



## Architectural Commission Report

**Meeting Date:** Wednesday, October 17, 2012  
*(Project was previewed by the AC on August 15, 2012)*

**Subject:** **9200 WILSHIRE BOUELVARD**  
Request for approval of a new five-story mixed-use building  
(PL122 6510)

**Project applicant:** Joseph Tilem – Dawson Tilem & Gole

**Recommendation:** Conduct public hearing and provide the applicant with a project approval.

### REPORT SUMMARY

The applicant is requesting review and approval of a new five-story mixed-use building at 9200 Wilshire Boulevard. This project came before the Commission at its meeting on August 15, 2012 as a preview item. The overall review of the project at that time related primarily to the massing. Overall, the project was well received with positive comments related to the overall design aesthetic, the balance of the building, and enhancement of the streetscape and the block. A primary concern of the project was the sense of arrival related to the residential entrance on South Palm Drive.

The overall design aesthetic has not changed significantly since previewed by the Commission; however, complete elevations and further details have been provided as part of this review. Also, the Commission should note that the landscaping has been altered from the original proposal. An addendum packet has been included that provides revised landscaping plans to show the most recent landscaping proposal. Per information provided by the applicant, the primary change is the removal of landscaping planters along Wilshire Boulevard to allow for flexibility with tenants.

To date, a sign program has not been developed for the project. The applicant has been made aware that the Architectural Commission will be the reviewing authority once a sign program is made available for review.

### ZONING CODE COMPLIANCE

This project has been reviewed and approved by the Planning Commission and as presented appears to comply with all the zoning requirements.

### ENVIRONMENTAL ASSESSMENT

The Project has been environmentally reviewed pursuant to the provisions of the California Environmental Quality Act (Public Resources Code Sections 21000, et seq. ("CEQA"), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000, et seq.), and the City's environmental guidelines. The project underwent environmental review by the City's Planning Commission and City Council. However, the architectural review portion of the Project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets and Supporting Documents
- C. DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner  
(310) 285-1191  
[cgordon@beverlyhills.org](mailto:cgordon@beverlyhills.org)



## Design Review Commission Report

455 North Rexford Drive  
AC Meeting – October 17, 2012

design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

### **PUBLIC OUTREACH AND NOTIFICATION**

Public notification was not required for this project.



**Design Review Commission Report**

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**Attached A:**  
Detailed Design Description  
and Materials (Applicant Prepared)

**SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION**

**A Indicate Requested Application**

- Staff Review
  - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
  - Ten (10) sets of plans required (see Section 6 for plan size requirements).
  - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

**B Identify the scope of work (check all that apply):**

- New construction
- Façade Remodel ONLY
- Business Identification Sign(s)  
Number of signs proposed: \_\_\_\_\_
- Building Identification Sign(s)  
Number of signs proposed: \_\_\_\_\_
- Sign Accommodation (explain reason for the accommodation request below):  
Number of signs proposed: \_\_\_\_\_
- Other: \_\_\_\_\_
- Remodel: Int. & Ext, no floor area added
- Remodel: Int. & Ext, floor area added
- Awning(s):  New  Recovery
- Open Air Dining: #Tables \_\_\_\_\_ # Chairs \_\_\_\_\_

**C Describe the scope of work proposed including materials and finishes:**

Construction of a new mixed-use building with 54 units of condominiums and 20,000 SF of retail. Building materials will consist primarily of glass, painted metal panels, plaster, and stone.

**C Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/UNITEGIS/>)**

- |                              |                                 |                                 |                                 |                                |
|------------------------------|---------------------------------|---------------------------------|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4X   | <input type="checkbox"/> R-4    | <input type="checkbox"/> R-4-P  | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP   | <input type="checkbox"/> C-3    | <input type="checkbox"/> C-3A   | <input type="checkbox"/> C-3B  |
| <input type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2 | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5   |
- M-PD-4**

**E Lot is currently developed with (check all that apply):**

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below):  
Parking Lot

**F Are any protected trees located on the property? (See the City's tree removal guidelines at: <http://www.beverlyhills.org/services/building/plans/tree.asp>.)**

Yes  No

If YES, provide the following information:

Tree Type:  Heritage Tree(s)  Native Tree(s)  Urban Grove  
 Species: n/a n/a  
 Quantity/Sizes: n/a  
 Reason for Removal: n/a

**G Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City's survey)?**

Yes  No  If yes, please list Architect's name: n/a

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)**

**A Indicate in the chart below all applicable signage details:**

	<u>Type of Sign</u> (i.e. business ID, building ID, parking, etc.)	<u>Dimensions</u> (length x width)	<u>Square Feet</u>	<u>Maximum Area Permitted by Code</u>	<u>Maximum Area Permitted w/ Sign Accommodation</u> (if applicable)
1	n/a				
2	n/a				
3	n/a				
4	n/a				
5	n/a				

**C List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):**

**FAÇADE** (List all material for all portions visible from the street)

*Material:* glass; metal panels; plaster; stone  
*Texture /Finish:* smooth/acid-etched and clear glass; smooth/painted panel; smooth/painted plaster; smooth/honed stone  
*Color / Transparency:* low-iron/transparent; white/opaque; white/opaque; beige/opaque

**WINDOWS/DOORS** (Include frame, trim, glass, metal, etc.)

*Material:* glass; aluminum frame  
*Texture /Finish:* smooth/transparent; smooth/painted  
*Color / Transparency:* low-iron/transparent; white/opaque

**ROOF**

*Material:* roofing membrane  
*Texture /Finish:* smooth/membrane  
*Color / Transparency:* gray/opaque

**CHIMNEY(S)**

*Material:* n/a  
*Texture /Finish:* n/a  
*Color / Transparency:* n/a

**COLUMNS**

*Material:* n/a  
*Texture /Finish:* n/a  
*Color / Transparency:* n/a

**BALCONIES & RAILINGS**

*Material:* glass; metal  
*Texture /Finish:* smooth/transparent; smooth/painted  
*Color / Transparency:* low-iron/transparent; white/opaque

**OUTDOOR DINING ELEMENTS** (List all material for all outdoor dining elements.)

*Material:* n/a  
*Texture /Finish:* n/a  
*Color / Transparency:* n/a

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)**

**AWNINGS, CANOPIES**

Material: n/a  
Texture /Finish: n/a  
Color / Transparency: n/a

**DOWNSPOUTS / GUTTERS**

Material: n/a  
Texture /Finish: n/a  
Color / Transparency: n/a

**BUSINESS ID SIGN(S)**

Material: n/a  
Texture /Finish: n/a  
Color / Transparency: n/a

**BUILDING ID SIGN(S)**

Material: stainless steel  
Texture /Finish: brushed/metal  
Color / Transparency: silver/opaque

**EXTERIOR LIGHTING**

Material: metal  
Texture /Finish: smooth/painted  
Color / Transparency: white/opaque

**PAVED SURFACES**

Material: concrete  
Texture /Finish: smooth/unfinished  
Color / Transparency: grey/opaque

**FREESTANDING WALLS AND FENCES**

Material: n/a  
Texture /Finish: n/a  
Color / Transparency: n/a

**OTHER DESIGN ELEMENTS**

Material: n/a  
Texture /Finish: n/a  
Color / Transparency: n/a

**D Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:**

Our approach to the landscape design at street level is to maintain and enhance the special characters of each street that borders the property. The stately double palms along Wilshire Boulevard will remain in place, we will continue the alternating palms on Palm Drive, and we will continue with the London Plane trees as currently planted on Maple Drive. We will provide new groundcover and palm tree planting on the alley side of the building. The terraces facing the streets have been designed to contain small trees and shrubs in an organized manner to maintain an elegant streetscape over time.

**SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)**

**A Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:**

- 1. Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

This new luxury building provides high-end condominiums expanding the limits of Beverly Hills' city center. The proposed building reflects the values and qualities for which the City of Beverly Hills is well known, and captures the international standing and image that is Beverly Hills. A pedestrian-oriented building, the ground level is dedicated to retail and constructed with materials that reflect a high level of quality. Generous roof terraces are integrated as part of the facade, while expanses of glass create an open, vibrant, user-friendly environment & allow retail workers, visitors and residents to enjoy the year-round pleasant climate.

- 2. Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

Through the use of insulated, laminated, and acoustically-rated glazing, the proposed building provides sound isolation from Wilshire Boulevard. Solid balcony railings of acid-etched glass further protect the residences from noise without compromising light and privacy. HVAC will be housed in an enclosed mechanical room instead of the roof to reduce ambient equipment noise.

- 3. Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The building exterior is proposed to be of similar materials and language as the award-winning Paley Center for Media in Beverly Hills. The palette of materials supports a formal vocabulary that explores building component weight and mass through proportion, color and texture. Exterior walls are clad in light-colored travertine, white metal panels, and clear & translucent glass; the result is a composition of carefully balanced components providing a harmonious relationship between the street and interior. High quality construction, a thoughtful design, and superior building materials & finishes help tie the neighborhood back to the city center.

- 4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

The proposed building introduces a mixed-use building in the neighborhood which is consistent with the desirable trend toward greater urbanization in Beverly Hills. General plan themes addressed by the proposed building include: redevelopment encouraging pedestrian experience and reduced carbon footprint through passive cooling. Multi-family Residential Neighborhood goals addressed includes: "Character and Design" (LU 7.1) and "Amenities" (LU 7.2). Scale and proportion of the proposed building are in keeping with its surroundings.

- 5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

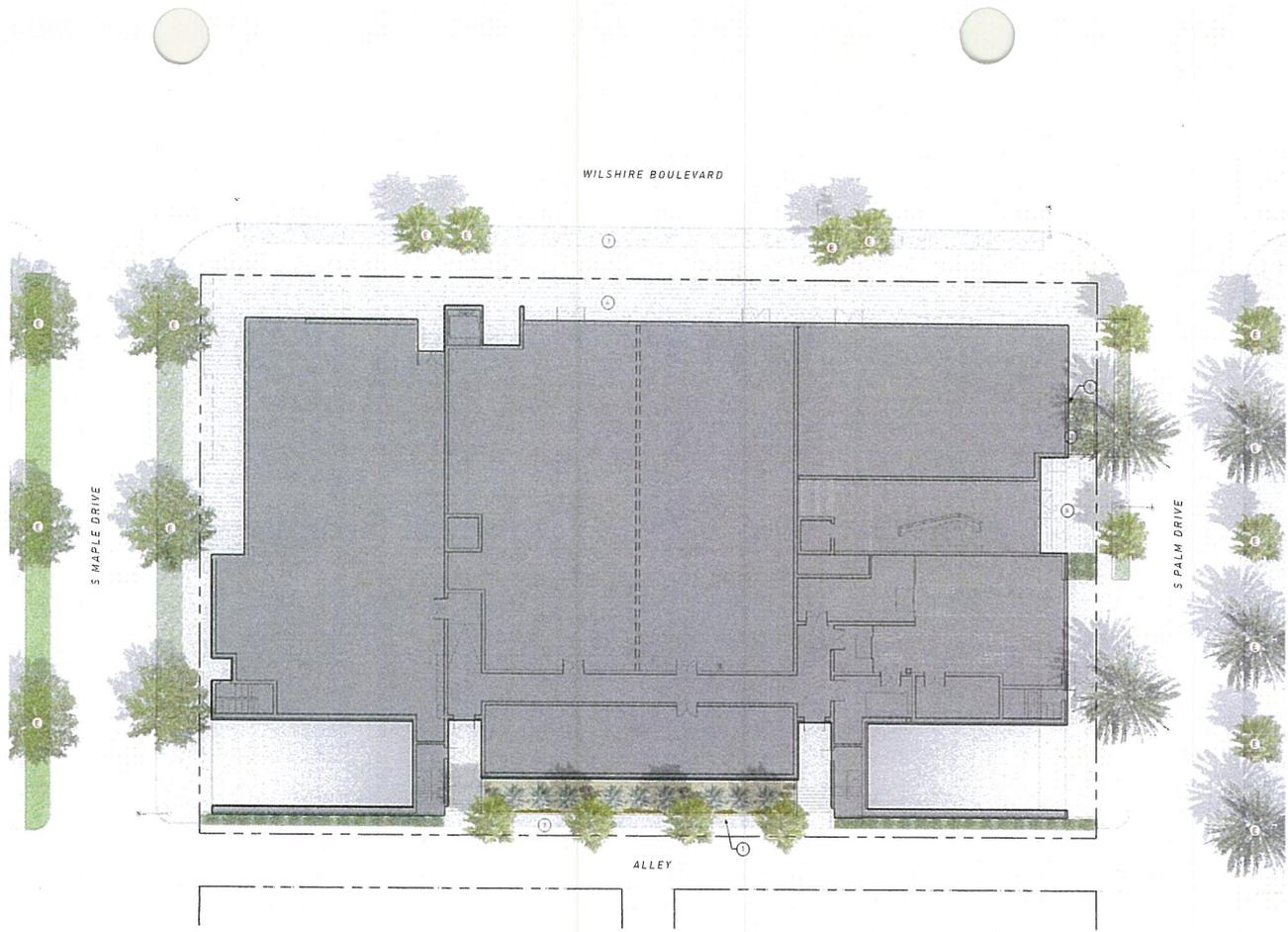
The proposed building is under an overlay zone designated as the "Mixed-Use Planned Development Overlay Zone (M-PD-4)." This overlay zone was created in part to insure the scale of the proposed building will be consistent with the scale of the neighborhood. By meeting and exceeding the setback and stepping requirement in this document, the proposed building reflects the letter and the spirit of the Overlay Zone.



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**Attached B:**  
Design Plans, Cut Sheets  
and Supporting Documents



Ground Level - Hardscape Materials



Ground Level - Plant Materials



LANDSCAPE KEY

- 1. An asterisk (\*) indicates a plant that is recommended for use in a specific climate zone.
- 2. A circle with a dot (●) indicates a plant that is recommended for use in a specific climate zone.
- 3. A circle with a cross (⊗) indicates a plant that is recommended for use in a specific climate zone.

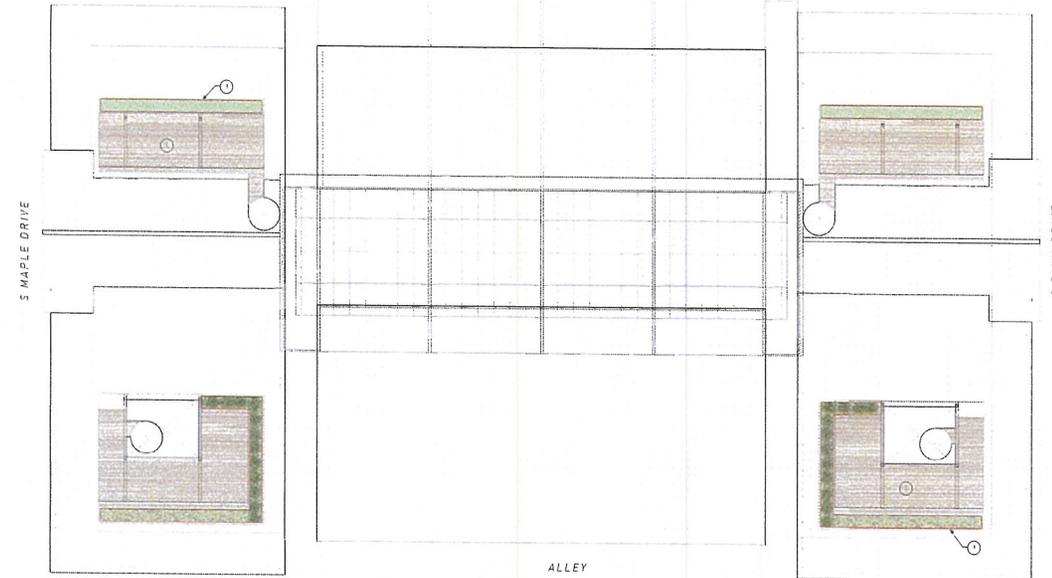
PLANT USE

- PALM PLANTER**
  - Phoenix canariensis - 10' x 10' Planter - 10' x 10'
  - Phoenix roebelinii - 10' x 10' Planter - 10' x 10'
- WALKABLE GROUNDCOVER**
  - Thymus serpyllifolius - 10' x 10' Planter - 10' x 10'
- ALLEY PLANTER MIX**
  - Agave attenuata - 10' x 10' Planter - 10' x 10'
  - Argemone mexicana - 10' x 10' Planter - 10' x 10'
  - Argemone mexicana - 10' x 10' Planter - 10' x 10'
- Gravel aggregate**
  - Gravel aggregate - 10' x 10' Planter - 10' x 10'

TREE USE

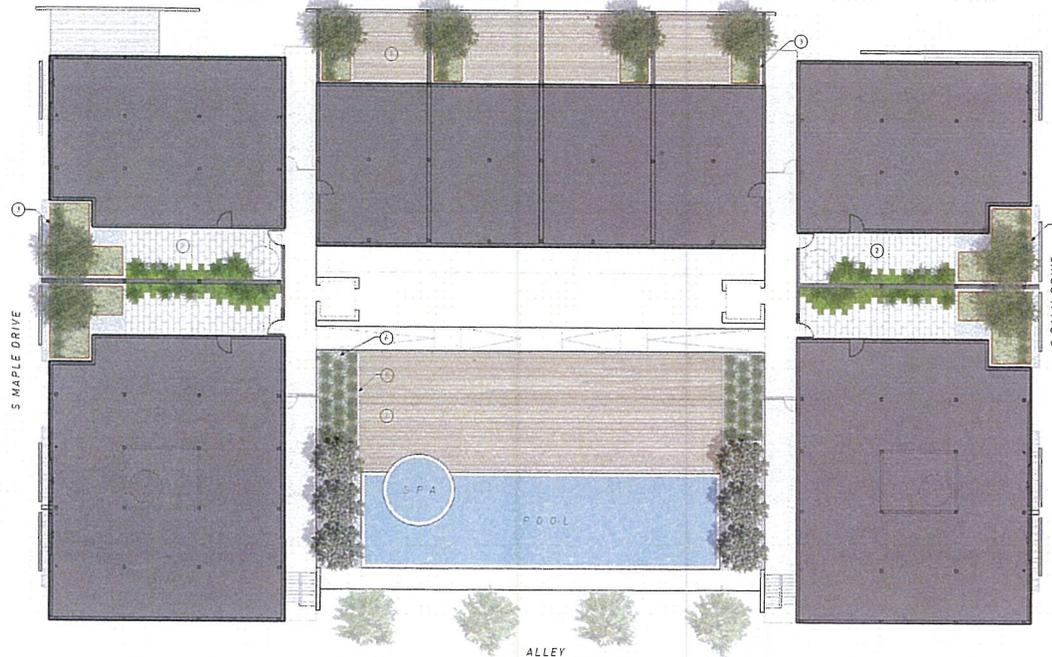
- EXISTING DECIDUOUS TREE**
  - Platanus occidentalis - 10' x 10' Planter - 10' x 10'
- NEW DECIDUOUS TREE**
  - Platanus occidentalis - 10' x 10' Planter - 10' x 10'
- EXISTING DATE PALM**
  - Phoenix canariensis - 10' x 10' Planter - 10' x 10'
- NEW DATE PALM**
  - Phoenix canariensis - 10' x 10' Planter - 10' x 10'
- EXISTING FAN PALM**
  - Wrightia religiosa - 10' x 10' Planter - 10' x 10'
- NEW FAN PALM**
  - Wrightia religiosa - 10' x 10' Planter - 10' x 10'

WILSHIRE BOULEVARD



1 ROOF LEVEL

WILSHIRE BOULEVARD



2 PENTHOUSE LEVEL

LANDSCAPE KEY

- 1 Iron deck
- 2 18" x 18" concrete pavers (in podium)
- 3 Concrete slab with 4" top layer 18" maximum 12" maximum height
- 4 18" x 18" concrete modular stone pavers with recessed band
- 5 Architectural concrete slab with stone
- 6 Iron deck (with planting)

PLANT LIST

- PENTHOUSE PLANTER**
  - Callistemon 'Little John' 18" x 18" 15 GAL
  - Callistemon 'Little John' 18" x 18" 15 GAL
- LOW PLANTING MIX**
  - Salpiglossis purpurea 'Ebbly' 18" x 18" 15 GAL
  - Salpiglossis purpurea 'Ebbly' 18" x 18" 15 GAL
  - Salpiglossis purpurea 'Ebbly' 18" x 18" 15 GAL
- ROOF LEVEL PLANTER MIX**
  - Callistemon 'Little John' 18" x 18" 15 GAL
  - Callistemon 'Little John' 18" x 18" 15 GAL

TREE LIST

- MULTI-TRUNK EVERGREEN TREE**
  - 18" x 18" 15 GAL
  - 18" x 18" 15 GAL
- EVERGREEN TREE**
  - 18" x 18" 15 GAL
  - 18" x 18" 15 GAL

Penthouse and Roof - Hardscape Materials



Penthouse and Roof - Plant Materials

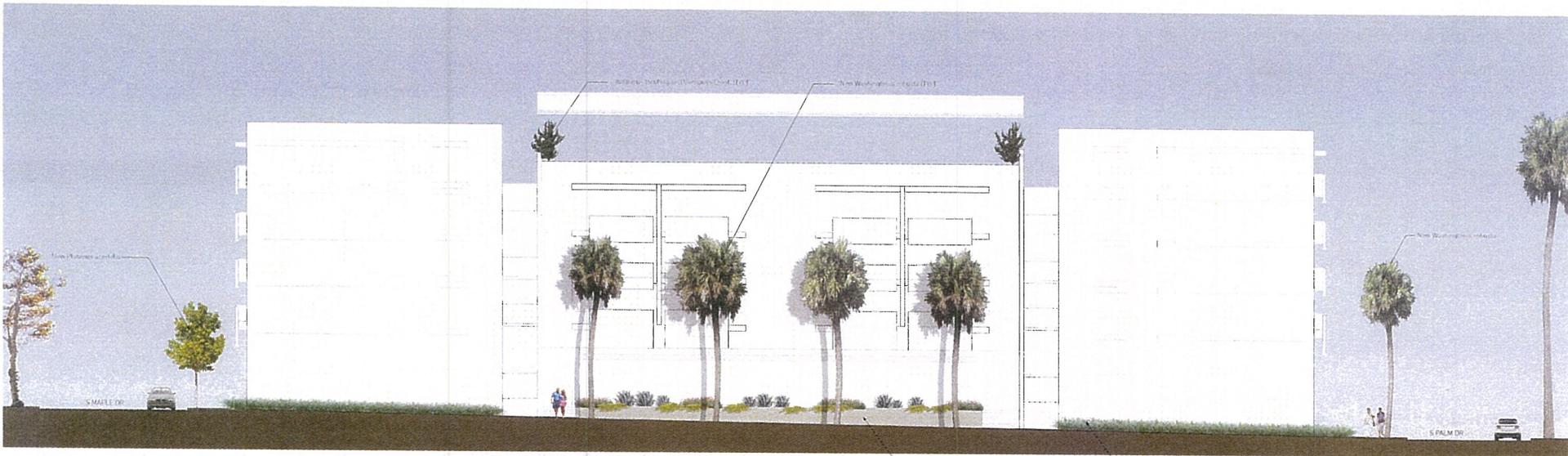




1 NORTH ELEVATION



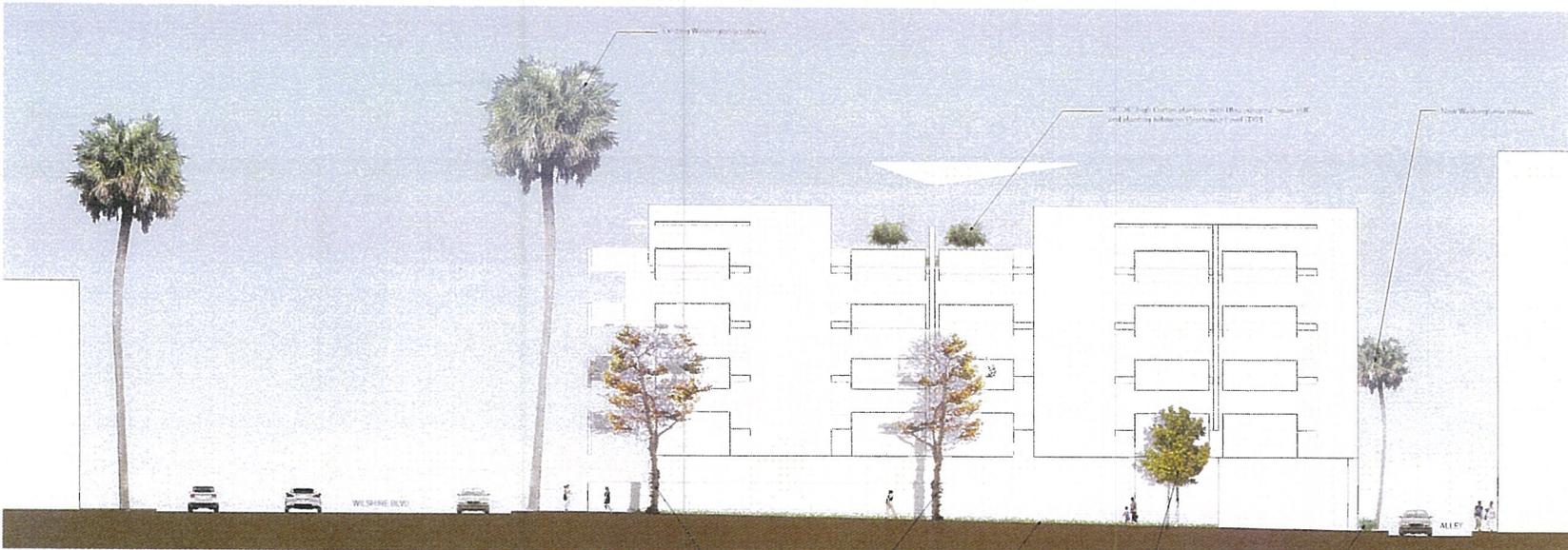
2 EAST ELEVATION



1 SOUTH ELEVATION



4'-0" high architectural concrete planter with Agave 'Giant Green', Kalipala 'variegata', and antipennis horizontalis 'Golden Carpet'  
 Chondrostaphylos tomentosa (TYP)

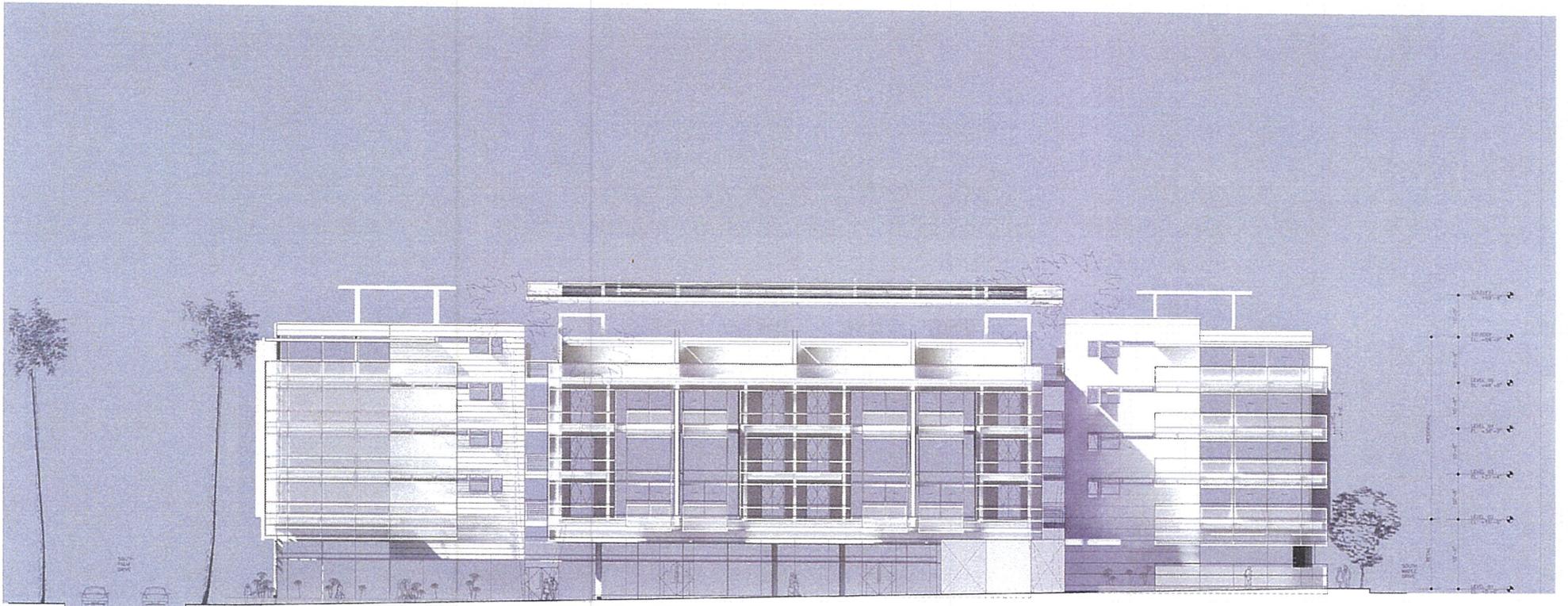


2 WEST ELEVATION



Existing Platanus acerifolia  
 Walkable ground cover  
 New Platanus acerifolia  
 Chondrostaphylos tomentosa





1 North Elevation

DATE: 04/22/2019

Owner:  
 HERRINGTON GROUP HOLDINGS LLC  
 1511 Camino Del Rio  
 Suite 400, CA 92039  
 Tel: 310.774.1111

Architect:  
 Richard Flower & Partners Architects LLP  
 295 Canyon Avenue  
 Los Angeles, California 90024  
 Tel: 312.258.8844

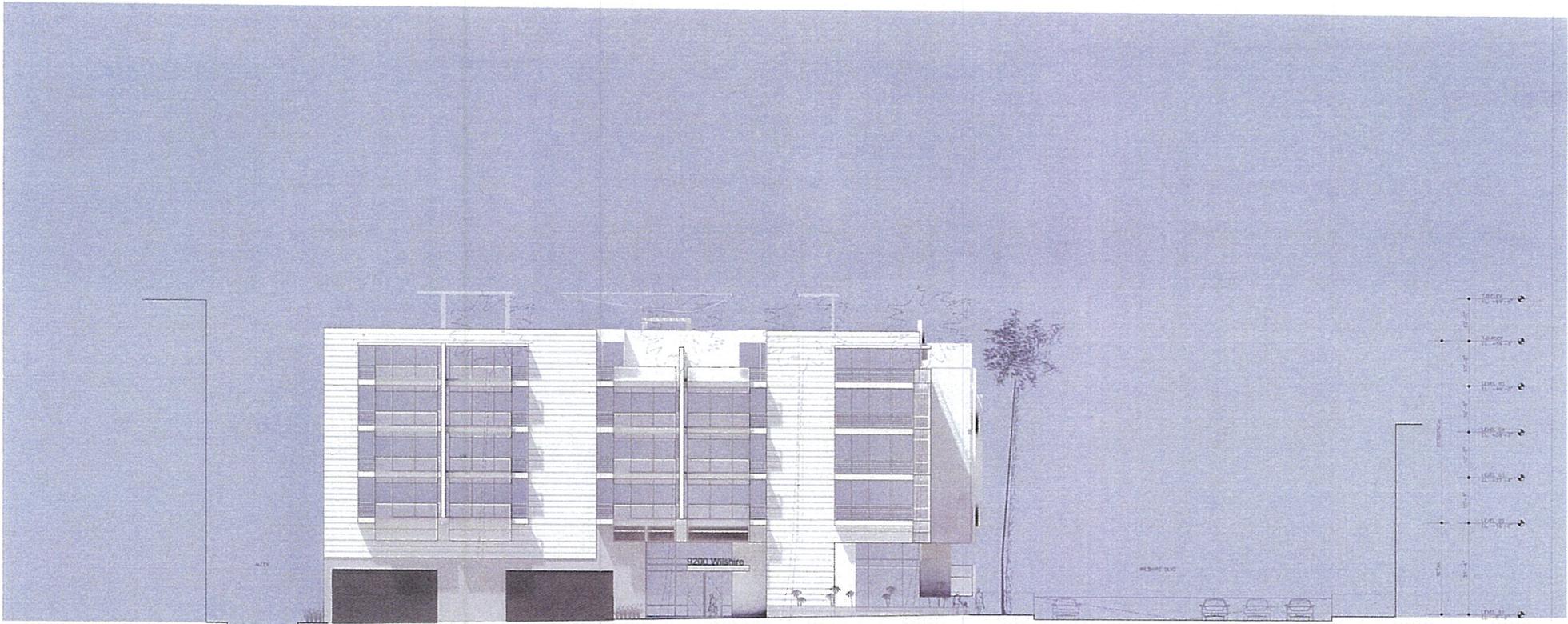
9200 Wilshire

North Elevation



10/14/18  
 100% Rev. 01  
 AC3.1.1

RFP/A-Phase 01



1 East Elevation

DATE: 08/21/2014

Owner:  
New Pacific Group Holdings, LLC  
10746 Canyon Blvd  
Beverly Hills, CA 90210  
Tel: 310.273.1111

Architect:  
Richard Helms & Partners Architects LLP  
1001 Canyon Avenue  
Los Angeles, California 90024  
Tel: 310.205.6666

9200 Wilshire

East Elevation

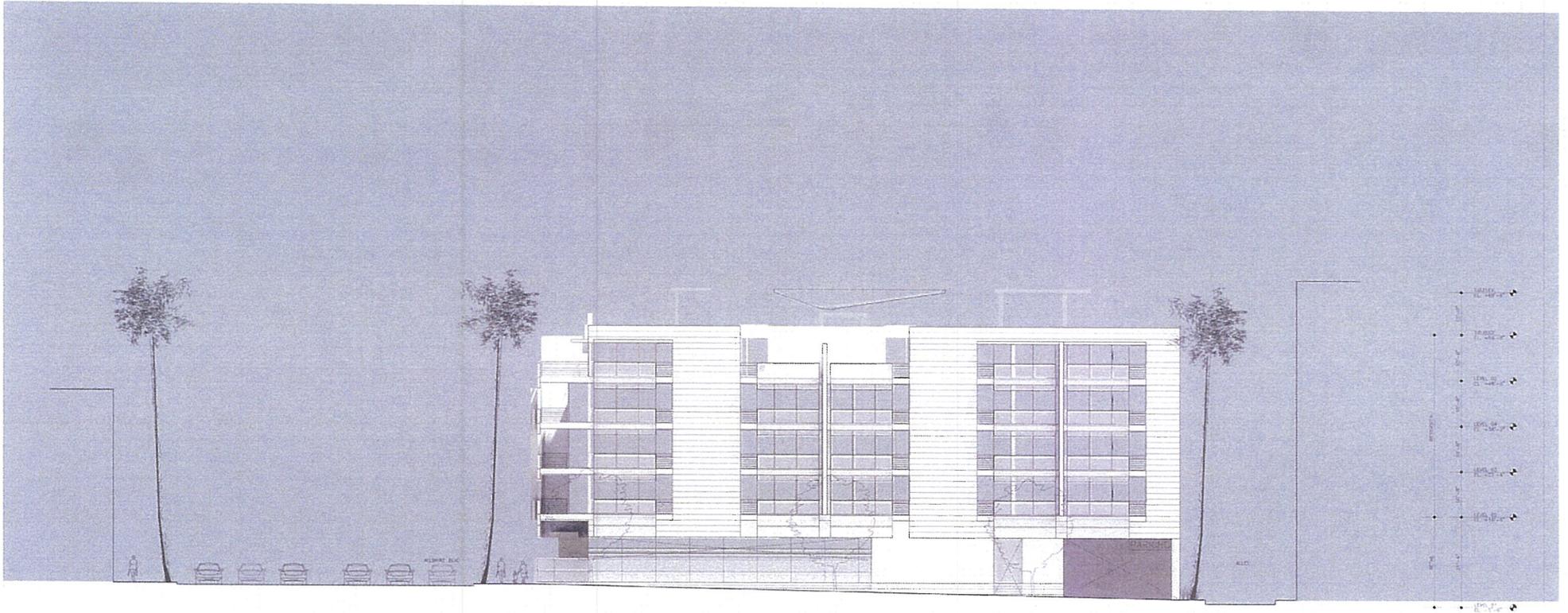
Rev. Date Scale

BVFLA Project No.

DATE: 08/21/14  
SCALE: 1/8"=1'-0"  
DRAWN BY: JH  
CHECKED BY: JH  
CIRCUIT: 111

AC3.1.2





1 West Elevation

REVISED 10/22/2007

Owner:  
New Pacific Land Ventures, LLC  
2076 Canyon Drive  
Beverly Hills, CA 90210  
Tel: 310.271.1111

Architect:  
Richard Hogg & Partners Architects LLP  
1091 Canyon Avenue  
Beverly Hills, California 90210  
Tel: 310.203.4444

9200 Wilshire

West Elevation

DATE: 10/22/07  
SCALE: 1/8" = 1'-0"  
DRAWN BY: [initials]  
CHECKED BY: [initials]

AC3.1.4





1 STREETScape PHOTO MONTAGE

MODEL NO. 101 - 101

NAME  
 PROJECT NO. 20110101-101  
 DATE 10/10/11  
 SCALE 1/8" = 1'-0"  
 DRAWN BY J. J. J. J. J.  
 CHECKED BY J. J. J. J. J.  
 PROJECT NO. 20110101-101

9200 Wilshire

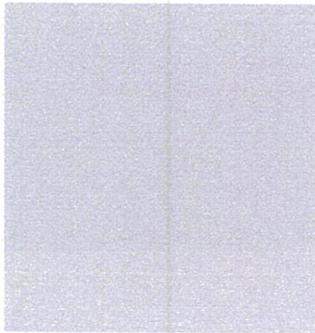
Streetscape Photo Montage



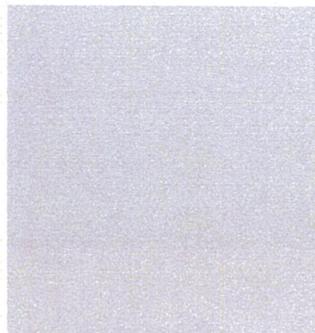
AC6.1.2



W-2 P-1 P-1 W-1 W-2 W-2 ST-2 P-1 P-1 P-1 ST-1 P-1 W-1 W-2



Clear Low-iron Glazing (W-1)  
(exterior glazing)



Acid-etched Low-iron Glazing (W-2)  
(exterior glazing and balconies)



Paint/Eggshell (P-1)  
(exterior cladding, railings, and cement plaster)



Silver Travertine (ST-1)  
(wall cladding)



Bead-blast Stainless Steel  
(MTL-1) (door hardware)



Washed Concrete (ST-2)  
(paving)

**Exterior Finishes**

City of Beverly Hills Architectural Commission Review  
New Construction

**9200 Wilshire**

9200 Wilshire Blvd  
Beverly Hills, CA 90212



1 3D Perspective Rendering - Day







**Design Review Commission Report**

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**Attached C:**

DRAFT Approval Resolution

RESOLUTION NO. AC-XX-12

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW A NEW FIVE-STORY MIXED USE BUILDING FOR THE PROPERTY AT 9200 WILSHIRE BOULEVARD (PL1226510).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Joseph Tilem, agent, on behalf of the property owner, New Pacific 9200 Wilshire LLC, (Collectively the "Applicant"), has applied for architectural approval of a new five-story mixed use building for the property located at 9200 Wilshire Boulevard.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city's commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city's local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design,

colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 5. The Architectural Commission conducted a duly noticed public hearing on October 17, 2012 at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environmental less desirable. The proposed project is proposed to be constructed using contemporary building materials and practices, and, as conditioned, compliant with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a "character contributing building": in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the planning commission to be a project that qualifies as a "character contributing building" under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
  
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.
  
7. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

Special Conditions

8. **No special conditions for this project.**

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: October 17, 2012

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William Crouch, Commission Secretary  
Community Development Department

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Zale Richard Rubins, Chairperson  
Architectural Commission

STATE OF CALIFORNIA                    )  
COUNTY OF LOS ANGELES            )     SS.  
CITY OF BEVERLY HILLS                )

I, WILLIAM CROUCH, Secretary of the Architectural Commission and Urban Designer of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. AC-XX-12 duly passed, approved, and adopted by the Architectural Commission of said City at a meeting of said Commission on October 17, 2012 and thereafter duly signed by the Secretary of the Architectural Commission, as indicated; and that the Architectural Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

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WILLIAM CROUCH  
Secretary to the Architectural  
Commission/Urban Designer  
City of Beverly Hills, California

