



## Architectural Commission Report

**Meeting Date:** Wednesday, October 17, 2012

**Subject:** **WELLS FARGO BANK**  
**9600 South Santa Monica Boulevard**  
Request for approval of building identification signs, a ground sign, and a sign accommodation for multiple business identification signs (PL122 05274)

**Project applicant:** Wells Fargo Bank

**Recommendation:** Conduct public hearing and provide the applicant with an approval.

### REPORT SUMMARY

The applicant is requesting approval of the replacement of three building identification signs, the recovering of an existing ground sign and hanging business identification sign, and a sign accommodation to allow four business identification signs in the windows along the North Camden Drive elevation. The following signs are proposed:

- One building identification sign located on the North Camden Drive elevation. The total sign area is proposed at 285.2 SF, an increase of approximately 6% from the existing building identification sign. The maximum building identification sign area for this elevation is 554.42 SF, based on a calculation of 2% of the vertical surface area of the elevation. The proposed signage material is acrylic with a yellow translucent vinyl face, a black vinyl drop shadow, and a red painted return.
- One illuminated building identification sign located on the South Santa Monica Boulevard elevation. The total sign area is proposed at 240.05 SF, an increase of approximately 32% from the existing building identification sign. The maximum building identification sign area for this elevation is 245.4 SF, based on a calculation of 2% of the vertical surface area of the elevation. The proposed signage material is acrylic with a yellow translucent vinyl face, a black vinyl drop shadow, and a red painted return.
- One illuminated building identification sign located on the western alley elevation. Building identification signs are typically restricted only to those sides of a building directly fronting on a public street. However, if a building equals or exceeds 100 SF in height, one building identification sign may be permitted on each side of the building that does not directly front a public street as long as it is located at least 75' above grade. The total sign area is proposed at 285.2 SF, an increase of approximately 6% from the existing building identification sign. The maximum building identification sign area for this elevation is 554.42 SF, based on a calculation of 2% of the vertical surface area of the elevation. The proposed signage material is acrylic with a yellow translucent vinyl face, a black vinyl drop shadow, and a red painted return.
- One illuminated business identification sign located on the South Santa Monica Boulevard elevation. The total sign area proposed is 32.9 SF, a slight increase (less than 1%) over the existing sign. The maximum business identification sign area for this elevation is 100 SF, based on a ratio of 2 SF of signage for every one foot of linear street frontage, with a maximum of 100 SF. The proposed signage material is a red acrylic base with aluminum letters.
- One illuminated ground sign located on the North Camden Drive elevation. The total sign area proposed is 31.82 SF with a height of approximately 2.5 feet, with no increase over the existing ground sign area or

Attachment(s):

- Detailed Design Description and Materials (Applicant Prepared)
- Design Plans, Cut Sheets and Supporting Documents
- DRAFT Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner  
(310) 285-1191  
[cgordon@beverlyhills.org](mailto:cgordon@beverlyhills.org)



## Architectural Commission Report

455 North Rexford Drive  
AC Meeting – October 17, 2012

height. Ground signs are permitted a maximum sign area of 55 SF and a maximum height of 20'-0". The proposed signage material is a polycarbonate face with red and yellow translucent vinyl.

- Four illuminated business identification signs located in the storefront windows along North Camden Drive. Each sign is 2.25 SF in area, for a total sign area of 9 SF. The maximum business identification sign area for this elevation is 30 SF, based on a ratio of 2 SF of signage for every one foot of linear street frontage, with a maximum of 30 SF. The proposed signage material is a polycarbonate base with red and yellow translucent vinyl. Each sign is attached to a floor-mounted aluminum support.

The applicant is also proposing to repaint a portion of the fascia on the south elevation to match the existing.

### ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Architectural Commission or staff, as appropriate.

### ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

### PUBLIC OUTREACH AND NOTIFICATION

The sign accommodation request for this project requires mailed public notices within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed on Friday, October 5, 2012. To date staff has not received any comments in regards to the submitted project.



**Architectural Commission Report**

455 North Rexford Drive  
AC Meeting – October 17, 2012

**Attached A:**

Detailed Design Description  
and Materials (Applicant Prepared)

**SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION**

**A Indicate Requested Application**

- Staff Review
  - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Architectural Commission Review
  - Ten (10) sets of plans required (see Section 6 for plan size requirements).
  - Public Notice materials required for Sign Accommodations (see Section 5 for public notice requirements).

**B Identify the scope of work (check all that apply):**

- New construction
  - Façade Remodel ONLY
  - Business Identification Sign(s)
    - Number of signs proposed: 2
  - Building Identification Sign(s)
    - Number of signs proposed: 3
  - Sign Accommodation (explain reason for the accommodation request below):
    - Number of signs proposed: \_\_\_\_\_
  - Other: \_\_\_\_\_
- Remodel: Int. & Ext, no floor area added  
 Remodel: Int. & Ext, floor area added  
 Awning(s):  New  Recovery  
 Open Air Dining: #Tables \_\_\_\_\_ # Chairs \_\_\_\_\_

**C Describe the scope of work proposed including materials and finishes:**

The proposed changes is to modify the current signage to match the current brand standards and trademarked logo. This request will also improve identification for Wells Fargo patrons. For further information please see artwork and material board.

**C Identify the Project Zoning (City Zoning Map: <http://gis.beverlyhills.org/UNITEGIS/>)**

- |                              |                                 |   |                                 |                                |
|------------------------------|---------------------------------|---|---------------------------------|--------------------------------|
| <input type="checkbox"/> R-4 | <input type="checkbox"/> R-4X   | <input type="checkbox"/> R-4            | <input type="checkbox"/> R-4-P  | <input type="checkbox"/> R-4X2 |
| <input type="checkbox"/> R-3 | <input type="checkbox"/> RMCP   | <input checked="" type="checkbox"/> C-3 | <input type="checkbox"/> C-3A   | <input type="checkbox"/> C-3B  |
| <input type="checkbox"/> C-5 | <input type="checkbox"/> C-3T-1 | <input type="checkbox"/> C-3T-2         | <input type="checkbox"/> C-3T-5 | <input type="checkbox"/> C-5   |

**E Lot is currently developed with (check all that apply):**

- General Office Building
- Retail Building
- Medical Office Building
- Multi-family Building
- Vacant
- Restaurant
- Other (specify below): \_\_\_\_\_

**F Are any protected trees located on the property? (See the City’s tree removal guidelines at: <http://www.beverlyhills.org/services/building/plans/tree.asp>.)**

Yes  No

If YES, provide the following information:

Tree Type:  Heritage Tree(s)  Native Tree(s)  Urban Grove

Species: N/A N/A

Quantity/Sizes:

Reason for Removal:

**G Has the existing structure been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Historic Resources Survey (Verify with the Planning Division if the property is listed on the City’s survey)?**

Yes  No  If yes , please list Architect’s name: \_\_\_\_\_

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)**

**A Indicate in the chart below all applicable signage details:**

	<u>Type of Sign</u> (i.e. business ID, building ID, parking, etc.)	<u>Dimensions</u> (length x width)	<u>Square Feet</u>	<u>Maximum Area Permitted by Code</u>	<u>Maximum Area Permitted w/ Sign Accommodation</u> (if applicable)
1	Building ID Wall Sign (Quantity 2)	68'-5 1/2" x 6'	410.8	2% of the facade area	N/A
2	Building ID Wall Sign (Quantity 1)	52'-4 1/2" x 4'-7"	240.05	2% of the facade area	N/A
3	Business ID, Monument Sign	13'-10 5/8" x 27 1/2"	31.82	55 SF	N/A
4	Letterset hanging from Canopy	14'-10" x 2'-2 5/8"	32.9	2 Sq. Ft. per linear foot of street frontage, NTE 100 SF	N/A
5	Interior window sign (4)	1'6" x 1'6"	2.25 per sign 9 SF total	25% of display area	N/A

**C List the specific materials and finishes for all of the architectural features proposed in the project (List N/A, not applicable, for features that do not apply.):**

**FAÇADE** (List all material for all portions visible from the street)

Material: Brick  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**WINDOWS/DOORS** (Include frame, trim, glass, metal, etc.)

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**ROOF**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**CHIMNEY(S)**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**COLUMNS**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**BALCONIES & RAILINGS**

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**OUTDOOR DINING ELEMENTS** (List all material for all outdoor dining elements.)

Material: N/A  
 Texture /Finish: \_\_\_\_\_  
 Color / Transparency: \_\_\_\_\_

**SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)**

**AWNINGS, CANOPIES**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**DOWNSPOUTS / GUTTERS**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**BUSINESS ID SIGN(S)**

*Material:* Please see attached sign drawings  
*Texture /Finish:*  
*Color / Transparency:*

**BUILDING ID SIGN(S)**

*Material:* Please see attached sign drawings  
*Texture /Finish:*  
*Color / Transparency:*

**EXTERIOR LIGHTING**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**PAVED SURFACES**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**FREESTANDING WALLS AND FENCES**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**OTHER DESIGN ELEMENTS**

*Material:* N/A  
*Texture /Finish:*  
*Color / Transparency:*

**D Describe the proposed landscape theme, if applicable. Explain how the proposed landscaping complements the proposed style of architecture:**

N/A

**SECTION 4 – DESIGN ANALYSIS AND FINDINGS (for Commission level applications only)**

**A** Clearly identify how your project adheres to each of the required findings of the Architectural Review Commission:

1. **Describe** how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.

See Attachment A

2. **Describe** how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.

See Attachment A

3. **Describe** how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.

See Attachment A

4. **Describe** how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.

See Attachment A

5. **Describe** how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.

See Attachment A

1. **Describe how the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas and high quality.**

The proposed signage is constructed with an important balance of quality and taste, which are harmonious with the surrounding community and also important to commercial identification. Wells Fargo believes the proposed signage will mutually serve the bank as well as the surrounding area within Beverly Hills by not only meeting the aforementioned conditions, but also serving to preserve and promote them. The request serves a very important role in identifying the business while simultaneously providing a clean and subtle appearance. This will help the site be identifiable to pedestrians and motorists while staying in conformity with the surrounding businesses and not garnering any undue attention.

The monument sign facing N. Camden Drive gives customers traveling the roadways close to the site proper identification of the building. For customers traveling along N. Camden Drive this sign has been and is a necessary way finding tool. The request is to simply reface it to make it more legible and recognizable for them, due to currently utilizing the old branding for Wells Fargo. The building identification wall signs and business identification wall signs give identification to the site for customers traveling from a farther distance. This will allow motorists to focus more on their main task, which is driving. Signs that have better legibility provide motorists with the advance notification so safely maneuver to this site. The change in color from the existing signs is necessary due to the current signs blending in with the skyline and building. The request will give the sign better visibility by customers, and provide adequate guidance to the site. The sign hanging from the canopy is a way finding tool for motorists traveling south on N. Camden Drive and along Santa Monica Boulevard. Just like the monument sign, this sign is proposed in the same location as the existing sign and will make it more legible to motorists. These signs give motorists proper identification of the building while also giving them ample time to make the maneuvers necessary to arrive at the site safely.

The proposed interior window signage helps customers identify our site through the window. They are code compliant and less than 25% of the window. These will help identify this location to pedestrians that are utilizing the sidewalks, especially during night hours, as the ATM in the lobby are accessible twenty four hours a day.

2. **Describe how the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable.**

N/A

3. **Describe how the proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value.**

The signage requested is very subtle, and it fits in with the community. The actual building itself is not being changed, and the signage will actually enhance the existing building. The request will not depreciate the local government in appearance and value, but actually help keep the appearance of the community in good standard. Similar to the surrounding businesses, the

signage will simply adequately identify the building to pedestrians and motorists. The request is very important when identifying the site and the request will do just that while keeping uniformity within the community.

**4. Describe how the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan.**

As mentioned above, the request is in conformity with the surrounding businesses and will not ruin the integrity of the community. Beverly Hills is a very pristine area, and the request will reinforce the area due to only increasing the letter height to allow for advance notification. The subtleness of the requested signage keeps the community's uniformity while also allowing the signage to identify the site and guiding pedestrians and motorists. The request will be in harmony with the General Plan of Beverly Hills as it will help create economic sustainability. It will maintain the city's quality of life and economy and enhance its role as a great place to live, work and play. The request helps identify the site which in turn helps generate more business and improve the traffic safety within these commercial corridors. This will generate a continued success for the business and will lead to more employment opportunities.

**5. Describe how the proposed development is in conformity with the standards of the municipal code and other applicable laws insofar as the location and appearance of the buildings and structures are involved.**

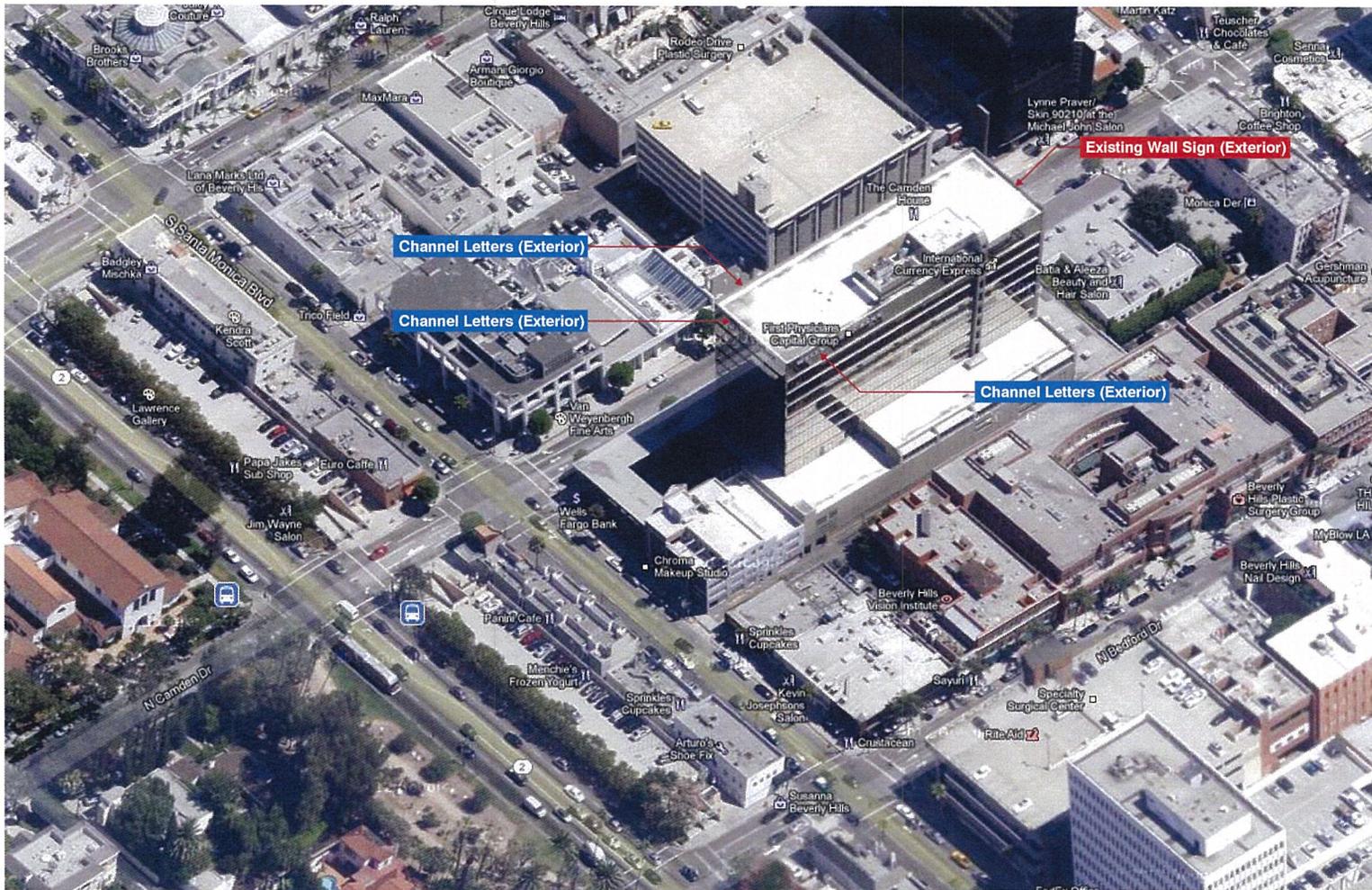
The signage requested falls within the regulations put forth by the municipal code. The requested signs are necessary due to the height of the building. The height of the building is 136'-4", and the signs are being placed at the top of each façade. The letter height being requested is necessary because the sign needs to be visible to motorists as they are traveling the roadways, especially a street like Santa Monica Boulevard. The request will give those motorists proper identification that wouldn't be found with a smaller letter height or a color that is lost in the skyline. The signage does not exceed the allotted square footage and is located where permitted per the ordinance. The signage is spaced out and is placed on different elevations.



**Architectural Commission Report**

455 North Rexford Drive  
AC Meeting – October 17, 2012

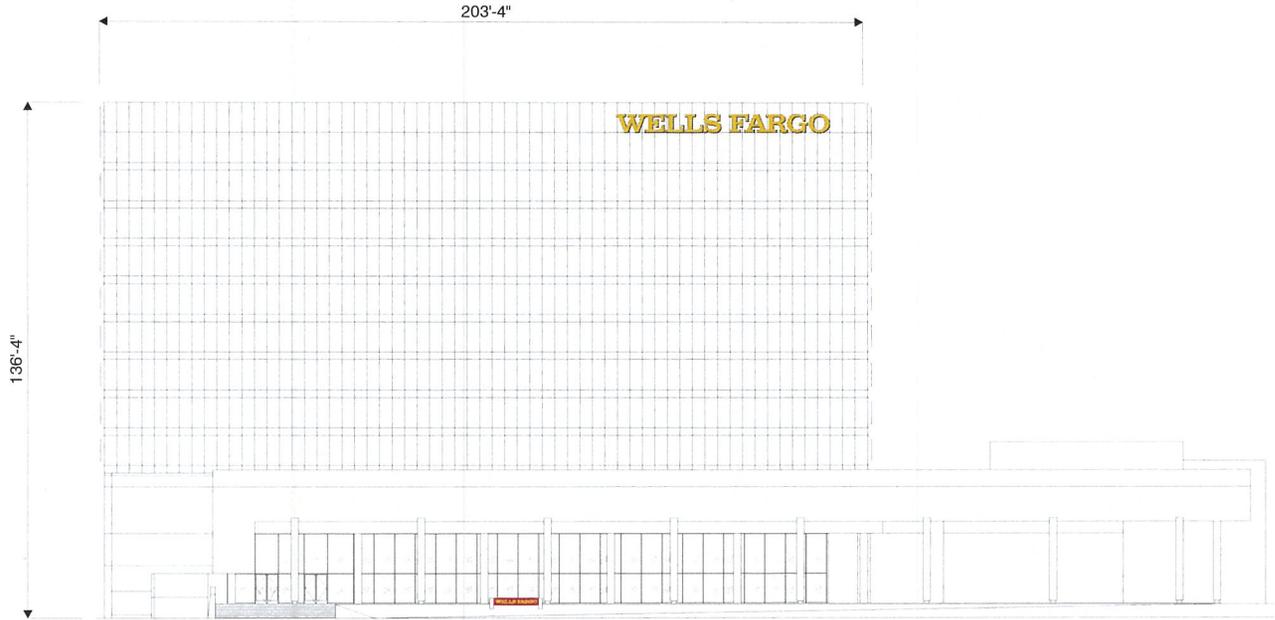
**Attached B:**  
Design Plans, Cut Sheets  
and Supporting Documents



■ - Remove / Replace    ■ - Repaint

Total site reduction of approximately 60 square feet.

Front Elevation



Scale: 1/32"=1'

Square Footage of Elevation: 136'-4" x 203'-4" = 27,721  
Allowed Square Footage (2% of Elevation): 0.02 x 27721 = 554.42  
% of Allowed Square Footage Used: 285.2 / 554.42 = 51.4%

Proposed Signage - Front Elevation

Existing

Sign to be removed. Reduction of approximately 150 square feet.

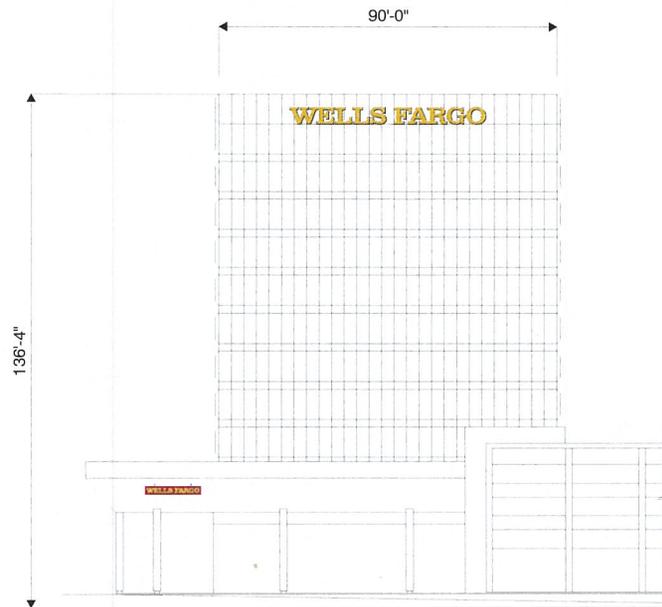


Proposed



CH-60-H  
Internally Illuminated Channel Letters  
Existing Square Feet: 268.33 | Proposed Square Feet: 285.2  
Scale: 3/32"=1'

**Right Elevation**



Scale: 1/32"=1'

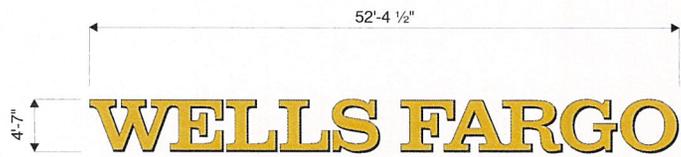
Square Footage of Elevation: 136'-4" x 90'-0" = 12,270  
Allowed Square Footage (2% of Elevation): 0.02 x 12270 = 245.4  
% of Allowed Square Footage Used: 240.05 / 245.4 = 97.8%

Proposed Signage - Right Elevation

Existing

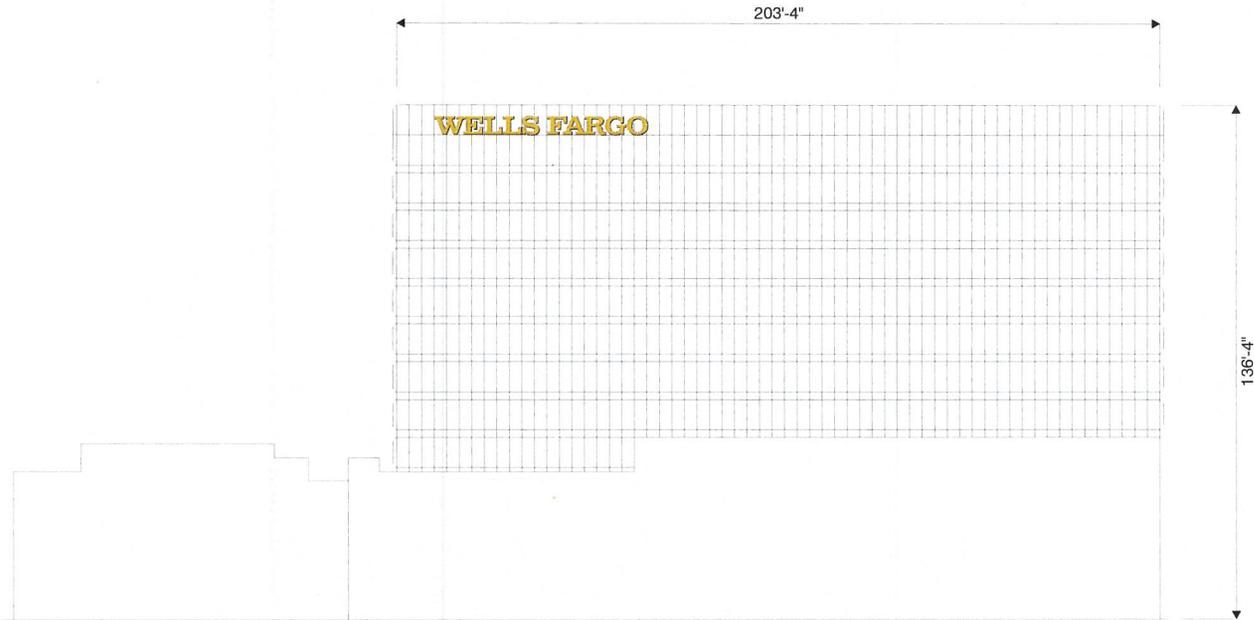


Proposed



CH-55-H (Custom)  
Internally Illuminated Channel Letters  
Existing Square Feet: 182.0 | Proposed Square Feet: 240.05  
Scale: 1/16"=1'

**Rear Elevation**

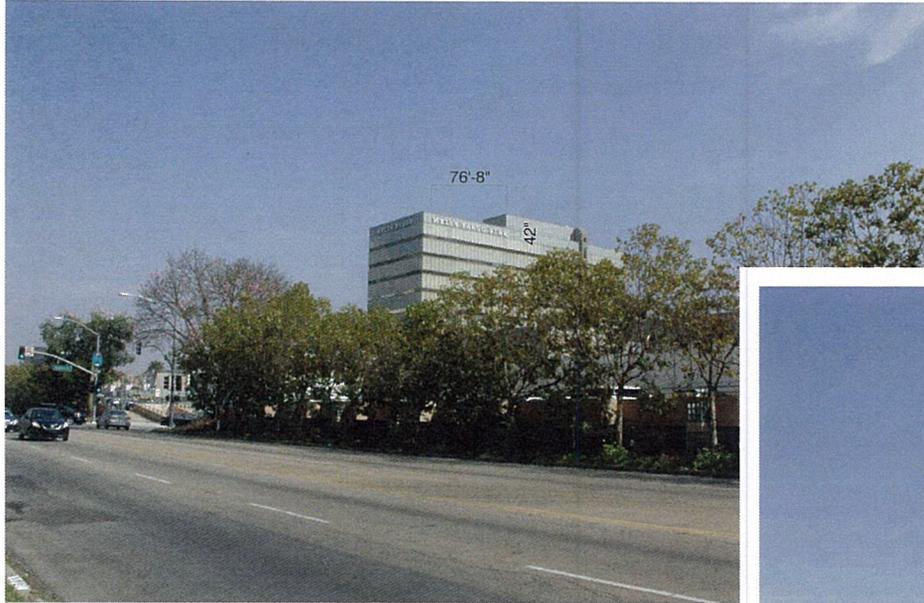


Scale: 1/32"=1'

Square Footage of Elevation: 136'-4" x 203'-4" = 27,721  
Allowed Square Footage (2% of Elevation): 0.02 x 27721 = 554.42  
**% of Allowed Square Footage Used: 285.2 / 554.42 = 51.4%**

Proposed Signage - Daytime Approach Shots

Existing Northeast View



Proposed Northeast View

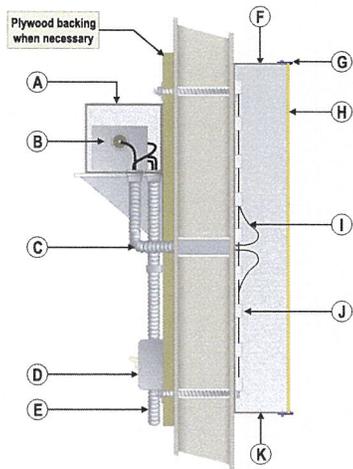


CH-60-H  
Internally Illuminated Channel Letters  
Existing Square Feet: 268.33 | Proposed Square Feet: 285.2  
Scale: 3/32"=1'

## Internally Illuminated Channel Letters

Description: Remove existing sign. Patch and repaint fascia to match existing. Install new remote wired illuminated letters. All specifications are listed below. Letters are flush mounted to wall surface. A more detailed survey of existing site is needed to verify dimensions. Quantity of three (3).

### SIGN CROSS SECTION

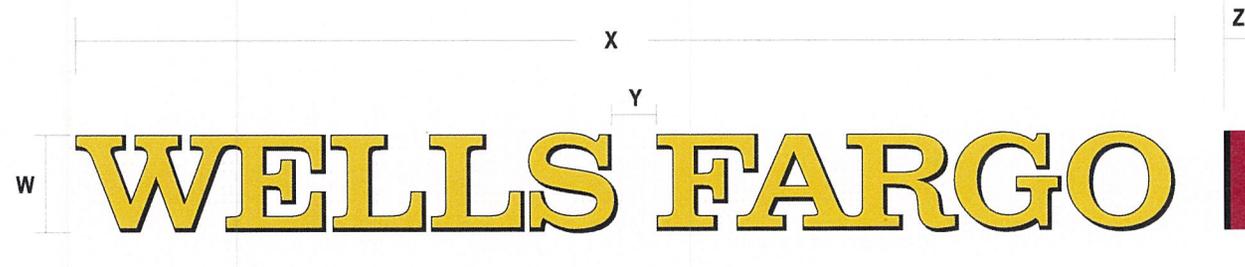


- A Power supply housing
- B Power supply Unit
- C 1/2" flexible conduit
- D listed disconnect switch
- E primary electrical source
- F letter return (see chart below)
- G face retainer (see chart below)
- H clear acrylic
- I supply wire
- J GE Tetra miniMAX Warm White
- K weep holes (2 per letter)

**LTR. FACES:**  
**3M #3635-70**  
 White Diffuser Film (2nd Surface)  
**3M #3630-4039**  
 Yellow Translucent Vinyl (1st Surface)  
**3M #3630-22**  
 Black Vinyl Drop Shadow (1st Surface)



**LTR. RETURNS:**  
 painted  
 Matthews MP65837 R9666 Red  
 with clearcoat, Semi-Gloss



Letter Faces	Letter Backs	Letter Returns	Face Retainer	Ltr. Illumination	Model #	W	X	Y	Z	SF	
.187" Clear Acrylic	(.125") Aluminum Interior Painted Spraylat Star-Brillo EF	(.090") Aluminum Custom Red Interior Painted Spraylat Star-Brillo EF	1.5" Aluminum Retainer Painted Black	GE Tetra miniMAX, GEWWMM55-S0K	CH-60-H	5'-0"	57'-0 1/2"	28"	8"	285.2	Quantity of 2
					Model #	W	X	Y	Z	SF	
					CUSTOM CH-55-H	4'-7"	52'-4 1/2"	25 1/2"	8"	240.05	Quantity of 1

### GENERAL NOTES

All lighting elements to be non-visible, including transformers.

Acrylic faces attached to trim caps using LORD 7542e adhesive, or approved equal with comparable VOC characteristics.

Letters from 10" - 3'-6" have backs mechanically fastened to returns.

Letters from 4'-0" and above have backs welded to returns.

All electrical to be UL Listed and labeled

Power supply wiring to be compliant to UL48 and NEC.

Letters from 4'-0" and above (High Rise Conditions) require additional galvanized steel mounting clips.

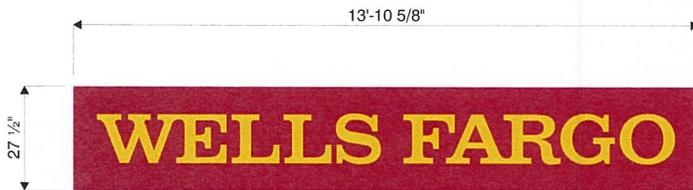
All visible mechanical fasteners going thru the trim cap must be painted black.

Proposed Signage - Monument Reface

Existing



Proposed



Custom Reface of Existing Monument  
Existing Square Feet: 31.82 | Proposed Square Feet: 31.82  
Scale: 3/8"=1'

**Proposed Signage - Channel Letters on Hanging Staging Panel**

Existing



Proposed



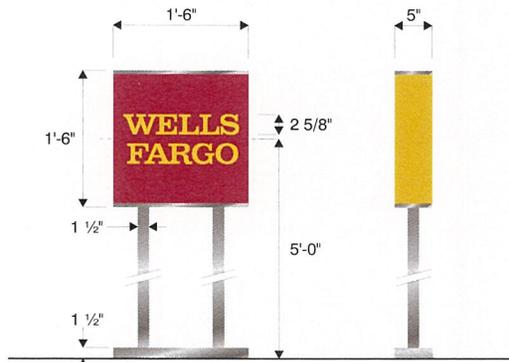
**Custom LPESP-HI-10-H**  
 Reverse and Front-Lit Low Profile Channel Letters on  
 Hanging Staging Panel  
 Existing Square Footage: 31.27 | Proposed Square Footage 32.9  
 Scale: 1/4"=1'

**Proposed Signage - Interior Window Sign**

Existing



Proposed - Fourth sign located behind privacy vinyl and cannot be seen from the street.



**WS-18 (Qty. 4)**  
Illuminated Interior Window Sign  
Existing Square Footage: N/A | Proposed Square Footage 2.25  
Scale: 3/4"=1'

**Existing Signage - Repaint Only**

Existing Southeast Elevation



Proposed Southeast Elevation



*Repaint fascia as shown, to match existing.*

Proposed Signage - Daytime Approach Shots

Existing Northwest View

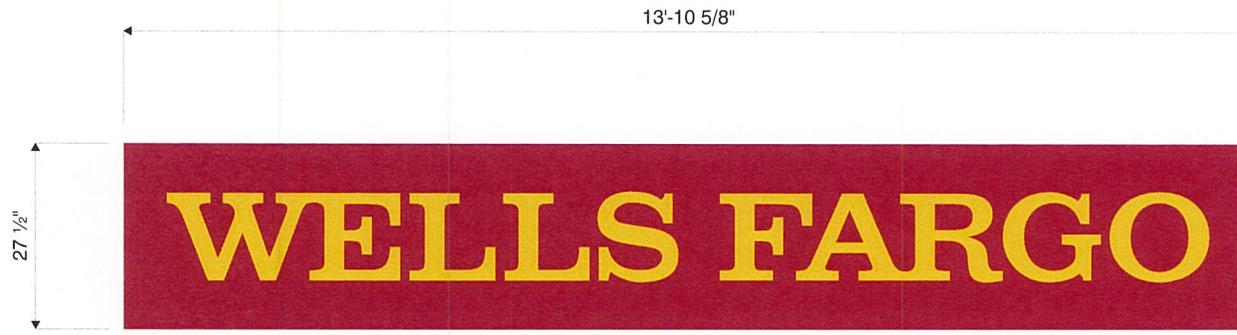


Proposed Northwest View

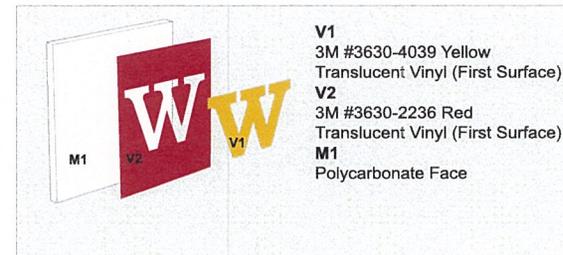


**Custom Monument Reface**

Description: Remove existing face from single-sided sign. Install one (1) new polycarbonate face decorated first surface with vinyl. Repaint cabinet.

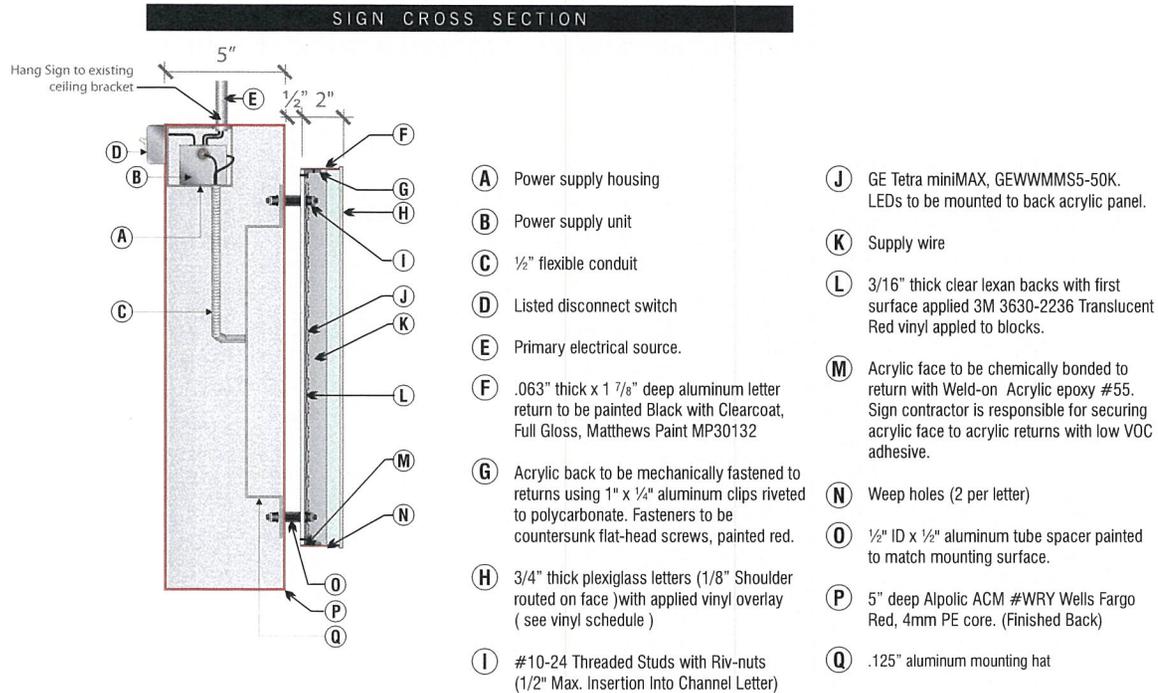


31.82 Square Feet  
Scale: NTS

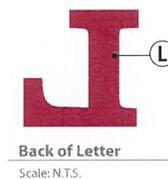


## Channel Letters on Hanging Staging Panel

Description: Remove existing cabinet. Patch and repair existing wall to like new condition. New staging panel to hang from existing brackets on site. Internally illuminated low profile channel letters to be front and reverse-lit to provide 'halo effect' illumination. Specifications are listed below. **Measurements to be verified in field.**

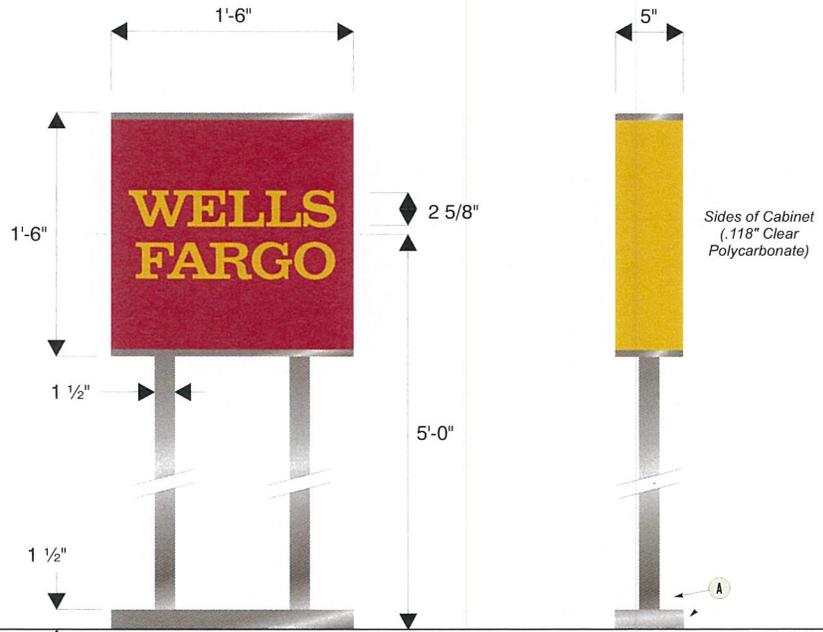


Model Number	w	Height	Width	Letter Depth	Sq.Ft.
LPESP-HI-10-H	15"	2'-2 5/8"	14'-10"	2"	32.9



**Illuminated Interior Window Sign  
WS-18**

Description: New illuminated floor mounted interior window sign. 2" x 2" Aluminum tube support posts, aluminum mounting plate and cover. Illuminated with GE Tetra miniMAX White LED units (65K). Face and sides of cabinet illuminate. Sign must be free of all light leaks.  
Quantity of four (4).



Scale: NTS  
2.25 Square Feet



Top of Cabinet (.125" Aluminum)



Back of Cabinet (.125" Aluminum)



Bottom of Cabinet (.25" Aluminum)



**Architectural Commission Report**

455 North Rexford Drive  
AC Meeting – October 17, 2012

**Attached C:**

DRAFT Approval Resolution

RESOLUTION NO. AC-XX-12

RESOLUTION OF THE ARCHITECTURAL COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING AN ARCHITECTURAL REVIEW PERMIT TO ALLOW BUILDING IDENTIFICATION SIGNS, A GROUND SIGN, AND A SIGN ACCOMMODATION FOR MULTIPLE BUSINESS IDENTIFICATION SIGNS FOR THE PROPERTY LOCATED AT 9600 SOUTH SANTA MONICA BOULEVARD (WELLS FARGO – PL1225274).

The Architectural Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Brent Forte, agent, on behalf of the property owners, Camden Properties LLC, and the tenant, Wells Fargo (Collectively the “Applicant”), has applied for architectural approval of building identification signs, a ground sign, and a sign accommodation for multiple business identification signs for the property located at 9600 South Santa Monica Boulevards.

Section 2. Beverly Hills Municipal Code Article 30, Chapter 3 of Title 10, authorizes the Architectural Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city’s commercial and multi-family districts, subject to findings set forth in Beverly Municipal Code Section 10-3-3010.

Section 3. Consistent with Beverly Hills Municipal Code Section 10-3-3010, this resolution documents the official action of the architectural commission with respect to the project.

Section 4. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city’s

local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 5. The Architectural Commission conducted a duly noticed public hearing on **October 17, 2012** at which time oral and documentary evidence was received concerning the application.

Section 6. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Architectural Commission hereby makes the following findings:

A. The plan for the proposed building or structure is in conformity with good taste and good design and, in general, contributes to the image of Beverly Hills as a place of beauty, spaciousness, balance, taste, fitness, broad vistas, and high quality. Specifically the project incorporates an appropriate balance of color, high quality materials and appropriate architectural design principles to reinforce the city's urban form and promote the image of Beverly Hills.

B. The plan for the proposed building or structure indicates the manner in which the structure is reasonably protected against external and internal noise, vibrations, and other factors which may tend to make the environment less desirable. The proposed project is proposed to be constructed

using contemporary building materials and practices, and, as conditioned, complaint with all applicable building codes, including standards that protect against unwanted noise and vibrations.

C. Proposed building or structure is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment to materially depreciate in appearance and value. Specifically, the commission has reviewed the design and construction materials proposed for the project, which incorporates contemporary building material of known quality and durability. Moreover, the project design is appropriate to the building and surrounding improvements and is well matched to the selected materials.

D. As conditioned, the proposed building or structure is in harmony with the proposed developments on land in the general area, with the general plan for Beverly Hills, and with any precise plans adopted pursuant to the general plan. The proposed project complies with the applicable goals and policies set forth in the general plan, and, as conditioned, designed in a manner that complies with local ordinances. The overall design is consistent with and appropriate to other improvements in the general vicinity.

E. The proposed development is in conformity with the standards of this code and other applicable laws insofar as the location and appearance of the buildings and structures are involved. As, conditioned, the project will be designed in compliance with all applicable regulations.

F. The proposed development is designed in a manner that protects and preserves those exterior elements of the building which the planning commission found contributed to the determination of the project as a "character contributing building": in accordance with section 10-2-707 of this title. The proposed project does not include a request and has not been determined by the

planning commission to be a project that qualifies as a “character contributing building” under section 10-2-707. Therefore, this finding is not applicable to the subject project.

Section 7. Based on the foregoing, the Architectural Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Architectural Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city’s municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.
4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades. The quality and detail of the rendering shall be subject to approval from the director of community development, or

designee, and shall include sufficient design information to evaluate project compliance during construction.

5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.
  
6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Architectural Commission.
  
7. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

---

Special Conditions

8. **No special conditions for this project.**

---

Section 8. The Secretary of the Architectural Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 9. Decisions of the Architectural Commission may be appealed to the City Council within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: **October 17, 2012**

---

William Crouch, Commission Secretary  
Community Development Department

---

Zale Richard Rubins, Chairperson  
Architectural Commission

STATE OF CALIFORNIA                    )  
COUNTY OF LOS ANGELES            )     SS.  
CITY OF BEVERLY HILLS                )

I, WILLIAM CROUCH, Secretary of the Architectural Commission and Urban Designer of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. AC-XX-12 duly passed, approved, and adopted by the Architectural Commission of said City at a meeting of said Commission on October 17, 2012 and thereafter duly signed by the Secretary of the Architectural Commission, as indicated; and that the Architectural Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

---

WILLIAM CROUCH  
Secretary to the Architectural  
Commission/Urban Designer  
City of Beverly Hills, California