team (CERT) training for community members.

General Plan Programs for All Elements (Except Housing)

The charts beginning on the following page provide the title, objective, action and description for each of the programs in the General Plan. The charts also provide a status that summarizes actions the City has taken to date to implement each program.



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | |
|-----|--|--|---|--|
| 1.1 | Annual General Plan Review | Prepare an annual report to the City Council on the status of the general plan and progress in its implementation, including progress in meeting the City's fair share of regional housing needs, and submit this report to the California Office of Planning and Research. | Currently in effect. | |
| 1.2 | General Plan Amendments | Undertake general plan amendments as necessary, and carefully consider requests for amendments within the context of the goals in the general plan as well as current conditions and issues in the community. The City will undertake periodic revision of the housing element and other elements as required by State statutes. | Currently, the City's General Plan is consistent with State requirements. The City adopted an updated Housing Element in 2013 for the planning period 2014-2021. | |
| 1.3 | General Plan Consistency | <ul style="list-style-type: none"> City Programs and Private Development Proposals | <p>To ensure that the goals and policies of the general plan are systematically implemented, the actions and decisions concerning both city programs and projects, and private development proposals must be consistent with the general plan.</p> <p>The City's capital improvement program and the projects that implement various infrastructure master plans, in addition to the City's development regulations and development agreements, must be consistent with the adopted general plan.</p> | <p>As part of the approval process, City programs and projects and private development proposals are reviewed for consistency with the General Plan.</p> <p>The City's Capital Improvement Program is reviewed annually for consistency with the General Plan.</p> |
| | | <ul style="list-style-type: none"> Capital Improvements, Infrastructure Master Plans, Development Regulations, Development Agreements | | |
| | | <ul style="list-style-type: none"> Community Character and Design Policies | <p>Revisit and develop policies addressing community character and design and development for each land use category.</p> | <p>The City is currently undertaking a community planning effort in the Southeast Area of the City, which is meant to address several of the areas in this program.</p> |
| 2.1 | Update Zoning Code and Development Regulations | <ul style="list-style-type: none"> Transitions between Residential and Commercial Properties | <p>Revisit transitions between residential and commercial properties, and reinforce requirements for design excellence.</p> | <p>The City adopted an ordinance related to discontinued uses in commercial zones in order to address potential issues that can arise between commercial and residential uses.</p> |
| | | <ul style="list-style-type: none"> Protection for Environmental Resources/ | <p>Revise and develop requirements and standards pertaining to the location and design of development to protect environmental resources,</p> | <p>The City adopted Low Impact Development Standards on May 18, 2015.</p> |
| | | | | |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
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| | Protection from Environmental Hazards | protect development, and populations from the risks of environmental hazards such as earthquakes and excessive noise. | Disaster Reconstruction Ordinance: In 2015 the City Council adopted a Disaster Reconstruction Ordinance to establish regulations for rebuilding after a disaster. |
| | • Smart Growth | Revise and develop standards to promote pedestrian activity, transit-oriented planning, development of affordable housing, and implementation of more environmentally sustainable buildings and site planning. These may be accomplished through development requirements and/ or incentives. | Ongoing |
| | • Easements and Dedications of Land | Ensure that requirements for the dedication of land for roadway improvements, parklands, and other elements defined by general plan policies are fulfilled. | The need to acquire easements and land dedications is reviewed annually along with the Capital Improvement Budget. |
| | • Noise Standards | Revise and enhance standards and policies specified in the Noise Element to protect sensitive noise receptors, residents, and businesses from unwanted noise impacts from traffic, new uses, construction activities, truck deliveries, and similar sources. | To be scheduled in a future budget cycle. |
| | • Commercial and Multi-family open space and recreational requirements and In-lieu Fees | Require that all new commercial and multi-family residential projects provide on-site open space or recreational amenities consistent with the general plan's policies for on-site open space and recreational amenities, and contribute in-lieu fees for the development of new recreation facilities or enhancement of existing facilities, or a combination of both, to meet the demands generated by the development's resident population or employment base. | To be scheduled in a future budget cycle. |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | |
|-----|---------------|---|---|--|
| | | <ul style="list-style-type: none"> • Reduce Heat Island Effect | Establish and implement development standards to reduce the "heat island" effects of new large-scale commercial and residential developments. Standards may include cool roofs, installation of reflective roofs, light colored building materials and shade trees. | To be scheduled in future budget cycles. |
| | | <ul style="list-style-type: none"> • Prohibit New Oil and Gas Drilling | Prohibit new oil, gas, or other hydrocarbon substance extraction activities in the City | New extraction from locations in the City restricted (BHMC 10-5-302 B). Further, in 2014, the City of Beverly Hills passed an ordinance prohibiting hydraulic fracturing in the City. This ordinance is still in effect. |
| | | <ul style="list-style-type: none"> • Phase Out Existing Oil and Gas Drilling | Require existing oil, gas, and other hydrocarbon substance extraction activities in the City to be phased out during this planning period but no later than 2030. | Oil extraction occurring from surface locations within the City is scheduled to cease by December 16, 2016 (BHMC 10-5-323). |
| | | <ul style="list-style-type: none"> • Employer Child Care | Develop a program to require major employers to provide child care facilities and programs. | To be scheduled in future budget cycles. |
| | | <ul style="list-style-type: none"> • View Protection | Provide greater regulation for view protection of significant natural and man-made visual resources. | In 2010, the City adopted view shed protections for the Trousdale area of the City. No other view shed management initiatives are proposed as this time. Additional code enforcement staff positions exist to support the established program and a website was established to disseminate information on view protection. In 2015 planning staff processed the first view restoration case, which was considered in 2016. |
| | | <ul style="list-style-type: none"> • Shared Parking | Provide for shared parking facilities in key areas of the community, such as commercial areas and near transit hubs. | In 2014 the City conducted a parking study to better understand existing public and private parking capacity and explore the development of a broader shared parking program. One recommendation that resulted from the study was the exploration of shared parking arrangements to better manage parking in the City. Staff will continue to explore potential shared parking |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
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| | | | situations. |
| | <ul style="list-style-type: none"> Revise Noise Regulations in the Municipal Code | <p>Revise Chapter 1 (Noise Regulations) of title 5 of the City's Municipal Code to eliminate current ambient noise level standards in residential and commercial areas and replace them with Land Use Noise Compatibility Guidelines (Appendix B) to achieve acceptable levels of noise for specific land uses in the City. Provide a baseline for mitigating land uses which exceed acceptable noise levels, and require new residential developments to implement measures that address noise compatibility and noise attenuation during construction.</p> | To be scheduled in future budget cycles. |
| | <ul style="list-style-type: none"> Park and Open Space Standard | <p>Strive to meet a park and open space standard that is consistent with National Recreation and Parks Associations (NRPA) standards for the acquisition of new parks and open spaces.</p> | In 2015 the City approved a new dog park in the City, adding to the open space inventory. |
| | <ul style="list-style-type: none"> Parks Master Plan | <p>Revise and enhance the City's Parks Master Plan to assure that standards for new parks in the City and open space areas of new development are designed, constructed, maintained, and operated pursuant to sustainable specifications and practices.</p> | The City completed multiple park renovation projects in 2014, each one of which utilized sustainable designs and materials and significantly reduced the City's water consumption needs by reducing turf and introducing native, drought tolerant plants. New drip irrigation systems were also introduced. |
| | <ul style="list-style-type: none"> Sustainable City Plan | <p>Implement the City's Sustainable City Plan promoting responsible management and effective stewardship of the City's built and natural environments, transforming the City into a model government agency that is clean, healthy, resource-efficient, and environmentally conscientious. The Sustainable City Plan is in development and programmed to be adopted concurrently with the updated general plan.</p> | <p>The Sustainable City Plan was adopted in 2010 and is implemented as appropriate.</p> <p>In 2014, the City hired an Environmental Compliance and Sustainability Program Manager</p> <p>In 2015 the City hired a Water Conservation Administrator</p> |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | |
|-----|----------------------------|--|---|---|
| | | Review the Sustainable City Plan for consistency with the General Plan and update periodically. | | |
| | | <ul style="list-style-type: none"> • Access for Persons with Disabilities to Parks and Recreation Facilities | <p>Assure that parks and recreation facilities provide for adequate access for persons with disabilities as required by the Americans with Disabilities Act as well as appropriate "universal design".</p> <p>The City strives to provide ADA access to all parks and recreation facilities, as well as the City library and other civic buildings.</p> <p>In 2014 the City completed construction at Roxbury Park. These renovations include ADA compliant facilities.</p> | |
| 2.2 | Development Review Process | Continue to regulate development for compliance with general plan goals, policies, and development standards, through the development review, and design review processes. Implementation of the updated general plan includes consideration of a number of additional factors for proposed development projects as described below. | <ul style="list-style-type: none"> • Non-toxic Building Materials • Green Building Program | <p>Require that all private and public development use non-toxic building materials such as low Volatile Organic Compound (VOC) paints. All buildings must also be adequately ventilated and have access to natural lighting.</p> <p>Implement the recently adopted Green Building Program and Ordinance, and consider extending these provisions to residential neighborhoods as either a voluntary or mandatory measure.</p> <p>The City has adopted the 2013 California Green Code, which addresses this program.</p> <p>Since adoption of the General Plan Update, the State adopted the "CalGreen" Building Code, which is a mandatory State-wide green building code.</p> |
| | | <ul style="list-style-type: none"> • Open Space Standards • Consultation for Biological Resources | <p>Consider alternative prototypes and standards for park involvement in urban areas where limited land may be available.</p> <p>Initiate consultation with the appropriate Federal or State agencies and require a biological survey prior to the disturbance of any area where there is the potential for a special-status biological species, avian migratory or raptor species, or other protected species to be present.</p> <p>The City approved a new dog park in an old industrial area to create new park space and amenities for the community.</p> <p>Currently in effect.</p> | |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | |
|-----|---------------|--|--|--|
| | | <ul style="list-style-type: none"> • Consultation for Archeological Resources | <p>In the event that any prehistoric or historic subsurface archaeological features or deposits are discovered, require that City officials notified, and that all earth disturbing work within a 100 meter radius of a potential resource be temporarily suspended or redirected. Work shall not resume in the area until after the find is appropriately mitigated.</p> | <p>Currently in effect.</p> |
| | | <ul style="list-style-type: none"> • Development Agreements | <p>Encourage development agreements, which may be prepared as contractual agreements between the City and developers, to provide assurances to each party regarding the uses to be entitled, rules of development, and public benefits of a development project. The agreement may include conditions, terms, restrictions, and requirements for subsequent discretionary actions, and may specify the timing and phasing of construction.</p> | <p>Currently in effect.</p> |
| | | <ul style="list-style-type: none"> • Utilities | <p>Require all new developments to be served from an approved domestic water and sewer system, and require capacity analysis be provided to the satisfaction of the City.</p> | <p>Currently in effect. In 2015 the City adopted an ordinance amending the code to establish a water capacity charge.</p> |
| | | <ul style="list-style-type: none"> • Water Quality | <p>Require that engineering design and construction practices are adequate to ensure that existing and new development does not degrade the City's surface and ground water supplies.</p> | <p>Currently in effect.</p> |
| | | <ul style="list-style-type: none"> • Resource Conservation | <p>Develop and implement resource conservation measures that address reusing, recycling and reducing water usage, improving air quality, and increasing waste reduction and recycling through requirements and incentive programs in coordination with the Metropolitan Water District, South Coast Air Quality Management District, and other regional resource agencies.</p> | <p>Currently in effect.</p> |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | | |
|-----|--|--|--|--|--|
| | | Develop a water and energy conservation plan and a waste reduction plan with goals and benchmarks for the next 20-year period. Further, establish auditing methods to evaluate the extent of success in meeting goals as well as the effectiveness of programs and technology. | <p>Water: The City continues to develop both short-term and long-term goals to enhance water-use efficiency of its customers and promote conservation. Built to maximize the capability of the City's Automated Meter System (AMS), the City continues to utilize a leak detection program that contacts accountholders informing them when a continuous flows/water leak is registered alerting the customer of the leak condition. Second, the City is developing an enhanced web-based water usage tracking system enabling accountholders to monitor daily water consumption behavior in real time. Accountholders can also customize the web-based system to alert by phone, email or text for excessive usage.</p> <p>Electricity: The City continues to expand its renewable energy efforts as opportunities arise.</p> | | |
| | | Develop standards for, and require designated areas for, the collection and loading of recyclables. | The City currently co-mingles its recycling and waste. Recyclables are later separated from waste at a materials recycling facility and therefore this program has been suspended until further notice. | | |
| | | Require new or renovated multi-family residential structures to include separate chutes or other facilities to facilitate separation of recyclable materials if appropriate. | The City currently co-mingles its recycling and waste and therefore this program has been suspended until further notice. | | |
| | | <ul style="list-style-type: none"> • R.O.W. Consideration for Transit | The City shall review development projects in consideration of transit right-of-way needs. | Currently in effect. | |
| 2.3 | Other Development Regulations and Ordinances | Review and update regulations and ordinances other than zoning to conform to the general plan. | <ul style="list-style-type: none"> • Historic Preservation | Consider adoption of a local Historic Resources Ordinance as a framework for the preservation and documentation of significant historic and cultural resources in the community. The ordinance would identify specific actions designed to preserve, maintain, and promote the City's rich | In 2012, the City adopted a Historic Preservation Ordinance creating the ability to designate local landmarks, offer incentives to property owners to preserve historic properties and to institute a waiting period to review the proposed demolition of any building designed by a Master Architect to |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|---|---|--|
| | | inventory of cultural resources including: | ensure the preservation of Since the City's adoption of the Historic Preservation Ordinance and the formation of the Cultural Heritage Commission in 2012, the City Council has designated 29 properties as landmarks on the local register of historic places. |
| | o Local Register | Adopting a local register of historic resources and establishing criteria and procedures to list properties; | In 2012, the City created a local register of historic resources with criteria and procedures for listing properties eligible for designation. Following a series of public meetings with the Cultural Heritage Commission and Planning Commission, a revised set of landmark designation criteria and procedures were crafted to better meet the community's preservation goals as part of the revised Historic Preservation Ordinance, adopted in 2015. Specially designed designation plaques are currently available to registered local landmarks for proud display on the building facade. |
| | o Historic Resources Inventory - Upkeep and Documentation | Maintaining an updated historic resources inventory, and requiring documentation of resources that may be approved for demolition, including establishment of an archive of historic information and resources; | In 2013 the City began the process of updating the citywide historic resources survey; the project was put on hold in 2014-2015 due to pending policy and code changes to the Historic Preservation Ordinance. In 2016, staff resumed work on the project in conjunction with the outside consulting team. |
| | o Designation and Protection of Significant Resources | Programming to promote the designation and protection of significant local resources including residential, and non-residential properties; | The City adopted an Historic Preservation Ordinance in 2012 and the Staff continues to encourage property owners to designate residential and commercial resources of significance. Staff also remains committed to advise property owners on preservation issues, as they arise, and to develop local standards and guidelines based on compliance with federally accepted standards to assist property owners in |



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| | | | protecting their historic investments. |
| | o Replacement of Commercial and Residential Buildings | Exploring establishment of a requirement to replace commercial buildings that are demolished, and to extend this provision to residential buildings at some point in the future; | To be scheduled in future budget cycles. |
| | o Incentives | Exploring incentives such as a Mills Act Ordinance, conservation easements, and transfer of development rights to promote preservation of significant resources; | <p>In 2011 the City introduced the Mills Act (Historical Property Contract Program) and adopted a 2-Year Pilot Program to evaluate the overall benefits of allowing for qualified owners to receive a potential property tax reduction to help rehabilitate their historic buildings. The pilot program was evaluated in 2013 and was amended and extended through the end of 2016. Since adoption, the City has approved three Mills Act Contracts. City staff continues to educate and encourage property owners of historic properties regarding the benefits of preservation, specifically the tax incentives offered through the Mills Act program.</p> <p>In 2014 the City Council adopted an ordinance creating an Historic Incentive Permit which allows landmarked properties to request deviations from development standards to help foster the preservation of important resources. This process has been incorporated in the approval of 1 project to date and has been instrumental in the continued use and preservation of this important structure. In early 2016, amendments were adopted to the Historic Incentive Permit code provisions specific to Trousdale Estates in order to respect existing requirements for height and grading in this area of the city.</p> |
| | o Disincentives and Penalties | Establishing disincentives and penalties for the demolition of significant resources without benefit of City permits; | The City's Historic Preservation Ordinance requires the review of the proposed demolition of Master Architect designed properties and disincentives |



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|-----|-------------------------|---|---|
| | | | and penalties for the removal or modification of designated landmarks has been retained as an important component of in the amended Ordinance adopted in July 2015. |
| | | <ul style="list-style-type: none"> ○ Partnerships | <p>Programming and partnerships to promote the wealth of historically significant local resources.</p> <p>Staff and Commissioners from the Cultural Heritage Commission regularly attend the California Preservation Foundation annual conference, in San Diego in 2015 and in San Francisco in 2016.</p> <p>In addition, training opportunities have been undertaken by the Staff and Commissioners as conducted by preservation organizations such as the California Preservation Foundation, the State Office of Historic Preservation, the Society of Architectural Historians and other local jurisdictions.</p> |
| | | <ul style="list-style-type: none"> • Flood Control | Review the Flood Ordinance for consistency with the general plan and update periodically. |
| | | <ul style="list-style-type: none"> • Design Guidelines | Develop design guidelines and standards for commercial, residential, and mixed use development. These guidelines will include criteria for applicability to all new development and rehabilitation projects that are subject to the City's Development Plan Review process. |
| | | | To be scheduled in future budget cycles. |
| 2.4 | Building and Fire Codes | Survey available and feasible techniques, and amend the Building Code, Fire Code, and related codes where appropriate, to achieve the General Plan's policy objectives at least one every three years or as required by State law. The City's survey of the Building and Fire Codes shall include the following considerations: | <ul style="list-style-type: none"> • Affordable and Sustainable Housing |
| | | | Promote the use of innovative and state-of-the-art building techniques as a means to improve housing affordability and sustainability. |
| | | | In process |
| | | <ul style="list-style-type: none"> • Fire Safety Design | Reflect the highest and best available standards for fire safety design. |
| | | <ul style="list-style-type: none"> • Brush Clearance | Increase the requirement for brush clearance to increase defensible space around structures in the |
| | | | The City has adopted a local ordinance that only allows Class A roof assembly for new and existing buildings. |
| | | | In 2010, the Beverly Hills Fire Department increased the brush clearance requirement in the |



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| No. | Program Title | Program Description | Status |
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| | | Very High Fire Hazard Severity Zone. | Very High Fire Hazard Severity Zone. |
| | | <ul style="list-style-type: none"> • Fire Wise Assessment and Joint Wildland Interface Task Force | In January 2014, the City adopted the 2013 Building Codes and California Residential Code, which addresses this program. |
| | | <ul style="list-style-type: none"> • Hazardous Building Abatement | A citywide survey has been completed, which identifies the potentially vulnerable buildings that may be impacted during an earthquake. City staff is working to develop seismic retrofit ordinances that will be reviewed by a designated City Council Ad Hoc committee and Development Services Staff. |
| | | <ul style="list-style-type: none"> • Fire Department Access | Currently in effect. |
| 3.1 | Capital Improvement Program | <p>Annually budget for the provision of services to residents and businesses.</p> <ul style="list-style-type: none"> • As part of the budget, the City will adopt a Capital Improvement Plan (CIP) that provides funds for capital facilities, including arterial highways, local streets, storm drains, park and facility improvements, | <p>The development, maintenance, and operation of public facilities such as parks and drainage facilities and the provision of city services require financial resources that are derived from various sources. Programming of City capital projects and their funding over time is outlined in the City's Capital Improvement Program, which is updated annually.</p> <p>Currently in effect.</p> |



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| No. | Program Title | Program Description | Status |
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| | | water and wastewater system improvements, and planning programs. | |
| 3.2 | Water Master Plan | <p>Update the City's Urban Water Master Plan (UWMP) and related capital improvement programs, including monitoring its water reservoirs to:</p> <ul style="list-style-type: none"> <li data-bbox="695 483 919 537">• Irrigation Systems | <p>In 2010, the City adopted the State's model landscape ordinance for all new and upgraded irrigation systems installed. This requirement is currently in effect. The City produces an Urban Water Management Plan (UWMP). State law requires the plan to be updated every five years.</p> <p>As part of its water conservation program, Beverly Hills continues to enforce outdoor irrigation limits. This program limits the number of days and times a week to perform landscape watering citywide.</p> |
| | | <ul style="list-style-type: none"> <li data-bbox="695 797 919 850">• Water Monitoring Systems | <p>In 2009, the City completed the installation of an automated meter system (AMS) throughout its service area. The AMS transmits meter readings to City servers every 24 hours. The AMS detects unusual consumption patterns and alerts City staff of high volume and the need to maintain or repair. The City is in the process of upgrading this AMS water system to provide hourly water usage reads. The city has invested in a web-based system enabling account holders to monitor their daily water consumption behavior in real time. Account holders can also customize the web-based system to be alert by phone, email or text excessive usage.</p> |
| | | <ul style="list-style-type: none"> <li data-bbox="695 1219 919 1247">• New Water Sources | <p>The City is moving forward with the development of the shallow groundwater aquifer located in the Entertainment Business District (EBD).</p> |
| | | <ul style="list-style-type: none"> <li data-bbox="695 1317 919 1344">• Water Shortages | <p>Ongoing. The City has been working on a Water Enterprise Plan, a long term planning document that includes a 10 year Water Master Plan that</p> |



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| | | | <p>strategically outlines capital projects and programs to reduce reliability on imported water sources and promote conservation. Conservation programs to be developed will consider the SBX7-7 requirement and fulfill the "20 % reduction by 2020" goal in urban usage required under this statute.</p> <p>Stage D Conservation Measures: In 2015 the City of Beverly Hills instituted Stage D of the City's Emergency Water Conservation Stages, which mandates conservation measures in order to address the drought. This included prohibition of exterior washing of buildings, additional public information campaigns, restriction of landscape irrigation, and water use reduction requirements.</p> <p>As part of its routine customer service, on request, the City continues to perform private-property water-audits resulting in the conservation of thousands of gallons of water.</p> <p>The City also launched a website and campaign "BH2O Saving in Style" to provide information to the public on saving water, the drought and potential surcharges and fees.</p> |
| | <ul style="list-style-type: none"> Land Acquisitions | <p>Designate, preserve, and acquire land, if necessary, for siting future water supply, storage, and distribution facilities;</p> | <p>Ongoing.</p> |
| | <ul style="list-style-type: none"> Drinking Water Standards | <p>Achieve Federal and State drinking water regulatory standards;</p> | <p>Currently in effect. City currently monitoring developments of the UCMR 3 and Chromium 6. City meets and exceeds all federal standards.</p> |
| | <ul style="list-style-type: none"> Recycling Water Master Plan | <p>Develop a Recycled Water Master Plan;</p> | <p>To be scheduled in future budget cycles.</p> |



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| No. | Program Title | Program Description | Status |
|-----|--------------------------------|--|---|
| | | <ul style="list-style-type: none"> Flood Mitigation | Continue to implement existing flood mitigation activities and programs; |
| | | <ul style="list-style-type: none"> Water Conservation | Develop water conservation awareness programs for City staff, community groups, the public, and other groups. |
| 3.3 | Sanitary Sewer Management Plan | Continue to upgrade, inspect, and improve the City's sewer infrastructure to minimize deficiencies and reduce leaks and contamination and annually inspect all restaurant, hotel, and catering establishments to ensure that proper disposal standards for fats, oils, and grease are followed. There will be annual inspections of the facilities. In addition, undertake the following actions related to wastewater management: | <ul style="list-style-type: none"> Sewer Master Plan |
| | | | Prepare a Sanitary Sewer Management Plan (SSMP) to identify system deficiencies, users and support long term capital planning. This plan should also address emergency spill response, preventative maintenance program; establish legal authority, and pollution mitigation measures. Until this plan is completed the City will continue to update and enforce the City's standards for the quality of wastewater discharged into the system and require all industries/businesses sewer discharges to comply with the City's waste discharge requirements and permits; |
| | | | <ul style="list-style-type: none"> Inflow and Infiltration Program |
| | | | Develop an I&I (inflow and infiltration) program that includes televising a percentage of all sewer mains annually; |
| | | | <ul style="list-style-type: none"> Compliance with City Waste Discharge |
| | | | Continue to require all industries/businesses sewer discharges to comply with the City's waste discharge requirements and permits as outlined in the City Ordinance; |
| | | | Currently in effect. |
| | | | Currently in effect. The City, through its water agency, provides conservation awareness and outreach. The City also launched a campaign and website "BH2O, Saving in Style" to highlight water conservation measures. This campaign included banners around the City as well as pamphlets and fliers that are available to the public at most public facilities. |
| | | | The City's SSMP was adopted by the City on December 18, 2012. |
| | | | Ongoing. To date approximately 97% of the sewer system has been CCTV'd. |
| | | | Ongoing. |



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|-----|---------------------------------|--|---|
| | | <ul style="list-style-type: none"> NPDES and SCAQMD Regulations Continue to implement, as appropriate, the requirements of the NPDES and SCAQMD regulations, including requiring the use of Best Management Practices by businesses in the City. | <p>Ongoing</p> <p>In order to comply with the NPDES Municipal Separate Storm Sewer System Permit (MS4) for Ballona Creek the City of Beverly Hills in conjunction with the Cities of Los Angeles, Culver City, Santa Monica, West Hollywood, Los Angeles County Flood Control District and the County of Los Angeles have agreed to collaborate on the development of an Enhanced Watershed Management Program (EWMP) and cost-sharing formula.</p> |
| 3.4 | Storm Water (Flood) Master Plan | <p>Implement the Storm Water Master Plan to maintain and upgrade public storm drains and storage control facilities in conformance with the updated general plan and requirements of the NPDES, including actions to eliminate illegal storm water discharges as specified in the actions listed below:</p> <ul style="list-style-type: none"> Limit Impermeable Surface Develop guidelines that limit the percentage of impermeable surface (such as asphalt) for large new or renovated public, institutional, residential, and commercial projects and require permeable surfaces such as alleys, parking lots, to be cleaned frequently to remove debris and residue; Storm Drain Improvements Continue to fund and undertake storm drain improvement projects as identified in the City's Storm Water System Master Plan; Filters and Catch Basins Develop and maintain a program to install filters and catch basins for the city storm drain system and minimize shallow groundwater from being discharged into the storm water system as well as investigate other methods limiting pollutants from entering the drainage system; Storm Water Capture in City Parks Establish procedures to use city parks for storm water capture and recharge using grading, channeling and subterranean and other feasible capture methods; | <p>In 2015 the City Council adopted a Low Impact Development Ordinance and a Green Streets Policy.</p> <p>Installation is in process of trash-excluders or Full Capture Devices at all City owned storm drains in compliance with Trash Total Maximum Daily Load (TMDL) to meet interim and final Water Quality Based Effluent Limitations (WQBEL's).</p> <p>Continue to utilize Vacuum Combo Unit truck to revamp storm drain/catch basin maintenance schedule to meet and exceed MS4 permit maintenance requirements.</p> |



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|-----|------------------------------------|--|--|
| | | <ul style="list-style-type: none"> • Proper Disposal of Pesticides and Herbicides • Storm Drain Improvements • Street Cleaning | <p>Require that individual project owners and operators handle, store, apply, and dispose all pest control, herbicide, insecticide, and other similar substances properly;</p> <p>Continue to fund and undertake storm drain improvement projects as identified in the City's Storm Water System Master Plan; and</p> <p>Require that parking lots and public and private streets and alleys be cleaned as frequently as necessary, and in a manner that minimizes noise and water consumption, to remove debris and contaminated residue.</p> |
| 3.5 | Solid Waste Master Plan | Continue to provide an adequate and orderly system for collection and disposal of solid waste for new and existing development in the City, including regulating green waste disposal by professional gardeners and the use of sustainable practices to reduce waste streams. | <ul style="list-style-type: none"> • Encourage and support regional and statewide efforts to reduce the solid waste stream including recycling programs and a reduction in the use of plastic bags. |
| | | Adopt the Draft Source Reduction and Recycling Element (SRRE) and the Household Hazardous Waste Element (HHWE) consistent with the requirements of the California Integrated Waste Management Act (CIWMA) of 1989 and the California Integrated Waste Management Board. Subsequently monitor the implementation of these programs. | <p>City complies with AB 939 and AB 341 with a verified diversion rate of 78%. City to explore a Zero Waste Strategic Plan.</p> <p>Phase one of the plastic bag ban ordinance became effective July 1, 2014. Phase one covered larger scale retail stores. Phase two of the plastic bag ordinance covers smaller scale grocery, pharmacy, and food marts, which went into effect on January 1, 2015.</p> |
| 3.6 | Streetscape Master Plan | Develop a Streetscape Master Plan that outlines improvements and identified funding sources for improvements to the City's street system. | <ul style="list-style-type: none"> • Considered Enhancements |
| | | The Master Plan shall include streetscape enhancements such as lighting, street trees, benches, plazas and other amenities in the public right of way. | To be scheduled in future budget cycles. |
| 3.7 | Circulation, Mobility, and Parking | Ensure the continued maintenance and improve the performance of the existing mobility system while developing and offering more opportunities | <ul style="list-style-type: none"> • ITS |
| | | Study and implement a variety of Intelligent Transportation Systems (ITS); | The City's parking inventory model has been finished and is being updated to reflect current parking inventory/occupancy data. |



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| | | for multi-modal options consistent with the updated general plan. Undertake the following actions: | |
| | | <ul style="list-style-type: none"> • Parking Master Plan Develop a Parking Master Plan and the tools to fund and implement the Plan including parking assessment districts, congestion pricing, and other tools to maximize the use of City resources; | |
| | | <ul style="list-style-type: none"> • Mobility and Bicycle Master Plan Prepare and implement a Mobility & Bicycle Master Plan inclusive of car sharing opportunities; | <p>Ongoing</p> <p>The City continues efforts to expand bicycle facilities. Two pilot bikeways were approved as permanent installations and bicycle parking was expanded citywide in 2014.</p> <p>The City purchased 50 bicycles for its new bike share program, which launched in 2016.</p> |
| | | <ul style="list-style-type: none"> • Traffic Condition Improvements Monitor and manage traffic conditions on City streets and make necessary improvements; | Ongoing |
| | | <ul style="list-style-type: none"> • Street Maintenance Provide regular street maintenance; | <p>Ongoing</p> <p>The City completed a survey of 151 miles of roadway network resulting in an average Pavement Condition Index (PCI) of 84 for street health, which is among the highest rating of any California/US city.</p> <p>In 2014, the City repaved approximately 12 miles of street, 3 miles of alley and replaced street light poles to accommodate the installation of ADA ramps.</p> <p>The City is currently implementing a 5-year Street Resurfacing Capital Improvement Program.</p> |
| | | <ul style="list-style-type: none"> • Subway Extension/ Transit Ridership Work with Metro to support the extension of the subway and improve transit ridership; | |
| | | <ul style="list-style-type: none"> • Expand Transit Continue to offer and actively seek new methods to provide a wider variety of transit services; | In 2015, the City continued to work with Metro on planning efforts for the Metro Purple line extension, specifically the construction of the La |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|---------------|--|--|
| | | <ul style="list-style-type: none"> Expand TDM Programs Neighborhood Traffic Management Program Traffic Mitigation and Multi-modal Amenities included in New Development Complete Streets | Cienega/Wilshire Boulevard Extension. |
| | | <ul style="list-style-type: none"> Truck Routes | Ongoing The City implemented a Trousedale Area Construction Measures 2014 that included routes, vehicle weight limits and vehicle inspection requirements for construction related heavy hauling vehicles. The City continues to enforce these regulations in 2015. |
| | | <ul style="list-style-type: none"> Unbundled and Shared Parking Incentives/ Partnerships/ Trip Reductions | To be scheduled in future budget cycles. |
| | | <ul style="list-style-type: none"> Flexible Level of Service Standards Air Quality Improvement Program | To be scheduled in future budget cycles. |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|---|---|--|
| | | <p>by reducing emissions from mobile sources;</p> <ul style="list-style-type: none"> Commercial Parking and Registration Program Real Time Parking Availability System | |
| | | <p>Develop and implement a commercial Parking and Registration Program to inform and educate the public and the City on the availability and cost of private commercial parking in the City;</p> <p>Develop and implement a real time parking availability and location system for both public and private parking resources to assist visitors and residents with locating available parking spaces.</p> | <p>The City provides ParkMe information for real time estimates of parking availability on its website. Nine of 14 City-owned parking structures have Space Counter infrastructure with real-time occupancy/available space information.</p> |
| 3.8 | Street Tree Master Plan | Continue to implement and comprehensively review the Street Tree Master Plan and update as necessary to keep current with the goals and objectives for the protection and expansion of the City's urban forest and evaluate goals related to such topics as aesthetic effect, tree health, fire safety, sidewalk impact, historical character of neighborhood, view impact, and heat-reduction through growth of tree shade. | The City continues to invest in ongoing pruning cycles to sustain tree health, maintain aesthetics and protect the City's infrastructure. |
| 4.1 | User Fees | <p>Review all fees, including user fees, community facilities/special assessment districts such as parkland fees, developer impact/in-lieu fees on a periodic basis to determine if they are adequate to cover the costs to implement ongoing programs as well as new programs established as part of the general plan update.</p> <ul style="list-style-type: none"> Fees shall be revised as necessary based upon the results of this analysis and comparative assessment of other jurisdictions to assure that the City is competitive with adjacent jurisdictions. | <p>The fees to be reviewed include but are not limited to the following: Water conservation rates; Infrastructure improvement fees for water, sewer, and storm drain systems; Solid waste collection; Library services; Park and recreation program and service; Transportation impact and improvements; Special Assessment Districts; Building and Safety and Planning Fees; Developer fees and development impact fees; Fines</p> <p>All City fees are reviewed and adjusted annually during the budget process.</p> |
| 4.2 | Local, Federal, State, and County Funding | Continue to pursue available local, Federal, State, county, and regional funds, grants, bonds, and cost recovery for a variety of City services and infrastructure including the areas of safety, recreation, community development, transportation and emergency management and disaster public awareness programs including ongoing services as well as new programs initiated as part of the updated general plan. | Currently in effect |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|-------------------------|---|---|
| 4.3 | Nongovernment Funds | Work with local community organizations, private groups and foundations, residents, and other public and private entities to encourage funding and support for programs that benefit the community at large such as parks and open space, street trees, recreation programs, water conservation efforts, transportation improvements, health and safety, emergency management, disaster mitigation preparedness, response and recovery, and cultural resource preservation. | Currently in effect. The City currently works with several community organizations and private groups to fund and support programs benefiting the community, such as the Library, Community Centers, Emergency Operations Center and City Parks. Recently the City began working with a newly formed community group “the Friends of Beverly Gardens Park,” formed to raise funds to restore the City’s Beverly Garden Park. |
| 5.1 | Housing | <p>Adopt a number of programs that promote the preservation, conservation and improvement of housing in the community, support the development of housing for all economic segments, support the needs of special needs households, remove constraints to housing production and support equal housing opportunities for all residents</p> <ul style="list-style-type: none"> • Housing Element Updates | <p>Adopt updates to the City's Housing Element as required by State law.</p> <p>The City’s 2014-2021 Housing Element was adopted in 2013 and certified by the State in 2014. Currently the City is implementing programs included in the element. See Section 5 of the report for a summary of the status of housing-related programs.</p> |
| 5.2 | Economic Sustainability | <p>Work to maintain a strong local economy with an emphasis on commercial industries by:</p> <ul style="list-style-type: none"> • Economic Sustainability Plan • Land Use Opportunities • Market Position • High-Quality Infrastructure and Services • Business Improvement Districts and | <p>Developing an economic sustainability plan;</p> <p>Identifying land uses and other opportunities to expand the tax base;</p> <p>Ensuring its market position through marketing, the promotion of green businesses, assessments of needs and public/ private partnerships;</p> <p>Ensuring its development processing is conducive to producing a high-quality of infrastructure and services;</p> <p>Encouraging the formation of Business Improvement Districts and business associations;</p> <p>In 2010, City adopted an Economic Sustainability Plan to ensure that commercial areas remain vibrant.</p> <p>The City’s work program for the upcoming fiscal year includes an update to the 5-year Economic Sustainability Plan. The City is also working with its partner organizations on key initiatives that impact the business community including exploring a minimum wage increase and outreach for major infrastructure projects such as the Metro Subway Purple Line Extension and the Santa Monica Boulevard Reconstruction project.</p> <p>The city continues to work with the Chamber of</p> |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status | | |
|-----|-------------------------------|---|--|---|---|
| | | <ul style="list-style-type: none"> Associations Improve Business Corridors | Encouraging the improvement of business along major corridors | | |
| | | | Commerce to keep businesses informed regarding City issues and to understand the needs of the business community. | | |
| 5.3 | Code Enforcement | Continue to aggressively enforce health and safety, zoning, and other codes and ordinances that implement the general plan. | Currently in effect | | |
| 5.4 | Cultural Resources | Consider establishing a local register of historic resources and programs to support this effort and increase community awareness of the City's rich diversity of cultural resources, including: | <ul style="list-style-type: none"> Awards Program | Awards program that recognizes excellence in City projects | In 2012, the City established a Register of Historic Resources with an optional recognition plaque program. |
| | | | <ul style="list-style-type: none"> Public Access to Cultural Resources | Providing public trails, recreation areas, and viewing areas adjacent to significant visual resources, where feasible, in order to increase public enjoyment. | |
| 6.1 | Community Services | Continue to provide a full range of public services including, building permitting and safety, public safety (fire and police response and prevention), emergency preparedness and disaster response and recovery, hazardous waste response/services, solid waste collection and recycling programs, community services (parks, libraries, and recreational facilities and programs), infrastructure maintenance, human services as well as cultural resources programs within the community. | Currently in effect | | |
| 6.2 | Technology Applications | Explore the feasibility of new systems and technologies that may enhance City operations and service to the public. | Currently in effect. New technology systems are studied and evaluated for effectiveness in City processes on an on-going basis. The City recently upgraded its website and made improvements to mapping functions available to the public. | | |
| 7.1 | Inter-governmental Agreements | Collaborate with internal City agencies and adjoining jurisdictions to address [...] issues that jointly impact their mutual communities of interest. | <ul style="list-style-type: none"> Planning, Development | The City is a member of the Westside Cities Sub-region under the local Metropolitan Planning Organization (Southern California Association of Governments), and is a member of the Westside Council of Governments. Through each of these entities the City participates in regional issues and planning efforts, such as planning for Plug-in Electric Vehicles. | |
| | | | <ul style="list-style-type: none"> Transportation, Residential Parking | | |
| | | | <ul style="list-style-type: none"> Open Space Lands and Recreational | | |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|---|--|---|
| | | <ul style="list-style-type: none"> Opportunities <ul style="list-style-type: none"> • Educational Issues • Energy, Water, and Resource Conservation Issues • Emergency Preparedness Tests <p>This will include exploring possible joint efforts to share emerging technology, particularly in the area of security and emergency management enhancements.</p> • Response and Recovery Plan Tests <p>This will include exploring possible joint efforts to share emerging technology, particularly in the area of security and emergency management enhancements.</p> | <p>The City participated in the development of the Enhanced Watershed Management Plan (EWMP) for Ballona Creek.</p> <p>The City continues to work with LA County Metro on issues related to the Westside Purple Line Subway Extension.</p> <p>The City participates in the Los Angeles County Area A, State, and Federal emergency preparedness tests, drills and exercises. Staff served on FAC (Family Assistance Center) planning steering committee for the County of Los Angeles Operational Area and served on various planning committees for the Los Angeles County Operational Area.</p> <p>The City, through joint powers agreements, shares information and technology with the Cities of West Hollywood and Los Angeles, Santa Monica, Culver City, and the County of Los Angeles. This includes purchases of radios.</p> |
| 7.2 | Federal, State, and Regional Coordination | <p>Continue to train City employees to collaborate with Federal Agencies, State Agencies, and Regional Agencies such as SCAG, SCAMD, and Los Angeles County in numerous programs affecting [...] and other issues that require mutual collaboration and community benefit...</p> <ul style="list-style-type: none"> • Land Use and Development • Transportation, Infrastructure • Resource Conservation, Environmental Quality • Open Space and Recreational | <p>The City actively collaborates with other local, regional, State, and Federal agencies. Staff is encouraged to work closely with federal, state and regional agencies as appropriate. Currently, the City has mutual aid agreements with the City of Los Angeles, County of Los Angeles, County of Los Angeles Public Works and County of Los Angeles Fire Department. The City also has a Disaster Management Area A Joint Powers Agreement with other Westside cities and the County of Los Angeles.</p> |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|------------------------------------|---|---|
| | | Opportunities | |
| | | <ul style="list-style-type: none"> • Emergency/Disaster Mitigation Preparedness Response and Recovery | The City continues to develop MOUs with stakeholders for disaster preparedness. |
| 7.3 | Community Partnerships | Partner with local private, non-profit and quasi-public organizations and groups to address their mutual communities of interest to support and enhance programs that benefit the community at large. [...] and others that strive to promote the City and enhance the quality of life within the community. | <p>The City actively collaborates with local private, non-profit and quasi-public organizations and groups to benefit the community including the Chamber of Commerce, groups with an interest in historic preservation and the Beverly Hills Unified School District.</p> <p>In 2015 the City held a “National Night Out” event in collaboration with various community groups to involve the public in a conversation on crime prevention. The City also held and participated in other City events such as Woofstock, Earth day, Senior Day, and Fire Services Day.</p> <p>In 2015 the City also conducted Community Emergency Response Team (CERT) training for the community and businesses.</p> |
| | | <ul style="list-style-type: none"> • Cultural Arts • Historic Preservation | |
| | | <ul style="list-style-type: none"> • Business and Economic Development <p>Chamber of Commerce, Team Beverly Hills, Beverly Hills Unified School District</p> | |
| | | <ul style="list-style-type: none"> • Emergency Management | |
| | | <ul style="list-style-type: none"> • Energy and Telecommunications <p>Southern California Edison Company and Southern California Gas Company</p> | |
| 8.1 | Public Information and Involvement | Continue to make information available to residents and businesses regarding City services and programs, and key community issues. The range of information to be presented includes: [...] This information may be presented in flyers and newsletters that are distributed to households in the City, senior centers, and community centers; on the City's webpages; by cable television broadcasts; in workshops with homeowners | <p>The City makes much of this information available to the public online. The City provides newsletters for current and upcoming civic events. Information is also available on select topics at the City’s permit counter in City Hall and at the City’s information desks at the Library, Public Works Building, and in the administrative offices at La Cienega and Roxbury Parks. The City also provides information through cable tv, information monitors in City parking structures, information booths at community events, AM radio, social media and at commission and other community meetings.</p> <p>The City recently formed and launched a</p> |
| | | <ul style="list-style-type: none"> • Land Use, Zoning, and Development Processes | |
| | | <ul style="list-style-type: none"> • Development Fees | |
| | | <ul style="list-style-type: none"> • Code Compliance | |
| | | <ul style="list-style-type: none"> • Property and Building Maintenance | |
| | | <ul style="list-style-type: none"> • Property/ Building Improvement Techniques | |
| | | <ul style="list-style-type: none"> • Financial Assistance Programs | |



General Plan Programs for All Elements (Except Housing)

| No. | Program Title | Program Description | Status |
|-----|---------------|--|---|
| | | associations, business organizations, and community groups; and general community presentations and workshops. | collaborative group of staff from all departments to coordinate efforts related to two major construction projects (Santa Monica Boulevard Reconstruction and Westside Purple Line Subway Extension). This includes an effort to inform the public regarding potential impacts related to these projects. |
| | | <ul style="list-style-type: none"> Affordable Housing Programs | |
| | | <ul style="list-style-type: none"> Public Transportation and Ride Sharing | |
| | | <ul style="list-style-type: none"> Energy Conservation Methods | |
| | | <ul style="list-style-type: none"> Waste Reduction and Recycling Programs | Representatives from the City regularly provides information to businesses, schools, PTAs, faith based and community organizations, residents and medical surgery centers on disaster preparedness. |
| | | <ul style="list-style-type: none"> Hazards and Emergency/ Disaster Mitigation Preparedness | |
| | | <ul style="list-style-type: none"> Evacuation, and Response and Recovery Protocols and Procedures | The City is currently working on updating its hazard mitigation plan. |
| | | <ul style="list-style-type: none"> Natural Resources and their Value | The City held a Get Supplies! Make a Plan! Be Informed! Disaster readiness campaign and a disaster readiness campaign for businesses |
| | | <ul style="list-style-type: none"> Educational and Cultural Events and Venues | Commissions Framework and Structure: in 2015 the City Council adopted an ordinance to establish clear and consistent regulations for the City's Commissions and further define the charges of certain Commissions. |
| | | <ul style="list-style-type: none"> Parks and Recreation Programs | |
| | | <ul style="list-style-type: none"> Health and Safety Programs | |
| | | <ul style="list-style-type: none"> Seniors and Youth Programs | Next Beverly Hills: Then Mayor Gold launched a committee for "next generation leaders" in order to engage residents and business people ages 25-45. The Committee began meeting regularly in 2015 and defined committee priorities. |
| | | <ul style="list-style-type: none"> Access to Government Services and Elected Officials | |



Housing Element Programs

Progress on implementing the City's housing programs is summarized in the Housing Element Report. The Report provides a status and summary for each of the City's housing programs.

The Housing Element Report is designed to be a stand-alone report, or to be included as a part of the Annual General Plan Report. The report has been designed in this manner to allow the City to submit the report to the State Office of Planning and Research as a part of the Annual General Plan Report, and to submit the report to the State Department of Housing and Community Development as a stand-alone report on progress in implementing the City's housing programs.

General Comments:

Housing counts provided in this report are for the calendar year 2015. Information on housing programs is for calendar year 2015, unless otherwise specified, and is based on the 2014-2021 Housing Element.

The City's budget is set on the fiscal year, so some program accomplishments have been presented based on funding made available during the 2014/2015 fiscal year rather than calendar years.



Implementation Summary – Housing Element

Table A2

Annual Building Activity Report Summary - Units Rehabilitated, Preserved and Acquired pursuant to GC Section 65583.1(c)(1)

Please note: Units may only be credited to the table below when a jurisdiction has included a program in its housing element to rehabilitate, preserve or acquire units to accommodate a portion of its RHNA which meet the specific criteria as outlined in GC Section 65583.1(c)(1)

| Activity Type | Affordability by Household Incomes | | | | (4) The Description should adequately document how each unit complies with subsection (c)(7) of Government Code Section 65583.1 |
|-----------------------------------|------------------------------------|-----------------|------------|-------------|---|
| | Extremely Low Income* | Very Low Income | Low Income | TOTAL UNITS | |
| (1) Rehabilitation Activity | 0 | 0 | 0 | 0 | |
| (2) Preservation of Units At-Risk | 0 | 0 | 0 | 0 | |
| (3) Acquisition of Units | 0 | 0 | 0 | 0 | |
| (5) Total Units by Income | | | | | |

* Note: This field is voluntary

Table A3

**Annual building Activity Report Summary for Above Moderate-Income Units
(not including those units reported on Table A)**

| | 1. Single Family | 2. 2 - 4 Units | 3. 5+ Units | 4. Second Unit | 5. Mobile Homes | 6. Total | 7. Number of infill units* |
|--|------------------|----------------|-------------|----------------|-----------------|----------|----------------------------|
| No. of Units Permitted for Moderate | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| No. of Units Permitted for Above Moderate | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

* Note: This field is voluntary

During 2015, 30 new homes were permitted. Single family homes have not been included in the inventory because it is assumed that, in Beverly Hills, which is a built-out City, any new single family home is replacing an existing single family home.



Implementation Summary – Housing Element

Table B
Regional Housing Needs Allocation Progress
Permitted Units Issued by Affordability

| Enter Calendar Year starting with the first year of the RHNA allocation period. See Example. | | 2014 | 2015 | 2016 | 2017 | 2018 | 2019 | 2020 | 2021 | | Total Units to Date (all years) | Total Remaining RHNA by Income Level |
|--|---------------------|------|------|------|------|------|------|------|------|--|---------------------------------|--------------------------------------|
| Very Low | Deed Restricted | | 2 | | | | | | | | 2 | 0 |
| | Non-deed restricted | 1 | | 2 | | | | | | | 2 | |
| Low | Deed Restricted | | 3 | | | | | | | | 3 | 0 |
| | Non-deed restricted | 1 | | | | | | | | | | |
| Moderate | Deed Restricted | | | | | | | | | | | 1 |
| | Non-deed restricted | 1 | | | | | | | | | | |
| Above Moderate | | | 42 | 21 | | | | | | | 63 | |
| Total RHNA: | | 3 | | | | | | | | | 70 | 1 |
| Total Units Built ▶▶▶ | | | | | | | | | | | | |
| Remaining Need for RHNA Period ▶▶▶▶▶ | | | | | | | | | | | | |

Note: Units serving extremely low-income households are included in the very low-income permitted unit totals.



Implementation Summary – Housing Element

**Table C
Program Implementation Status**

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|---|--|---|--|
| Program 9.1 Upkeep and Maintenance of Vacated Buildings | Preserve existing housing stock | Ongoing | The City’s Community Preservation Division maintains a list of vacant buildings and properties and works with property owners to ensure they are maintained. |
| Program 9.2 Property Maintenance | Require housing to be maintained in an aesthetic, safe and habitable manner consistent with City codes | On-going, explore program restructuring by 2016 | The City continues to implement the current program and addresses several hundred complaints related to property maintenance each year. |
| Program 9.3 Home Repair and Improvement | Provide minor repairs and mobility assistance to approximately 25 low-income households per year | Ongoing | In the first three quarters of the current fiscal year (2015-2016), the program provided minor home repairs to 4 single-family homes and 6 multi-family homes for a total of 10 homes. |
| Program 9.4 Historic Preservation Program | Evaluate preservation incentives | Ongoing. Evaluate in 2015 and adopt by 2016 | In 2014 the City Council adopted an ordinance creating a historic incentive permit that allows owners of historic landmarks to request deviations from development standards when making modifications to their historic properties, provided that the changes do not adversely impact the character defining features of the historic resource. |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|---|---|---|---|
| Program 9.5 Condominium Conversions | Limit the loss of rental housing by setting an annual cap on condominium conversions and providing tenant protections | Evaluate ordinance revisions and address affordability, and, as appropriate, amend the ordinance in 2016. | The City's current ordinance was evaluated in 2011 and the determination was made not to adjust the annual cap at that time. |
| Program 9.6 Rent Stabilization Ordinance | Continue to implement the rent stabilization program and investigate tenant complaints about unlawful rent increases, service reductions, evictions and relocations | Ongoing | The City continued to implement the current program. In 2015 the city's Code Enforcement Office opened 32 rent stabilization cases and responded to 959 inquires either over the phone, through email, or in person. |
| Program 9.7 Monitoring Affordable Housing | Coordinate with service providers to monitor Section 8 renewals, advise tenants in advance of potential conversion dates, and provide opportunities to continue affordability covenants | Ongoing | The City continues to implement the current program. The city has one very-low income housing building. The building has an affordability covenant and has 150 units and is available to very low income seniors. The City contracts with Menorah Housing Foundation to oversee and administer the units. In 2015 the City adopted its "Affordable Housing Guidelines" document that outlines affordable housing procedures for developers, staff. The document will serve as the official guide when implementing the several affordable units that are currently entitled in the City but not yet built. |
| Program 10.1 Density Bonus | Encourage the development of more affordable housing units by offering incentives to developers | In 2013 amend the density bonus program to define a list of preferred incentives and concessions | To be considered in future budget cycles |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|--|--|---|---|
| Program 10.2 Inclusionary Housing | Require a minimum percent of units in development to be price-restricted as affordable to lower and moderate income households | Finish inclusionary housing nexus and in-lieu fee study in 2015 and adopt ordinance in 2016 | To be considered in future budget cycles |
| Program 10.3 Housing Trust Fund | To be used to construct or help leverage construction of affordable housing | Establish Housing Trust Fund in Fiscal Year 2014/2015 | Through development agreements, the city has negotiated approximately \$3 million dollars to be used to establish a housing trust fund. The projects have not yet been built. Once they are built and the money is received by the City a housing trust fund will be established. |
| Program 10.4 Second Units | Encourage the provision of affordable second units | Evaluate revisions to current second unit standards, and amend the ordinance by 2015. Conduct second unit survey in 2018 to inform the next housing element update. | A second unit study was conducted in 2010 and the results were discussed in the housing element. The city will study changes to the ordinance that could further incentivize the development of second units in upcoming budget cycles. |
| Program 10.5 Sustainability and Green Building | Promote resource efficiency and sustainability in new developments | Ongoing | The City continues to implement the current program in consistency with State law. |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|--|---|---|---|
| Program 10.6 Partnerships with Affordable Housing Developers | Initiate partnerships with non-profit developers to assist in the development of affordable housing | Participate in conferences, symposiums and other affordable housing events to review resources, incentives and City goals. Initiate an RFQ process within two years of the establishment and funding of the housing trust fund, select a developer and pursue development of an affordable housing project. | The City held an information session with local non-profit housing corporations and affordable housing developers in 2013 to establish partnerships in the affordable housing community. With establishment of the affordable housing trust fund, partnerships with developers will be more realistic (refer to Program 10.3). City staff attended lectures on affordable housing programs and strategies and plan to continue to attend similar programs in the future. |
| Program 11.1 Fair Housing Program | Promote fair housing practices and refer fair housing complaints to Housing Rights Center | Ongoing | The City provides fair housing information on the City's website (www.beverlyhills.org). |
| Program 11.2 Senior Housing Development | Provide incentives to facilitate development of senior housing | Continue to build partnerships with affordable housing developers. Develop a project concept by 2016 and release an RFQ by 2017. By 2018 commence development of a senior housing project in the City affordable to the City's lower and extremely low income residents. | Once the Affordable Housing Trust Fund is funded, the City will be able to more actively move forward in pursuing development of an affordable senior project. |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|--|---|--|--|
| Program 11.3 Senior Case Management Program | Assist frail elderly residents to remain independent and in their homes | Ongoing | The City continues to implement the Senior Care Management Program and provides additional assistance to seniors through: the Beverly Hills Active Club which provides exercise classes and activities at La Cienega and Roxbury Parks, the Senior Center and senior library at Roxbury Park (funded through the city library), and Jewish Family Services which provides a broad range of support services to seniors living independently. |
| Program 11.4 Senior Home sharing Program | Provide a free shared housing program which matches older people with others interested in sharing their homes | Evaluate Community Assistance Funds and determine grant amount annually | To be considered in future budget cycles. |
| Program 11.5 Housing Opportunities for Persons with Disabilities | Develop and adopt written procedures for reasonable accommodation requests and educate the public on the process of requesting an accommodation | In 2014, implement an outreach program in cooperation with the Westside Regional Center to publicize information on available regional resources for housing and services. Pursue State and Federal funds available for supportive housing and services in future affordable housing projects. | The city adopted a reasonable accommodation procedure into the zoning code on December 4, 2012 |
| Program 11.6 Funding for Homeless Services | Fund a variety of service organizations that serve the homeless and persons at-risk of homelessness | Annual funding allocations | In the fiscal year 2014-2015, the city contributed \$60K to the CLASP (Changing Lives And Sharing Places) homeless outreach program, and \$95,000 for shelter beds at PATH (People Assisting The Homeless). CLASP outreaches and engages homeless persons in the city daily with the intention of |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|--|--|--|---|
| Program 12.1 Adjust Development Standards | Evaluate and modify development standards to encourage more affordable housing units | Amend the Zoning Code in 2013 to include reduced minimum unit sizes as an incentive for the density bonus program. Explore revisions to other development standards, including minimum unit sizes for all multifamily units, as supported by analysis by 2015. | <p>providing those persons with assistance and support including linking them to shelter.</p> <p>In addition, funds provided to PATH offers two tenant-based Section 8 vouchers to provide affordable and permanent supportive housing in Los Angeles County. Other services funded in FY 2015-2016 include: the Westside Food Bank (\$90K), and Step Up on Second (\$90K) to assist formerly homeless individuals to remain permanently housed.</p> <p>In 2013 the City began a study to better understand what incentives, concessions and waivers would be most beneficial to building affordable housing in the City. This study will inform upcoming modifications to the City's multi-family development standards.</p> |
| Program 12.2 Reduced Fees for Affordable Housing | Provide waivers or reductions of certain taxes and fees for developments with low, very low, and moderate income housing units | Complete the fee study in Fiscal Year 2014, and adopt modified development fees for affordable housing. | To be considered in future budget cycles. |



Implementation Summary – Housing Element

Table C

Program Implementation Status

Program Description (By Housing Element Program Names) **Housing Programs Progress Report - Government Code Section 65583.** Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.

| Name of Program | Objective | Timeframe in H.E. | Status of Program Implementation |
|---|--|--|---|
| Program 12.3 Monitor the Development Review Process | Identify inefficiencies and uncertainties in the City's review and promote alternative techniques intended to streamline the process | Adopt updated processing procedures in the Zoning Code in 2013 | The City hired an Urban Designer to help streamline review of new housing projects and other development proposed in the City. Additionally, in an effort to streamline permitting, the community development department was restructured to form a dedicated group of zoning code and building experts as part of a dedicated group focused on processing permits. |



Current Planning

Emergency Ordinances

The City did not adopt any emergency ordinances in 2015.

Pending General Plan Amendments

There are several pending General Plan amendments:

- A consideration for rezoning of two single-family parcels to multi-family zoning on South Carson Road;
- A pending application for a new overlay zone pertaining to commercial developed located at 100 North Crescent;

Additional Content

Interagency / Intergovernmental Coordination

The City proactively coordinates with other jurisdictions and agencies. Program 7.1 of the General Plan specifically calls for collaboration with internal City agencies and adjoining jurisdictions to address various issues including: Planning, transportation, emergency preparedness, open space, education, energy, water, resource conservation and response and recovery. Examples of coordination include:

- The City is a member of the Westside Cities Subregion of the local Metropolitan Planning Organization as well as a member of the Westside Council of Governments. Through these groups the City participates in regional planning efforts such as planning for electric vehicles and a multi-jurisdiction bike sharing program.
- The City participates in emergency preparedness tests, drills and exercises with other local, county and state jurisdictions.
- In 2014 the City signed a Memorandum of Agreement with the Los Angeles County Transportation Authority (Metro) for the advanced utility work for the first phase of the Westside Subway Extension. The City is currently working on language for a subsequent Memorandum of Agreement with Metro for future subway work. Further, the City and Metro representatives have held several public meetings to gather input and disseminate information regarding the subway project.

Equity Planning

The City of Beverly Hills does not have industrial land uses or above-grade extraction sites within its boundaries such as landfills, mining operations, factories, mills, or other intensive land uses which have traditionally driven equity planning efforts. The City does, however, have districts and neighborhoods that have remained vibrant through the recent downturn in the market, and has other areas that have not remained vibrant and, in fact, have struggled with higher commercial and office vacancy rates. In



2012, the City, led by then Vice-Mayor John Mirisch, convened a special task force to study land use patterns and neighborhood qualities along two commercial corridors in the southeastern area of the City. The summary report of the task force outlines several strategies to improve the corridors. In 2015 the City launched a planning effort to create a community plan for these corridors and others. Three community workshops were held and this effort is ongoing. The City's General Plan includes policies and programs that support maintenance and revitalization of the City's commercial corridors.

Additionally, the cost of housing in the Beverly Hills region tends to be high, which can present challenges for long-time residents to remain in their homes through retirement (referred to as "aging in place"). The City's current Housing Element, which was adopted in 2013 and certified by the State in 2014, includes a number of programs aimed at providing relief to seniors and other members of the community who are challenged by the cost of housing. During the prior Housing Element Update, attention was paid to strengthening the Housing Element policies aimed at providing assistance to renters in the city. In 2015 the City developed affordable housing program guidelines (adopted in early 2016) to establish procedures for the implementation of the affordable housing program. The City continues to implement the Housing Element programs contained in the General Plan.

Promotion of Infill Development, Reuse, and Redevelopment

The City of Beverly Hills is an urban area that is mostly built out. The City is committed to encouraging the best use of land, and thoughtful infill projects are encouraged. In 2013 the Wallis Annenberg Center for the Performing Arts (The Wallis) opened to the public. This venue consists of the rehabilitated 1933 Beverly Hills Post Office structure and a contemporary theater building. The reuse of this historic City building is a prime example of infill development along a major transportation corridor in the commercial center of the City. In 2014 construction began on the Waldorf Astoria Hotel project, which is located on the property of the Beverly Hilton on a major commercial corridor in the City. Additionally, the City has undertaken various efforts to understand and address potential barriers to infill, reuse and redevelopment including the in-lieu parking study, and the Southeast in Motion planning effort.