



City of Beverly Hills

Planning Division

455 N. Rexford Drive Beverly Hills, CA 90210
TEL. (310) 458-1141 FAX. (310) 858-5966

Design Review Commission Report

Meeting Date: Monday, July 9, 2012

Subject: 506 N Linden Drive (PL# 120 9846)

A request for an R-1 Design Review Permit to allow the construction of a new two-story single-family residence located in the Central Area of the City north of Santa Monica Boulevard.

Project applicant: Jacques Mashihi

Recommendation: Conduct public hearing and provide the applicant with design direction.

REPORT SUMMARY

The applicant is requesting approval of a new two-story single-family residence in the Central Area of the City, north of Santa Monica Boulevard. Since the project does not adhere to a pure architectural style, the project is before the Commission for review.

ZONING CODE COMPLIANCE

Applications for design review are preliminarily evaluated for compliance with the zoning code. Applicants are encouraged and have the option of requesting a comprehensive review separate and apart from this application. Formal compliance review will occur when a building permit application is filed (plan check). The applicant has been advised that changes during plan check may require revisions and subsequent approval from the Design Review Commission or staff, as appropriate.

ENVIRONMENTAL ASSESSMENT

The subject project is exempt from the California Environmental Quality Act (CEQA – Public Resources Code §§21000 – 21178), pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

PUBLIC OUTREACH AND NOTIFICATION

The project requires mailed public notice within 100 feet of the subject property be mailed ten (10) days prior to the hearing. The public notice for this project was mailed June 29, 2012. To date staff has not received and comments in regards to the submitted project.

Attachment(s):

- A. Detailed Design Description and Materials (Applicant Prepared)
- B. Design Plans, Cut Sheets & Supporting Documents
- C. Approval Resolution

Report Author and Contact Information:

Cindy Gordon, Assistant Planner
(310) 285-1191
cgordon@beverlyhills.org



Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attached A:

Detailed Design Description
and Materials (applicant prepared)

SECTION 2 – PROJECT DESCRIPTION / ZONING INFORMATION

A Indicate Requested Application:

- Track 1 Application (Administrative Review)
- Project must adhere to a pure architectural style identified in the City’s Residential Design Style Catalogue. The Catalogue is available online at: <http://www.beverlyhills.org/civica/filebank/blobload.asp?BlobID=3435>.
 - Plans must be prepared and stamped by an architect licensed in the State of California.
 - Three (3) sets of plans required (see Section 6 for plan size requirements).
- Track 2 Application (Commission Review)
- Eight (8) sets of plans required (see Section 6 for plan size requirements).
 - Public Notice materials required (see Section 5 for public notice requirements).

B Briefly describe the architectural style(s) that you are proposing and how the proposed materials, finishes and proportions aid in achieving the style(s):

The proposed new two story residence has an architectural style inspired by Renaissance & Toscane with eagle barrel clay tile, articulated at the center of the house with a prestigious entry, human scale tower with elegant precast concrete molding.

C Identify the Project Zoning - City Zoning Map available online at <http://gis.beverlyhills.org/UNITEGIS/>.

- | | | |
|--|----------------------------------|---------------------------------|
| <input type="checkbox"/> R-1 | <input type="checkbox"/> R-1.5X2 | <input type="checkbox"/> R-1.8X |
| <input checked="" type="checkbox"/> R-1X | <input type="checkbox"/> R-1.6X | |
| <input type="checkbox"/> R-1.5X | <input type="checkbox"/> R-1.7X | |

D Site & Area Characteristics

Lot Dimensions: 70 x 150 Lot Area (square feet): _____
 Adjacent Streets: Santa Monica

E Lot is currently developed with (check all that apply):

- | | |
|---|--|
| <input type="checkbox"/> Single-Story Residence | <input checked="" type="checkbox"/> Two-Story Residence |
| <input checked="" type="checkbox"/> Guest House | <input checked="" type="checkbox"/> Accessory Structure(s) |
| <input type="checkbox"/> Vacant | <input type="checkbox"/> Other: _____ |

F Are any protected trees located on the property? (See Beverly Hills Municipal Code Section 10-3-2900)?

Yes No

If YES, provide the following information:

	<u>Quantity</u>	<u>Sizes</u>	<u>Reason for Removal</u>
Heritage:	_____	_____	_____
Native:	_____	_____	_____
Urban Grove:	_____	_____	_____

G Has the existing residence been designed by a notable architect or is it identified on any historic resource inventory, including the City of Beverly Residential Survey? (available online at: http://www.beverlyhills.org/services/planning_division/advance_planning/default.asp)

Yes No If yes, please list Architect’s name: _____

SECTION 3 – PROJECT DETAILS AND MATERIALS (continues on next page)

A Describe your public outreach efforts to adjacent neighbors and property owners:

B Indicate the project zoning details pursuant to Beverly Hills Municipal Code Section 10-3-2400:

Code Regulation	Allowed By Code	Existing Condition	Proposed Condition
Height:	28'	24'	28'
Roof Plate Height:	N/A	N/A	N/A
Floor Area:	5,922 s.f.	486 s.f.	4,575 s.f.
Rear Setbacks:	36'		67'-10"
Side Setbacks:	S/E S / 8'-8" - E / 36' N/W N/7'-6" - W/35'	S/E N/A N/W N/A	S/E S/9'-11"E/67'-10" N/W N/7'-6"-W/35'
Parking Spaces:	3		

C List the specific materials and finishes for all the architectural features of the project (Be Specific):

FAÇADE (List all material for all portions visible from the street)

Material: Stucco
Texture /Finish: Stucco Smooth Finish
Color / Transparency: X-81585 suffolk

WINDOWS (Include frame, trim, glass, metal, etc)

Material: Wood Dbl. Glazing
Texture /Finish: Wood clad
Color / Transparency: DEA 163 redeo LRV 13

DOORS (Include frame, trim, glass, metal, etc)

Material: Wood / DBL glazing
Texture /Finish: Smooth
Color / Transparency: DEA 163 redeo LRV 13

PEDIMENTS

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

ROOF

Material: Roof barrel clay tiles
Texture /Finish: Rough
Color / Transparency: # 22111 balmily blend & # 2243 cafe antique blend

CORBELS

Material: Wood corbel
Texture /Finish: Rough
Color / Transparency: DEA 163 redeo LRV 13

CHIMNEY(S)

Material: Same tile as on the roof / smooth stucco
Texture /Finish: Rough
Color / Transparency: X-81584suffolk & # 22111 balmily blend & #2243 cafe antique blend

SECTION 3 – PROJECT DETAILS AND MATERIALS (continued from previous page)

COLUMNS

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

BALCONIES & RAILINGS

Material: Wrought iron handrail
Texture /Finish: Smooth
Color / Transparency: DEA 158 Northern territory LRV7

TRELLIS, AWNINGS, CANOPIES

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

DOWNSPOUTS / GUTTERS

Material: Copper gutter & downspot
Texture /Finish: Smooth
Color / Transparency: Copper

EXTERIOR LIGHTING

Material: Metal fixture
Texture /Finish:
Color / Transparency: Bronze

PAVED SURFACES

Material: Stone
Texture /Finish: Multi cut cover stone
Color / Transparency: Slate stone Multi color

FREESTANDING WALLS AND FENCES

Material: Maintaining existing pilasters @ front
Texture /Finish: Smooth
Color / Transparency: X-81584 Suffolk & X-820 Silverado

OTHER DESIGN ELEMENTS

Material: N/A
Texture /Finish: N/A
Color / Transparency: N/A

D Describe the proposed landscape theme. Explain how the proposed landscaping complements the proposed style of architecture:

1. The crapemyrtle tree provides color as well as helping to screen the mass of the building. 2.The palm trees provide a lacy,semi-transparent accent to the architecture.3The shrubs provide appropriate color red&crimson also give the building a foundation w/hgt.transition towards the driveway.4.The fountain provides an appropriate complimentary detail 5.The red & white geramioms along the sidewalk provide curb appeal.

SECTION 4 – DESIGN ANALYSIS AND FINDINGS

A Clearly identify how your project adheres to each of the required findings of the Design Review Commission:

1. Describe how the proposed development’s design exhibits an internally compatible design scheme.

The architectural style is compatible with the neighborhood, since most houses surrounding the property are Spanish, Toscane, Renaissance with pitched mission roof tile.

2. Describe how the proposed development’s design appropriately minimizes the appearance of scale and mass, how the design enhances the garden like quality of the City and appropriately maximizes the use of required open space within the proposed architectural style.

We have made provision for articulations with a human scale entry way at the center of the house & recessed roof over the terrace to create more articulation within the look of the roof.

3. Describe how the proposed development will enhance the appearance of the neighborhood.

The proposed development will enhance the appearance of the neighborhood due to the harmony of the materials used at the elevation and the proportion of the exterior door and windows which varies between 1st & 2nd floor and the horizontal precast concrete which reduce the height considerably.

4. Describe how the proposed development is designed to balance the reasonable expectation of the development for the owner with the reasonable expectation of privacy of the neighbors.

We took into consideration any required codes, such as height, setback, landscape & every material used in harmony, and consistent with each other.

5. Describe how the proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes and integrates appropriate features that will ensure harmony between old and new.

Our front setback is consistent with adjacent properties as well as side setback and height. All design elements are according to code. The particularity of this project is due to the fact that it is an open property with no fence and nicely landscaped which is, a plus and enhancement to the neighborhood.



Design Review Commission Report

455 North Rexford Drive

July 9, 2012

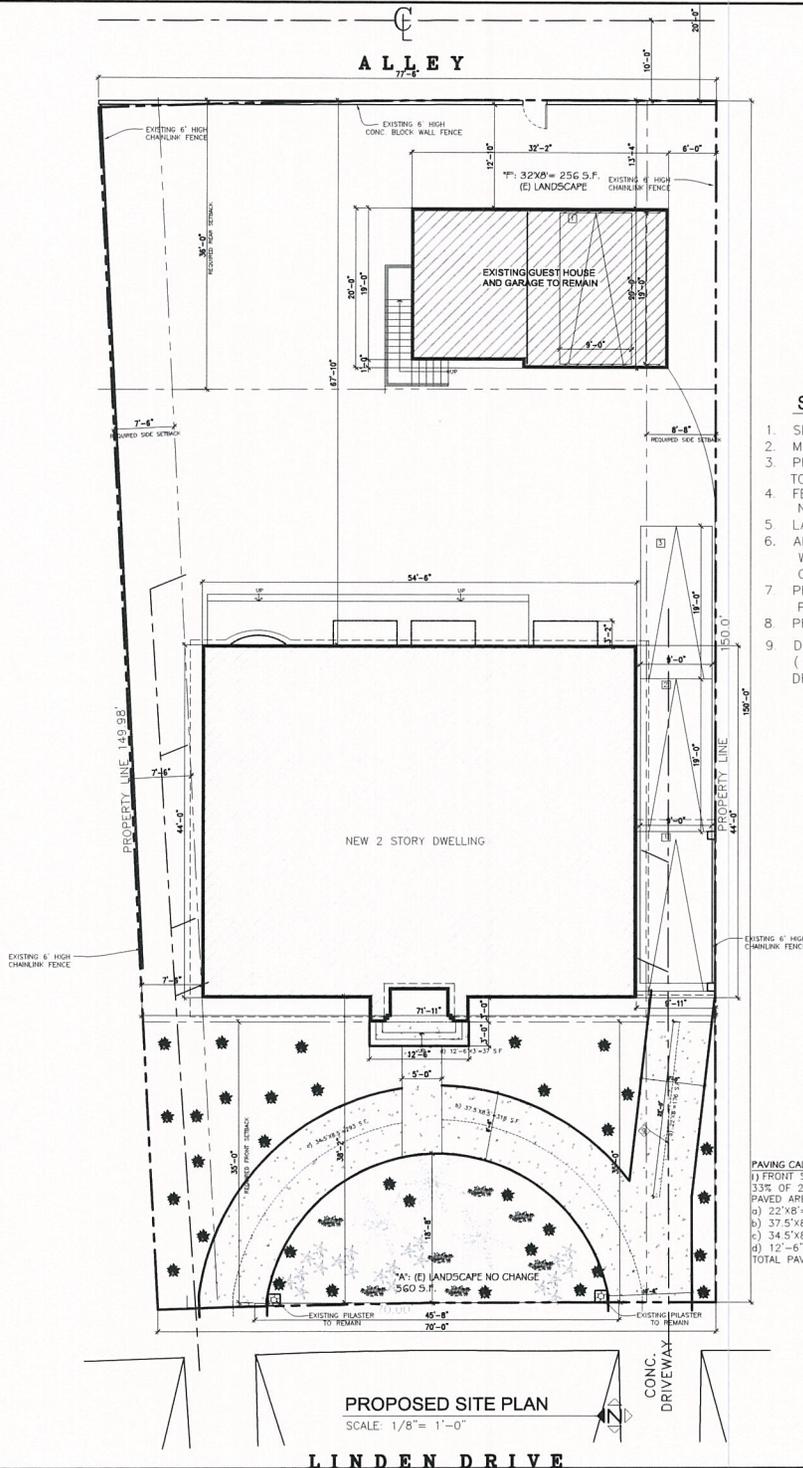
Attached B:

Design plans, cut sheets
and supporting elements



CUSTOM HOME
506 N. LINDEN DRIVE.
BEVERLY HILLS, CALIFORNIA 90210

ARCHITECT: WEST PACIFICA DESIGN CONSTRUCTION, INC
JACQUES MASHIHI, ARCHITECT, A.I.A.



SITE PLAN KEY NOTES:

1. SLOPE ALL FINISH GRADES AWAY FROM BUILDING.
2. MAINTAIN A MINIMUM OF 6" FROM GRADE TO ANY WOOD.
3. PROVIDE G.I. GUTTERS AND DOWNSPOUTS (SEE ROOF PLAN), AND CONDUCT TO SIDEWALK W/ 2% MIN. SLOPE VIA/NON EROSION DEVICES (TYP.).
4. FENCES, PLANTERS & RETAINING WALLS SHALL NOT EXCEED 6 FEET ABOVE NATURAL GRADE LEVEL @ REQUIRED SIDEYARD AND REAR YARD.
5. LANDSCAPE PLANTERS (SEE LANDSCAPE DWGS).
6. ALL EXT. STAIRWAYS ARE CONC. STAIRWAYS W/ 7" MAX. RISER & 11" MIN. TREAD W/ NON-SLIPPERY FINISHES & METAL RAILING EACH SIDE AS REQ'D. BY CITY OF L.A. CODES (TYP.).
7. PROVIDE 6'-0" HIGH X 6" THICK BLOCK WALL FENCE AT (3) SIDES OF PROPERTY FROM NATURAL GRADE.
8. PROVIDE MAX. 3'-6" HIGH FENCE AT FRONT SETBACK FROM NATURAL GRADE.
9. DRAIN ALL ROOF AND SURFACE WATERS TO STREET VIA NON-EROSIVE DEVICE (CONDUCT TO FACE OF SIDEWALK CURB) DRAIN PIPES TO BE 4" DIAMETER MIN.

PAVING CALCULATION
 1) FRONT SETBACK: AVERAGE 71'x35'=2,496 S.F.
 33% OF 2,496 S.F.=832 S.F.
PAVED AREA
 a) 22'x8' = 176 S.F.
 b) 37'5"x8'5" = 318 S.F.
 c) 34'5"x8'5" = 293 S.F.
 d) 12'-6"x3' = 37 S.F.
TOTAL PAVED AREA: 824 S.F. < 832 S.F. OK

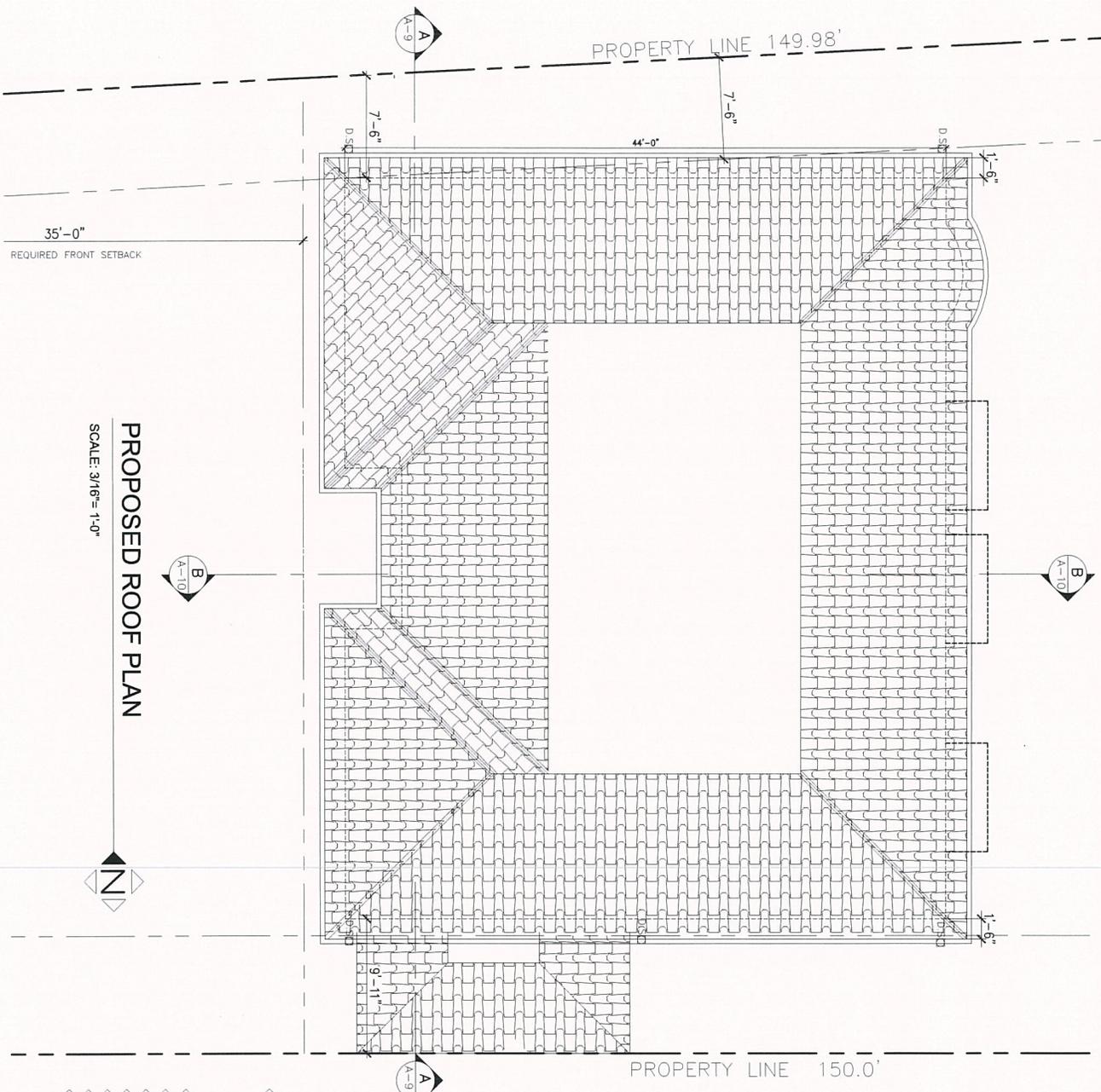
PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

LINDEN DRIVE

DATE	REVISIONS

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHI ARCHITECT A.I.A.
W P D
 BEVERLY HILLS, CALIF. 90211
 TEL: (310) 855-2460
 FAX: (310) 855-2460
 E-mail: westpac@pacnet.net

PROJECT: PROPOSED NEW 2 STORY DWELLING
 OWNER: DR. RAMIN DAVIDOFF
 LOCATION: 506 N. LINDEN DRIVE, BEVERLY HILLS, CALIF., 90210
 DESIGNED: J. Mashih
 DRAWN:
 SCALE: AS SHOWN
 DATE: 06-26-12
 SHY:
 A-1



PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"



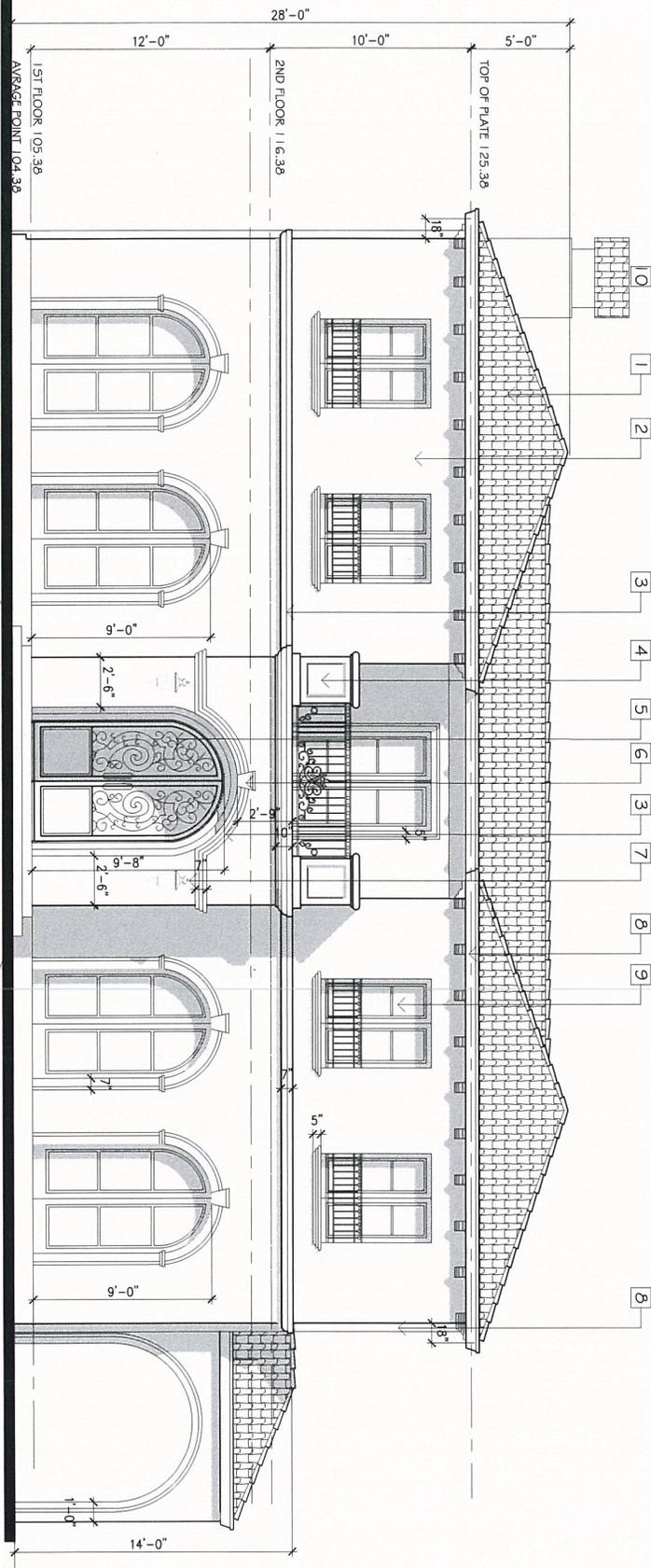
ROOFING SPECIFICATIONS & KEY NOTES:

- 1 BUILT-UP ROOFING (SBR-FLAT) CONSISTING OF CLASS "A" REINFORCING FABRIC, 40 LBS. BASE SHEET FELT MAILED OVER PLYWOOD SHEATHING, 3 LAYERS OF 15 LBS. FELT NOT MOTTLED WITH ASPHALT (APPROX. 22#/SQYD) TOGETHER W/40" SQ. GRAVEL, NOT EXCEEDING 5/8" & WELL GRADED IN SIZE. THE LAYERS OF FELT TO BE ORGANIC FELT.
 - 2 STUCCO CHIMNEY 2'-0" ABOVE ANY HORIZONTAL SURFACE WITHIN 10'-0" WITH SPARK ARRESTOR.
 - 3 ROOF CRIBBLE, SEE DET. 270-6.
 - 4 SCUPPER & GUT DOWNSPOUT.
 - 5 EQUIPMENT PLATFORM.
 - 6 ROOF HATCH.
 - 7 ROOF PARAPET.
 - 8 CLAY TILE (ATTACHED ROOFING) MANUFACTURED BY US TILES, REG.#2424 & REG.# 2523.
 - 9 ROOFING TO BE THICK AND UNDERLAMENT OF NOT LESS THAN 2 LAYERS OF 15# FELT OR ONE LAYER OF 7" PINE 30# FELT. SOLIDLY AND BE LAYED AT RIGHT ANGLES TO BETWEEN LAYERS AND ON TOP OF EQUAL (25# PER SQUARE) ASPHALT.
 - 10 LAST LAYER WITH HEADED FITCHES BETWEEN 4 1/2 TO 7 1/2".
- HVAC EQUIPMENT: SEE MECHANICAL DWGS.
- 9 PROVIDE AN APPROVED SPARK ARRESTOR FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBECUE (I.L.A.M.C. 57.20.25).
 - 10 ATTIC LOWER VENTS.
- NOTE:
Flashing material not less than 28 gage.
All tile vents/ducts covered backward with solid vent.
Metal/Plastic/Synthetic covered backward with solid vent.

PROJECT	PROPOSED NEW 2 STORY DWELLING
OWNER	DR. RAMIN DAVIDOFF
LOCATION	506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
 8671 MILSHIRE BLVD., STE 610 TEL (310) 855-0823
 BEVERLY HILLS, CA. 90211 FAX (310) 855-2460
 E-mail: wpd@wpcglobal.net

DATE	REVISION



PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

- ELEVATION KEY NOTES:**
- 1 BARREL CLAY TILE EAGLE ROOFING
 - 2 SMOOTH STUCCO
 - 3 PRECAST CONCRETE MOLDING
 - 4 STUCCO MILASTER W/ CONIC CAP ON TOP
 - 5 WOODK GLASS DOOR W/ WOOD TRIM
 - 6 PRECAST CONCRETE STONE
 - 7 EXTENSION LIGHT FIXTURE
 - 8 COPPER BUTTERFLY BOWNSPOUT
 - 9 BELL GLAZED WOOD WINDOW BY PELLA
 - 10 CHIMNEY CAP FADE TILE

DATE	DESCRIPTION

PROJECT	PROPOSED NEW 2 STORY DWELLING
DRAWN	DR. RAMIN DAVIDOFF
LOCATION	506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
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 BEVERLY HILLS, CA. 90211 FAX (310) 855-2460
 E-mail: wpd@bcglobal.net

DATE	DESCRIPTION



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

- 1 BARREL CLAY TILE EAGLE ROOFING
- 2 SMOOTH STUCCO
COLOR: LA HABRA STUCCO
X-81584 SUPPLY
- 3 PRECAST CONC. MOLDING
TRIM COLOR
LA HABRA STUCCO
X-820 SILVERADO
- 4 STUCCO PILASTER W/
CONC. CAP ON TOP
- 5 WOOD& GLASS DOOR W/ WOOD TRIM
- 6 PRECAST CONC. STONE
- 7 EXTERIOR LIGHT FIXTURE
BRONZE WALL LANTERN
- 8 COPPER GUTTERS; DOWNSPOUT
- 9 DBL. GLAZED WOOD WINDOW BY PELLA
- 10 CHIMNEY CAP EAGLE TILE

DATE	REVISION

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
 1000 WILLOWHURST BLVD., SUITE 200
 BEVERLY HILLS, CA 90210
 TEL: (310) 855-2960
 FAX: (310) 855-2960
 E-mail: wpd@pacdesign.com

PROJECT: PROPOSED NEW 2 STORY DWELLING
 OWNER: DR. RAMIN DAVIDOFF
 ADDRESS: 506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210

DATE: 06-26-12
 SCALE: AS SHOWN
 DRAWN: J. MASHIHI
 SHEET: A-6



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES:

- 1 BARREL CLAY TILE EAGLE ROOFING
- 2 SMOOTH STUCCO
COLOR LA HABRA STUCCO
X-B1584 SUFFOLK
- 3 PRECAST CONC. MOLDING
TRIM COLOR
LA HABRA STUCCO
X-B20 SILVERADO
- 4 STUCCO PILASTER W/
CONC. CAP ON TOP
- 5 WOOD& GLASS DOOR W/ WOOD TRIM
- 6 PRECAST CONC. STONE
- 7 EXTERIOR LIGHT FIXTURE
BRONZE WALL LANTERN
- 8 CUPPER GUTTER& DOWNSPOUT
- 9 DBL. GLAZED WOOD WINDOW BY PELLA
- 10 CHIMNEY CAP EAGLE TILE

DATE	REVISIONS
	1. Initial drawing

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHI ARCHITECT A.I.A.
 TEL. (310) 855-1923
 8871 MILSHIRE BLVD., STE. 610
 BEVERLY HILLS, CA. 90211
 E-mail: wpd@pacificadesign.com

PROJECT	PROPOSED NEW 2 STORY DWELLING
DATE	08/2011 A-11
DESIGNED BY	J. Mashin
DRAWN BY	DR. RAMIN DAVIDOFF
SCALE	AS SHOWN
DATE	08-28-12
SHEET	A-7
LOCATION	505 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

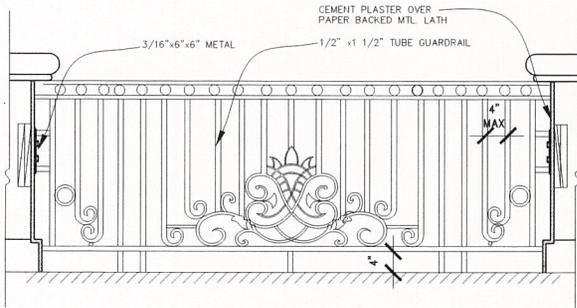
ELEVATION KEY NOTES:

- 1] BARREL CLAY TILE EAGLE ROOFING
- 2] SMOOTH STUCCO
COLOR LA HABRA STUCCO
X-81584 SUFFOLK
- 3] PRECAST CONC. MOLDING
TRIM COLOR
LA HABRA STUCCO
X-820 SILVERADO
- 4] STUCCO PILASTER W/
CONC. CAP ON TOP
- 5] WOOD& GLASS DOOR W/ WOOD TRIM
- 6] PRECAST CONC. STONE
- 7] EXTERIOR LIGHT FIXTURE
BRONZE WALL LANTERN
- 8] CUPPER GUTTER& DOWNSPOUT
- 9] DBL GLAZED WOOD WINDOW BY PELLA
- 10] CHIMNEY CAP EAGLE TILE

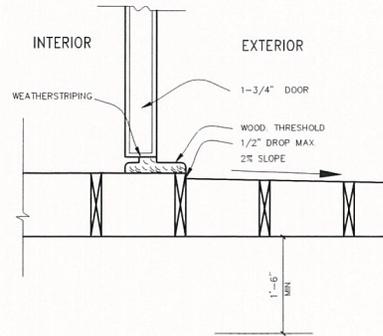
DATE	REVISIONS

WEST PACIFICA DESIGN-CONSTR., INC.
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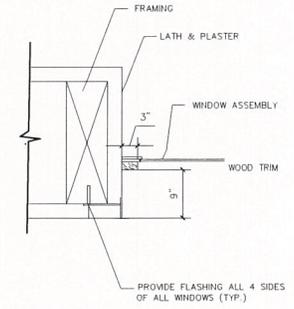
PROJECT	PROPOSED NEW 2 STORY DWELLING
OWNER	DR. RAMIN DAVIDOFF
LOCATION	506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210
DATE	2011 4-11
DESIGNED BY	WPD
DRAWN	
SCALE	AS SHOWN
DATE	06-26-12
SHEET	A-00



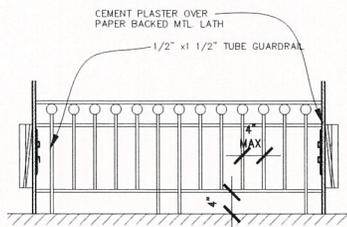
BALCONY RAILING ABOVE ENTRY



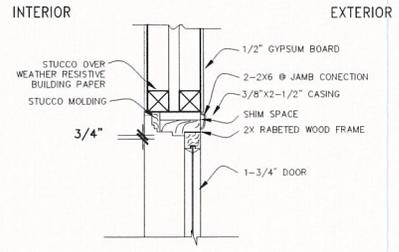
4 SCALE DOOR SILL



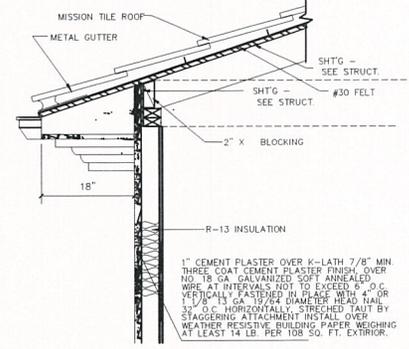
7 SCALE FLASHING • WINDOW JAMB



WINDOW RAILING



5 SCALE DOOR HEAD



8 SCALE EAVE

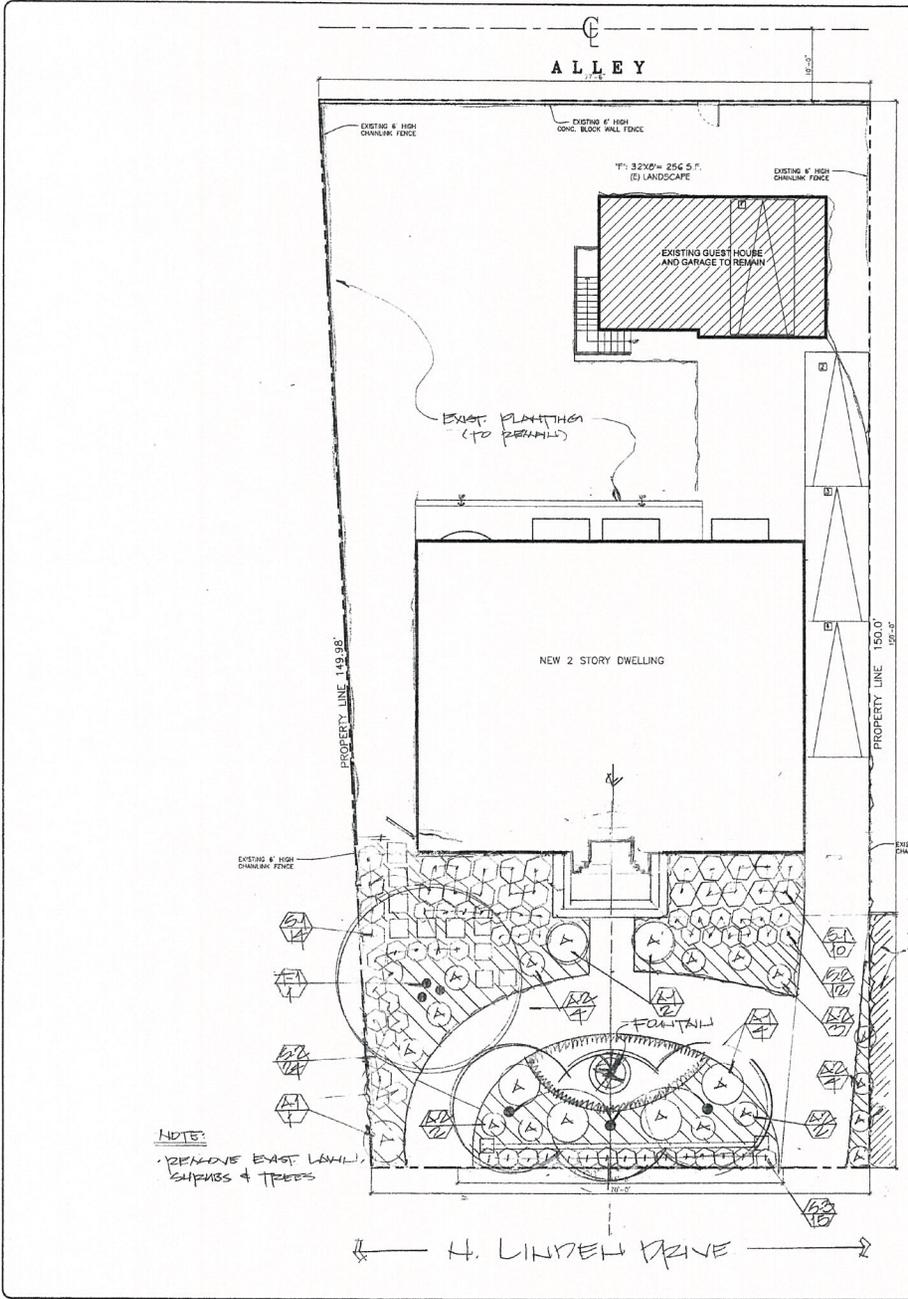
2 SCALE RAILING

DATE	REVISIONS

WEST PACIFICA DESIGN - CONSTR., INC.
JACQUES MASHI ARCHITECT A.I.A.
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 BEVERLY HILLS, CA. 90211 FAX: (310) 855-0823
 Email: info@westpac.com

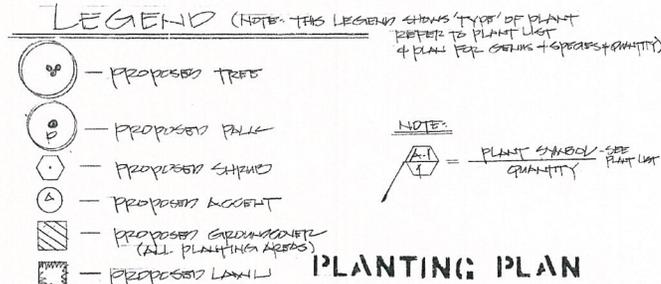
PROJECT: RENOVATION AND 2ND FLOOR ADDITION ON (E) ONE STORY DWELLING
 OWNER: DR. RAMIN DAVIDOFF
 LOCATION: 506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210

DESIGNED BY: Jacques Mashi
 DRAWN BY: AS
 SCALE: AS SHOWN
 DATE: 06.28.2012
 SHEET: D-1



PLANT LIST

SYMBOL	POTENTIAL NAMES	COMMON NAME	SIZE	QTY	SPACING
T-1	LAGETOSTROPHIA INDICA	CRABAPPLE- RED	40"BX	1	-
T-2	COCCO PALMOSA	COCONUT PALM	24"BX	3	-
S-1	ALYSSUM HUSCAGHELLI	BLUE HIERONIM	5 GAL	8	4' O.C.
S-2	ALYSSUM X PUMPERNIK	ORCHID ROCKROSE	5 GAL	25	2' O.C.
S-3	PELARGONIA FERTILIS	NY GERANIUM- WHITE	5 GAL	15	2' O.C.
A-1	PHORNIUM MACHO GR.	NEW ZEALAND FLAX	15 GAL	1	RANDOM
A-2	ANIGONATHOS BUCKLEYI	KANGAROO PAIL	5 GAL	17	" "
LAWN1	EUCHLOA DISTYLARIS	BUFFALO GRASS	SOD	500	-
ORNAMENTAL	SENECIO	BLUE SENECIO	PLANT	AS NOTED	14' O.C.
(CALL P.A.S.)	'NATIVE LANDSCAPE'				



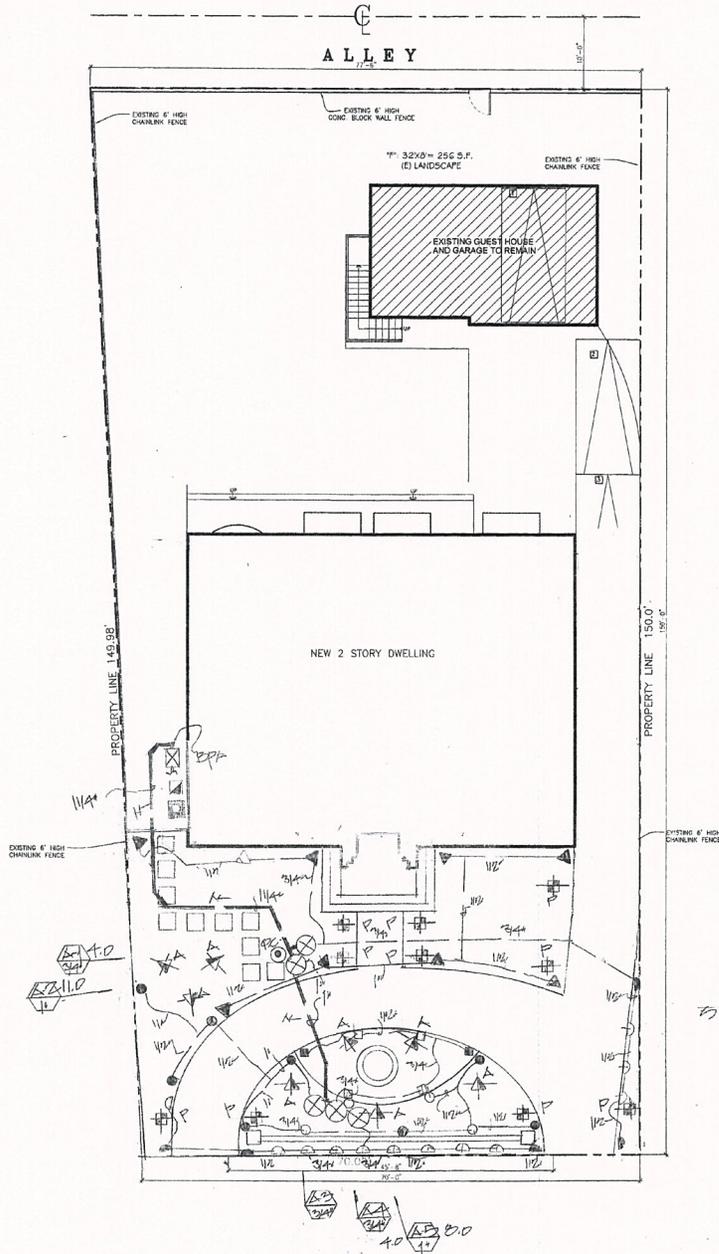
LARRY G. TISON & ASSOCIATES
 LARRY G. TISON, AS LA
 LANDSCAPE ARCHITECTURE
 314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
 626-241-9169

DATE	REVISIONS

WEST PACIFICA DESIGN-CONSTR., INC.
 JACQUES MASHIHI ARCHITECT A.I.A.
 8871 WILSHIRE BLVD., STE. 610 TEL: (310) 855-1923
 BEVERLY HILLS, CA. 90211 FAX: (310) 855-1923

PROJECT: RENOVATION AND 2ND FLOOR ADDITION ON (E) ONE STORY DWELLING
 OWNER: DR. RAMIN DAVIDOFF /
 LOCATION: 506 N. LINDELL DRIVE, BEVERLY HILLS, CA., 90210

JOB# 2011 A-11
 DESIGNED BY: 4839N
 SCALE: AS SHOWN
 DATE: 04.08.2012
 SHEET: 1



SPRINKLER HEADS

SYMBOL	DESCRIPTION	MODEL NO.	SPAC.	RADIUS	PSI
▽	RAIN/SPR. PIPING / W/TE	1212-12R	1.0	12'	30
▽	" " " / H/H/T	1212-12H	1.3	12'	30
□	" " " / W/TE	1210-2W/TE	.4	8'	30
□	" " " / H/H/T	1210-2H/T	.8	8'	30
○	" " " / W/TE	1210-2W/TE	.4	8'	30
○	" " " / H/H/T	1210-2H/T	.8	8'	30
○	" " " / W/TE	1212-2W/TE	.5	5'	30
○	" " " / H/H/T	1212-2H/T	1.0	5'	30

- LEGEND - LIGHTING - NOTE LIGHT FIXTURES BY KICHLER**
- (10) P □ - PATH LIGHT - # K-15049-VERDORIS - 12VOLT (24WATT)
 - (20) A ▽ - ACCENT LIGHT - # K-15000-VERDORIS - 12VOLT (24WATT)

- LEGEND - IRRIGATION**
- - CONTROLLER / RAIN/SPR. RESP. BLOC
 - - RAIN SENSOR / " RG. 85xi
 - EXR □ - BACKFLOW PREVENTER (FEB00-B26-Y-1144)
 - R.C. ○ - QUICK COUPLER / RAIN/SPR. ATTACH
 - ⊗ - VALVE / RAIN/SPR. / O.B. / SERIES
 - ⊗ - VALVE / RAIN/SPR. / VALVE SIDE
 - ⊗ - VALVE / RAIN/SPR. / VALVE SIDE
 - MAIN LINE / SAND. 40 PSI
 - - - LATERAL LINE / SAND. 40 PSI

SCALE: 1/8" = 1'-0"



IRRIGATION PLAN
W/ LANDSCAPE LIGHTING

LARRY G. TISON & ASSOCIATES
LANDSCAPE ARCHITECTURE
314 E. BROADWAY, SUITE D, GLENDALE, CALIFORNIA 91205
916-241-9169

#1247

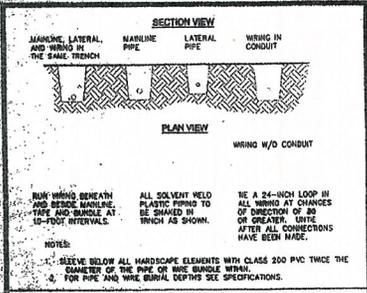
REVISED 10/20/12/LET

DATE	REVISIONS
11-14-11	Final
02-12-12	City Contractor
02-13-12	City Contractor

WEST PACIFICA DESIGN-CONSTR., INC.
JACQUES MASHIHI ARCHITECT A.I.A.
8671 WILSHIRE BLVD., STE. 610
BEVERLY HILLS, CA 90211
TEL: (310) 855-0823
FAX: (310) 855-0824
E-mail: jpm@westpacdesign.com

PROJECT: RENOVATION AND 2ND FLOOR ADDITION ON (E) ONE STORY DWELLING
OWNER: DR. RAMIN DAVIDOFF /
LOCATION: 506 N. LINDEN DRIVE, BEVERLY HILLS, CA, 90210

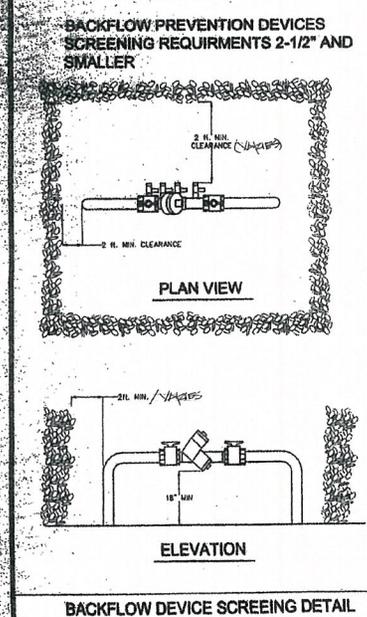
DATE	2011-11-13
PROJECT	Renov. & Addn
DRAWN	AS SHOWN
SCALE	AS SHOWN
TITLE	24.03.2012
BY	
CHECKED	



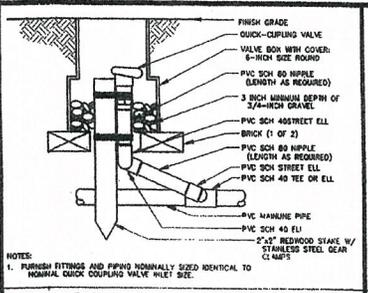
PIPE & WIRE TRENCHING

SOIL TYPE	MINIMUM PROTECTIVE RATE, INCH PER HOUR			
	COVER	BAR	COVER	BAR
GRAVEL	2.00	2.00	1.50	1.00
CLAY	1.75	1.50	1.00	0.75
SAND	1.25	1.00	0.80	0.60
LOESS	1.00	0.75	0.60	0.40
CLAY	0.80	0.60	0.40	0.30
CLAY	0.60	0.40	0.30	0.20
CLAY	0.40	0.30	0.20	0.10
CLAY	0.30	0.20	0.10	0.06

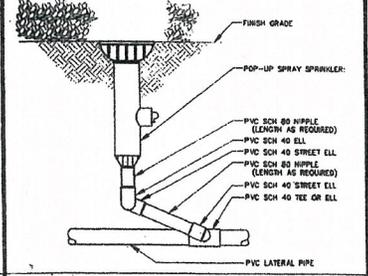
SOIL CHARACTERISTICS



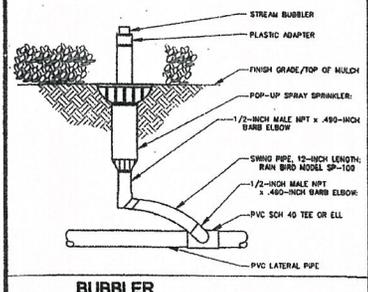
BACKFLOW DEVICE SCREENING DETAIL



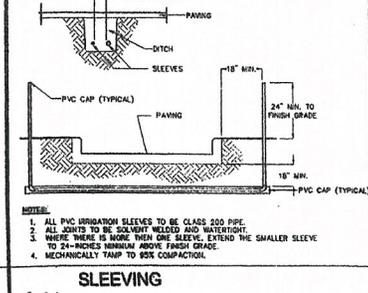
QUICK-COUPLING VALVE



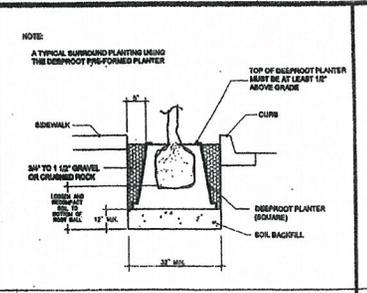
POP-UP SPRAY SPRINKLER



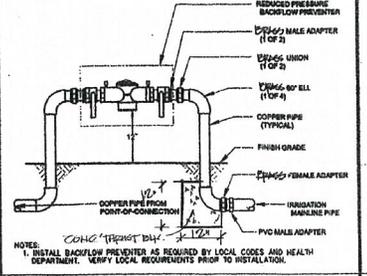
BUBBLER



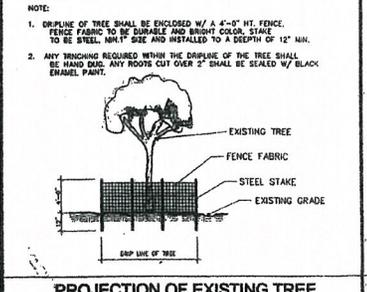
SLEEVING



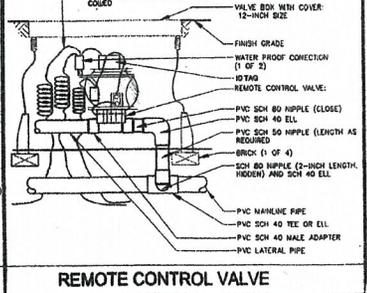
TREE ROOT BARRIERS



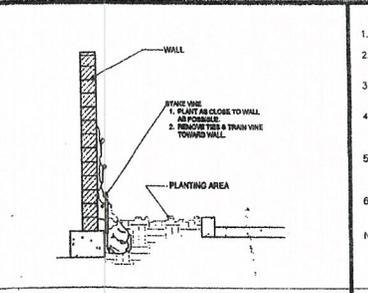
BACKFLOW PREVENTER



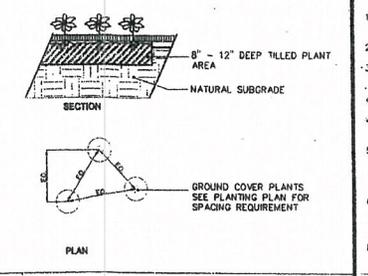
PROJECTION OF EXISTING TREE



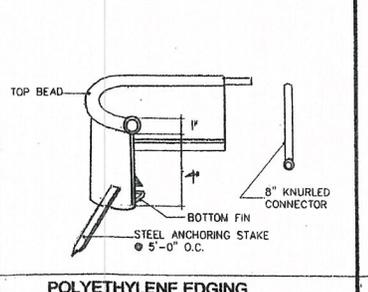
REMOTE CONTROL VALVE



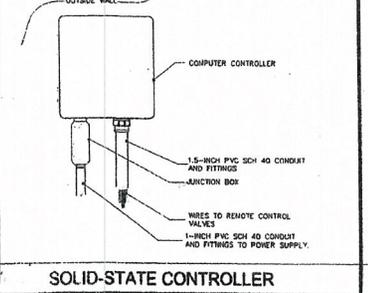
VINE PLANTING DETAIL



GROUND COVER PLANTING DETAIL



POLYETHYLENE EDGING



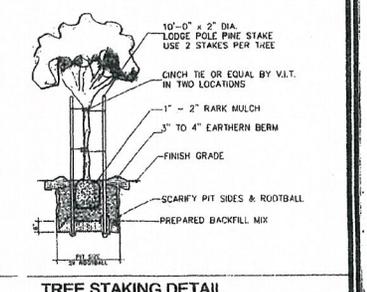
SOLID-STATE CONTROLLER

1. CONTRACTOR SHALL VERIFY PLANT COUNT FOR BIDDING PURPOSES.
2. GROUND COVER INDICATED BY [Hatched Pattern] SHALL BE CONTINUOUS UNDER SHRUB.
3. PLANTING AREAS WHICH HAVE NO GROUND COVER INDICATED SHALL RECEIVE 2" MIN. FINE REDWOOD BARK AS A GROUND COVER.
4. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR 90 DAYS AFTER INSTALLATION AND REPLACE ANY DISEASED OR DAMAGED MATERIAL DURING THAT ONE YEAR PERIOD.
5. THE FOLLOWING AMENMENTS SHALL BE UNFORMALLY BROADCAST AND THOROUGHLY INCORPORATED TO A DEPTH OF 12" MIN. BY ROTORILLER EQUAL AMOUNT PER. 1000 SQ. FT.
 - 6. CU. YD. (2") NITROGEN STABILIZED ORGANIC AMENDMENT FROM REDWOOD SANDUST, FUR DUST, OR FINELY GROUND BARK: 5 LBS. AMMONIUM SULFATE.
- NOTE: THIS FORMULA IS A STD. MIX AND WILL CHANGE IF THERE ARE ANY UNUSUAL SOIL CONDITIONS AT THE SITE. COMPACTED BACKFILL SHALL BE 100% ON SITE SOIL.

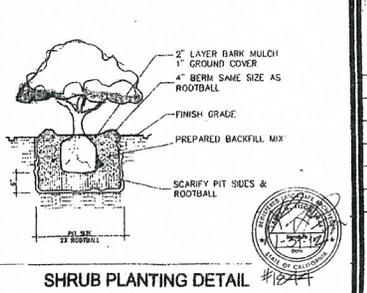
LANDSCAPE NOTES

1. ALL IRRIGATION LINES UNDER DRIVES TO BE INSTALLED IN PVC SLEEVE 8" DEPTH MIN.
 2. LOCATE ALL RCV'S & HB'S IN PLANTING AREAS. (TYP.)
 3. JET ALL LINES AND TRENCHES UNDER PAVING 90% MIN. COMPACTION.
 4. INSTALL REMOTE CONTROL VALVE IN AMETEX 12" BOX OR EQUAL (ONE VALVE PER BOX) & MARKED "IRRIGATION". LOCATED BOXES IN GROUND COVER AREAS WHENEVER POSSIBLE AND A MIN. 12" FROM PAVING OR CURBS.
 5. THE CONTRACTOR SHALL PROVIDE OWNER WITH A COMPLETELY OPERATING SYSTEM AND CLEAN SET OF MARKED PRINTS AS "AS-BUILT" DRAWINGS. REFERENCE ALL TRENCHES WITH DIMENSIONS TO NEAREST BUILDING OR PAVING.
 6. THE CONTRACTOR SHALL WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR. ALL REPAIRS NECESSARY SHALL BE MADE AT NO COST TO THE OWNER.
- NOTE: ALL OTHER REQUIREMENTS TO BE PER CITY STANDARDS AND SPECIFICATIONS

IRRIGATION NOTES



TREE STAKING DETAIL



SHRUB PLANTING DETAIL

REVISIONS BY

LARRY G. THOMPSON & ASSOCIATES
LANDSCAPE ARCHITECTURE
3115 BROADWAY SUITE 5, DENVER, COLORADO 80202

NOTE: USE DETAILS AS APPLICABLE TO THIS PROJECT ONLY.

LANDSCAPE DETAIL SPECIFICATION PLAN

DATE:

SCALE: N.T.S.

DRAWN: Lot

SHEET#

L-3

REVISIONS	BY



T-1 CRAPEMYRTLE



T-2 QUEEN PALM



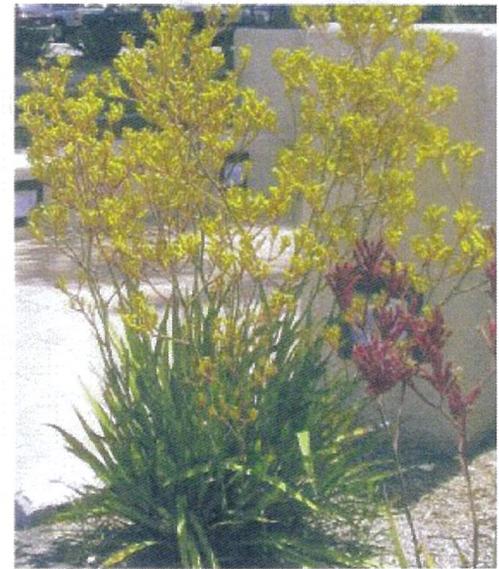
S-1 BLUE HIBISCUS



S-2 ROCKROSE



A-1 NEW ZEALAND FLAX



A-2 KANGAROO PAW



GROUNDCOVER - BLUE SENECIO



PLANT PICTURES

LARRY G. TISON & ASSOCIATES
 LANDSCAPE ARCHITECTURE
 814 N. BROADWAY, SUITE G, GLENDALE, CALIFORNIA 91205
 818-241-7668

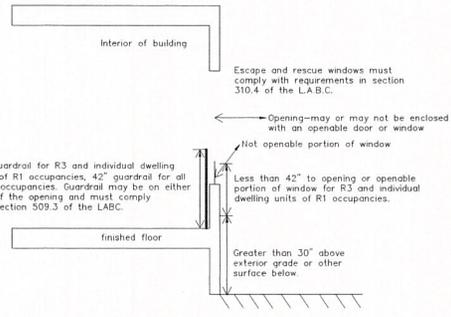
Date	10/20/12
Drawn	---
Checked	LGT
Job	---
Sheet	L
Of	Eleven

	FLOOR		BASE		WALL		CEILING		NOTES						
	CARPET	SHEET VINYL	CONCRETE	TILE	DEK-O-TEX	WOOD	RUBBER BASE	1/2" GYP. BOARD		5/8" TYPE "X" GYP. BD.	STUCCO	TILE (4'-0" HEIGHT)	1/2" GYP. BOARD	5/8" TYPE "X" GYP. BD.	EXPOSED CONCRETE
PORCH N/A															
ENTRY															
LIVING ROOM															
DINING ROOM															
KITCHEN															
POWDER ROOM															
STAIRWAYS															
ALL FLOORS (CORRIDOR)															
GARAGE															
COATS CLOSET															
WATER HEATER N/A															
MASTER BEDROOM															
MASTER BATH															
WALK-IN CLOSET															
BALCONY															
BEDROOM #2															
BEDROOM #3															
BATH #2															
BATH #3															
BALCONY															

GUARDRAIL REQUIREMENTS ADJACENT TO OPERABLE WINDOWS

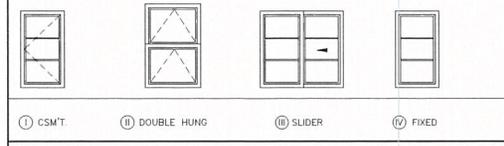
Section 509.1 of the Los Angeles Building Code (LABC) requires that guardrails be provided in specified locations. A recurring condition which is not clearly addressed in the code is created when openings are located in a wall that has less than the minimum guardrail height window sill and the adjacent floor elevation exceeds 30 inches.

Regardless of whether these openings are enclosed with operable windows or doors, there clearly exists a hazard for a person in falling through the operable portion of the window with or without screens. The Department interprets the intent of this section of the code to require guardrails in front of, or behind, the opening. The diagram below illustrates this condition.



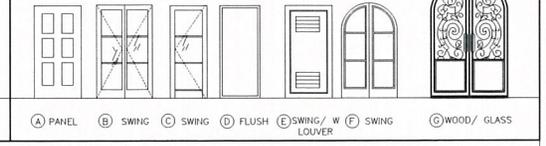
WINDOW LETTER	SIZE		WINDOW TYPE	FRAME MATERIAL	GLASS	THICKNESS	SECURITY OPENING	HEADER HEIGHT	DETAILS	NOTES: ALL WINDOWS & EXT. DOORS SHALL WOOD/ OR, GLASS & WITH DOORING
	WIDTH	HEIGHT								
1	5'-0"	6'-0"	III	CL	3/16"	0		8'-4"	I	GUEST ROOM
2	3'-0"	6'-0"	III	CL	3/16"	0		8'-4"	I	LIVING/ FAMILY ROOM
3	5'-0"	4'-0"	IV	CL	3/16"	-		8'-4"	I	KITCHEN GREENHOUSE WINDOW
4	3'-0"	4'-0"	III	CL	3/16"	0		8'-4"	I	KITCHEN
5	4'-0"	6'-0"	III	CL	3/16"	0		8'-4"	I	DINING ROOM
6	2'-6"	3'-6"	I	CL	3/16"	0		7'-4"	I	BATHROOM 2ND FLOOR
7	4'-0"	6'-0"	III	CL	3/16"	0		7'-4"	I	BEDROOM# 3
8	5'-0"	7'-6"	IV	CL	3/16"	0		7'-4"	I	2ND FLOOR BALCONY
9	1'-9"	4'-6"	I	WB	035 3/16"	-		7'-4"	I	MASTER BATH (TP)

WINDOW TYPES NOTE: ALL WOODS W/1 40" OF LOCK'S SHALL BE TEMP.
 PL PLATE TP TEMPERED
 OBS OBTURATE DC DUAL GLASS
 AL ALUMINUM WD WOOD



DOOR NUMBER	SIZE		DOOR TYPE	DOOR MATERIAL	SECURITY OPENING	HARDWARE	LABEL (MINUTES)	SELF-CLOSER	DRAPE	GLASS	DRAFT CONTROL	NOTES
	WIDTH	HEIGHT										
1	3'-0"	9'-0"	3-3/4"	D	WD	WD	0					ENTRY DOOR
4	5'-6"	8'-6"	-	F	GL	WD	0					LIVING/FAMILY ROOM (ARCHED TP)
5	6'-0"	8'-6"	-	B	GL	WD	0					PANEL ROOM/ HOOT. (TP)
6	4'-6"	7'-6"	-	B	GL	WD	0					BEDROOM#2A #4 (TP)
7	6'-0"	7'-6"	-	F	MIR	WD	0					BEDROOM#2B MASTER BEDROOM (TP)
9	2'-8"	7'-6"	-	C	GL	WD	0					BALCONY # 2ND FLOOR
11	2'-8"	7'-0"	1-3/8"	D	SC	WD	0					ACCESS TO USE
12	2'-8"	7'-0"	1-3/8"	A	SC	WD	0					DINING/ KITCHEN ORN SWNG

DOOR TYPES
 HC HOLLOW CORE
 SC SOLID CORE
 HM HOLLOW METAL
 WD WOOD
 GL GLASS
 MIR MIRROR



DATE	REVISION

WEST PACIFICA DESIGN-CONSTR., INC.
 JACQUES MASHI ARCHITECT A.I.A.
 TEL (310) 855-9823
 8877 WILSHIRE BLVD., STE. 610
 BEVERLY HILLS, CA. 90210
 E-mail: jpm@westpacifica.com

PROJECT: PROPOSED NEW 2 STORY DWELLING
 OWNER: DR. RAMIN DAVIDOFF
 LOCATION: 506 N. LINDEN DRIVE, BEVERLY HILLS, CA., 90210

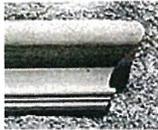
DATE	2011-4-11
DESIGNED BY	
DRAWN	
SCALE	AS SHOWN
DATE	06-28-12
DATE	
TITLE	SCH-1



BUILDING ROOF TILE
RECLINE ROOFING
#2211 BALMBY BLEND
2201 CAFE ANTIQUE BLEND



BUILDING STONE TRIM
HORIZONTAL BAND TRIM



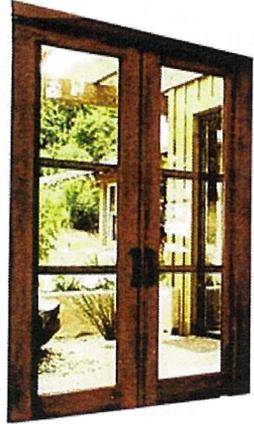
BUILDING Moulding MATERIAL
STONE SILL CAP



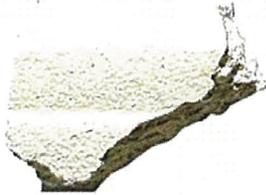
BUILDING Moulding MATERIAL
BY DOOR STONE CAP



BUILDING Moulding MATERIAL
RIM



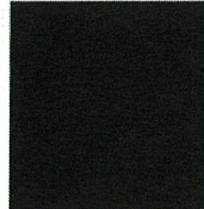
WINDOW DESIGN



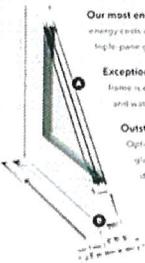
LA HABRA STRUCCO
X-820 SILVERADO



BUILDING STRUCCO COLOR
LA HABRA STRUCCO
X-81584 SUTTOLK



BUILDING HANDRAIL COLOR
DUNN EDWARDS PAINT
DEA155 NORTHERN TERRITORY LRV7



Our most energy efficient options. Reduce your energy costs and increase your comfort with optional Low E Single-pane glass (L) and foam-insulated door panels (B).

Exceptional strength. Multi-chambered, fully welded vinyl frame is extra strong and durable, ensuring outstanding wind and water resistance.

Outstanding impact resistance and peace of mind. Optional Hurricane (Hurricane) Impact resistant laminated glass with up to a DP75 rating makes Pella 350 Series doors some of the most durable and wind-resistant vinyl patio doors on the market. Plus, it provides added protection against intruders.

Extra security (Substantial) features a multi-point lock that



BUILDING Moulding MATERIAL
HORIZONTAL DOOR STONE TRIM



BUILDING STONE
PLASTER STONE COVER CAP

COLOR AND MATERIALS BOARD



HARSHAPE STONE FINISH
MULTI-CUT COVER STONE



DOOR DESIGN



BUILDING CH



BUILDING DOORS, FASCIA, CORBELS COLOR
DUNN EDWARDS PAINT
DEA 163 REDEO LRV 13



BUILDING COPPER GUTTER



BUILDING LIGHT FIXTURE

CUSTOM HOME
506 N. LINDEN DRIVE.
BEVERLY HILLS, CALIFORNIA 90210

ARCHITECT: WEST PACIFICA DESIGN CONSTR/
JACQUES MASHIMI, ARCHITECT.



Design Review Commission Report

455 North Rexford Drive

July 9, 2012

Attached C:
Approval Resolution

RESOLUTION NO. DR XX-XX

RESOLUTION OF THE DESIGN REVIEW COMMISSION OF THE CITY OF BEVERLY HILLS CONDITIONALLY APPROVING A R-1 DESIGN REVIEW PERMIT TO ALLOW A NEW TWO-STORY SINGLE-FAMILY RESIDENCE AT THE PROPERTY LOCATED AT 506 NORTH LINDEN DRIVE.

The Design Review Commission of the City of Beverly Hills hereby finds, resolves and determines as follows:

Section 1. Jacques Mashih, applicant on behalf of the property owner, Ramin Davidoff (Collectively the "Applicant"), has applied for a R-1 Design Review Permit for design approval of a new two-story single-family residence for the property located at 506 North Linden Drive, and is located in the city's Central R-1 Zone.

Section 2. Beverly Hills Municipal Code Article 44, Chapter 3 of Title 10, authorizes the Design Review Commission the authority to approve, approve with conditions or deny design-related aspects of projects located in the city's Central R-1 zone, subject to findings set forth in Beverly Municipal Code Section 10-3-4415.

Section 3. The subject project has been reviewed pursuant to the provisions set forth in the California Environmental Quality Act (CEQA – Public Resource Code Sections 21000, *et seq.*), the State CEQA Guidelines (California Code of Regulations, Title 14, Sections 15000 *et seq.*), and the city's local CEQA Guidelines. The subject project is exempt from environmental review pursuant to Section 15061(b)(3) of the State CEQA Guidelines in that the project includes the review of building design, colors and materials to the façade of the building, front yard landscaping or minor low-scaled accessory

structures, such as fences or walls. It can be seen with certainty that there is no possibility that the subject activity could result in a significant effect on the environment.

Section 4. The Design Review Commission conducted a duly noticed public hearing on July 9, 2012 at which time oral and documentary evidence was received concerning the application.

Section 5. Based upon the evidence presented at the hearings, including the staff report(s), oral and written testimony, the Design Review Commission hereby finds as follows with respect to the R-1 Design Review Permit:

A. The proposed development's design exhibits an internally compatible design scheme in that the project's proportions, form, fenestration, scale, mass, color and materials are representative of the architectural style and design scheme chosen for the building. These design elements, including existing or proposed landscaping, paving, or perimeter fencing or walls are internally compatible and consistent with the overall design.

B. The proposed development's design appropriately minimizes the appearance of scale and mass and enhances the garden like quality of the city and appropriately maximizes the use of required open space within the proposed architectural style. Specifically, the project, as conditioned, complies with applicable provisions of the municipal code that regulate overall building size, height, scale and mass. Additionally, the building provides appropriate building modulation and uses window and other design components that minimize the visual bulk and mass. The garden quality of the city is maintained through appropriately proportioned paving in the required front yard and with the

incorporation of existing or proposed plant material of appropriate sizes that complement the architectural style and help reduce overall mass and scale.

C. The proposed development will enhance the appearance of the neighborhood in that the new construction has been designed in context to the appearance, mass and scale of adjacent properties and other properties in the neighborhood. The project includes the use of high quality building materials and appropriately uses colors and design ornamentation that is appropriate to the neighborhood. Existing or new planting will promote the garden quality image and appearance of the city, consistent with city goals and existing mature landscaping in the neighborhood.

D. The proposed development is designed to balance the reasonable expectation of development for the owner with the reasonable expectation of privacy of neighbors. The City's zoning regulations set forth maximum building height and mass standards with which this project, as conditioned, conforms. The project is being constructed in an urbanized environment and has other adjacent and nearby residences. To provide a reasonable expectation of privacy, the Design Review Commission, reviewed the placement of windows on the subject and adjacent properties, considered the location of private outdoor areas and evaluated the projects proposed and neighbors existing landscaping. Accordingly, based on this review, and as conditioned by this resolution, the project balances reasonable expectations for privacy and development.

E. The proposed development respects prevailing site design patterns, carefully analyzing the characteristics of the surrounding group of homes, and integrates appropriate features that will ensure harmony between old and new. Specifically, the project has been designed with an internally compatible architectural theme and is modulated in a manner that respects privacy and scale of

development to adjacent properties. The project design, proportionality and landscaping is compatible with other properties in the general vicinity and the project reinforces a cohesive streetscape. In its review the Design Review Commission carefully studied the proposed project in context to adjacent properties and conducted individual site inspections or reviewed photographs of the surrounding group of homes.

Section 6. Based on the foregoing, the Design Review Commission hereby grants the request defined in this resolution subject to the following conditions:

Standard Conditions

1. **Design Approval.** Project approval is for the design-related aspects of the project only. No approval is implied or granted with regard to applicable city zoning or technical codes, which may require review and approval from other city commissions or officials.
2. **Compliance with Municipal Code.** Prior to issuance of a building permit, the applicant shall demonstrate compliance with all applicable provisions of the city's municipal code and applicable conditions imposed by any discretionary review approval.
3. **Compliance with Special Conditions.** Any special conditions that require approval by the director of community development, or designee, shall be submitted to the staff liaison to the commission within fourteen (14) days of approval or prior to submittal of the plan check review application, whichever is greater.

4. **Project Rendering.** Prior to issuance of a building permit, the applicant shall incorporate into the building permit set of plans, an updated color rendering of all building facades that are visible from the public street. The quality and detail of the rendering shall be subject to approval from the director of community development, or designee, and shall include sufficient design information to evaluate project compliance during construction.

5. **Approval Resolution.** A copy of the signed resolution of approval shall be scanned onto the cover sheet(s) of the building permit set of plans.

6. **Substantial Compliance with Approved Plans.** The director of community development, or designee, shall determine if changes to the approved project are in substantial compliance with the commission's action. This determination shall be subject to applicable fees and charges. A substantial modification to the approved project requires approval from the Design Review Commission.

7. **Covenant Recording.** Prior to issuance of a building permit, a covenant shall be filed with the Los Angeles County Register-Recorder/City Clerk that includes a copy of this resolution as an exhibit. The Applicant may submit evidence of proper filing to the community development department or submit an application along with applicable fees to the development for covenant preparation and filing.

8. **Validity of Permits.** The rights granted by this approval shall remain valid for three (3) years from the date of approval, unless extended pursuant to Beverly Hills Municipal Code Section 10-3-207.

9. **Appeals.** Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filing a written appeal and paying appropriate fees with the City Clerk.

Special Conditions

10. No special conditions have been imposed for this project.

Section 7. The Secretary of the Design Review Commission shall certify to the passage, approval, and adoption of this resolution, and shall cause this resolution and its certification to be entered in the administrative record maintained by the community development department.

Section 8. Decisions of the Design Review Commission may be appealed to the Planning Commission within fourteen (14) days of the final action by filling a written appeal and paying appropriate fees with the City of Beverly Hills City Clerk.

Approved as to Form and Content:

Adopted: July 9, 2012

Shena Rojemann, Commission Secretary
Community Development Department

Arline Pepp, Chairperson
Design Review Commission

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES) SS.
CITY OF BEVERLY HILLS)

I, SHENA ROJEMANN, Secretary of the Design Review Commission and Associate Planner of the City of Beverly Hills, California, do hereby certify that the foregoing is a true and correct copy of Resolution No. ~~XX-XX~~ duly passed, approved, and adopted by the Design Review Commission of said City at a meeting of said Commission on July 9, 2012 and thereafter duly signed by the Secretary of the Design Review Commission, as indicated; and that the Design Review Commission of the City consists of five (5) members and said Resolution was passed by the following vote of said Commission, to wit:

AYES:

NOES:

ABSTAIN:

ABSENT:

SHENA ROJEMANN
Secretary to the Design Review
Commission/Associate Planner
City of Beverly Hills, California